

1. 11/02/17 - Agenda

Documents:

[11-02-17 AGENDA.PDF](#)

1.I. ZBA Application - 240 Brighton Avenue

Documents:

[240 BRIGHTON AVE - CONDITIONAL USE APPEAL APPLICATION.PDF](#)
[240 BRIGHTON - ZONING MAP.PDF](#)

1.II. ZBA Application - 1531 Congress Street

Documents:

[1531 CONGRESS ST - CONDITIONAL USE APPEAL APPLICATION.PDF](#)
[1531 CONGRESS - ZONING MAP.PDF](#)

1.III. ZBA Application - 30 Woodlawn Avenue

Documents:

[30 WOODLAWN - DISABILITY VARIANCE APPEAL APPLICATION.PDF](#)
[30 WOODLAWN - ZONING MAP.PDF](#)

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

Kent Avery, Chair
Donna Katsiaficas, Secretary
Robert Bartels
Eric Larsson
Benjamin McCall
Joseph Zamboni

APPEAL AGENDA

The Board of Appeals will hold a Public Hearing on Thursday, November 2, 2017, at 6:30 p.m. in Room 209 on the Second Floor at Portland City Hall, 389 Congress Street, Portland, Maine, to hear the following appeals:

1. New Business:

- A. Conditional Use Appeal:** 240 Brighton Avenue, Joseph P. & Sylvia R. Guidi, owners, Tax Map 186A, Block F, Lots 009 & 022, R-5 Residential Zone: The applicant is seeking a Conditional Use Appeal under Section 118(a)(5) to gain approval for two existing dwelling units within the principal structure on the property. The current legal use of the property is a two-family dwelling. Representing the appeal is James Guidi, the owners' son.
- B. Conditional Use Appeal:** 1531 Congress St, Bell Atlantic Mobile Systems of Allentown, Inc., owner, Tax Map 196, Block E, Lot 001, R-5 Residential Zone: The applicant is seeking a Conditional Use Appeal under Section 14-118(c)(2) to construct a thirty foot by forty foot telephone equipment shelter, a pad-mounted generator, and four pad-mounted HVAC units. A Conditional Use Appeal was previously approved by the board on October 20, 2016, and the Board granted an extension on April 20, 2017 for six months, but the extension expired on October 20, 2017. The applicant is close to completing the site plan and building permit process in order to start construction. Representing the appeal is the owner and Scott D. Anderson, Esq.
- C. Disability Variance Appeal:** 30 Woodlawn Avenue, Ruth M. Egle & Karen Egle-Gaber, owners, Tax Map 435, Block A, Lot 045, R-5 Residential Zone: The applicant is seeking a disability variance under Section 14-473(c)(2) to install a temporary handicapped accessible ramp to access the dwelling. The appellant is requesting a side setback of three feet instead of the required eight foot side yard setback [Section 120(4)(c)(i)]. Representing the appeal is Jill Johanning from Alpha One.

2. Adjournment

Portland, Maine



Yes. Life's good here.

Jeff Levine, AICP, Director
Planning & Urban Development Department

Ann Machado
Zoning Administrator

CITY OF PORTLAND ZONING BOARD OF APPEALS
Conditional Use Appeal Application

Applicant Information:

NAME

JAMES P. GUIDI

BUSINESS NAME

BUSINESS ADDRESS

319 MAIN STREET
CUMBERLAND ME 04021

BUSINESS TELEPHONE & E-MAIL

207-653-7873 jguidi@maine-inc.com

APPLICANT'S RIGHT/TITLE/INTEREST

Subject Property Information:

PROPERTY ADDRESS

240 BRIGHTON AVE

CHART/BLOCK/LOT (CBL)

186 A F009-001

PROPERTY OWNER (If Different)

SILVIA GUIDI

ADDRESS (If Different)

PHONE # AND E-MAIL

CURRENT ZONING DESIGNATION

R-5

CONDITIONAL USE AUTHORIZED BY
SECTION 14-118A-5

EXISTING USE OF THE PROPERTY:

2-UNIT Residential

TYPE OF CONDITIONAL USE PROPOSED:

4-UNIT Residential

RECEIVED

AUG 14 2017

Dept of Planning & Inspection

STANDARDS: Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the Board determines that:

1. The volume and type of vehicle traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces required are not substantially greater than would normally occur at surrounding uses or other allowable uses in the same zone; and
2. The proposed use will not create unsanitary or harmful conditions by reason of noise, glare, dust, sewage disposal, emissions to the air, odor, lighting, or litter; and
3. The design and operation of the proposed use, including but not limited to landscaping, screening, signs, loading deliveries, trash or waste generation, arrangement of structures, and materials storage will not have a substantially greater effect/impact on surrounding properties than those associated with surrounding uses of other allowable uses in the zone.

NOTE: If site plan approval is required, attach preliminary or final site plan.

The undersigned hereby makes application for a conditional use permit as described above, and certifies that the information herein is true and correct to the best of his OR her knowledge and belief.

SIGNATURE OF APPLICANT

DATE

389 Congress Street * Portland Maine 04101-3509 * Phone: (207) 874-8703 * Fax: (207) 874-8716
<http://www.portlandmaine.gov/planning/buildinsp.asp> * E-Mail: buildinginspections@portlandmaine.gov

Cover Letter

Zoning Board of Appeals
City of Portland
Portland, Amine 04101

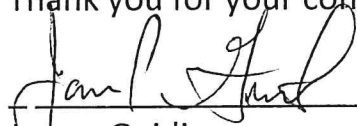
RE: 240 Brighton Ave

August 3, 2017

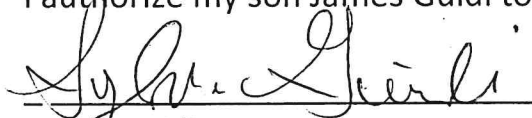
Dear Board:

I am representing my elderly Mother, Sylvia Guidi, in this appeal. This Multi-Unit residential building is listed as a 2-Unit. However there are 4 residential Units in the Building. The Code Enforcement office and the City Attorney have asked me to submit this application with this Board in an effort to make this Building a "Legal" 4-Unit.

Thank you for your consideration,


James Guidi

I authorize my son James Guidi to represent me in this matter


Sylvia Guidi

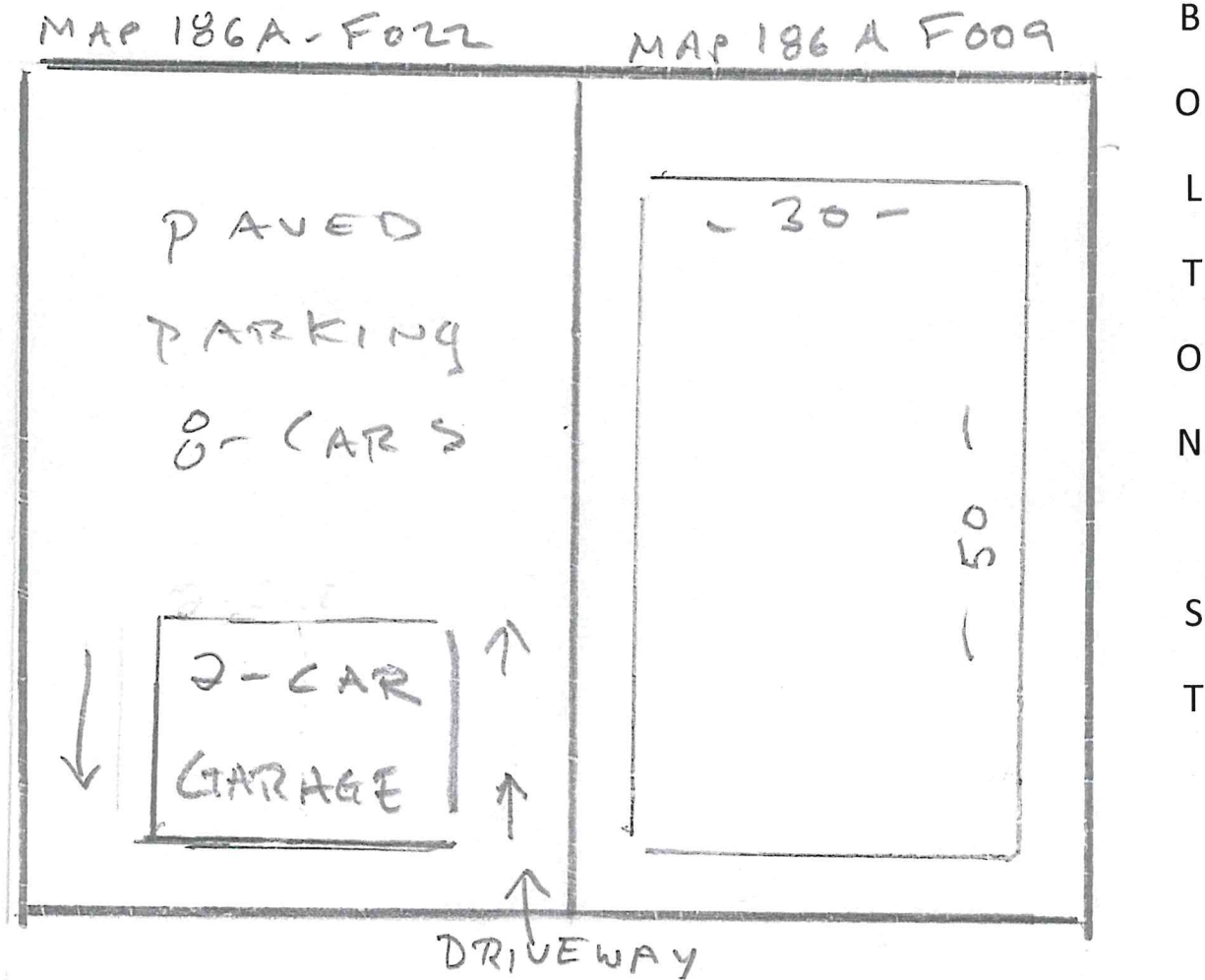


Plot Plan

234 Brighton Ave

&

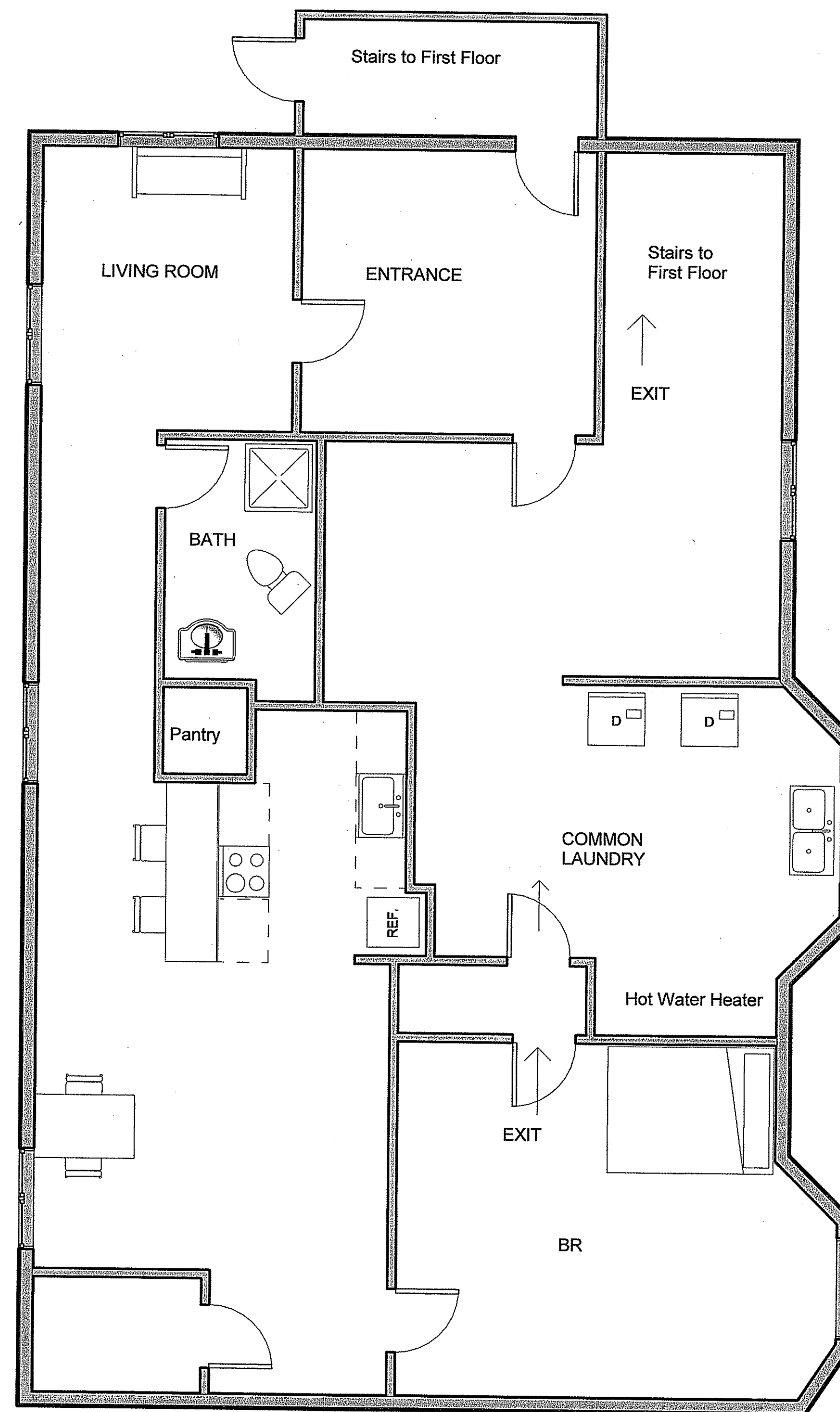
240 Brighton Ave



Brighton Ave >>>> (towards Westbrook)

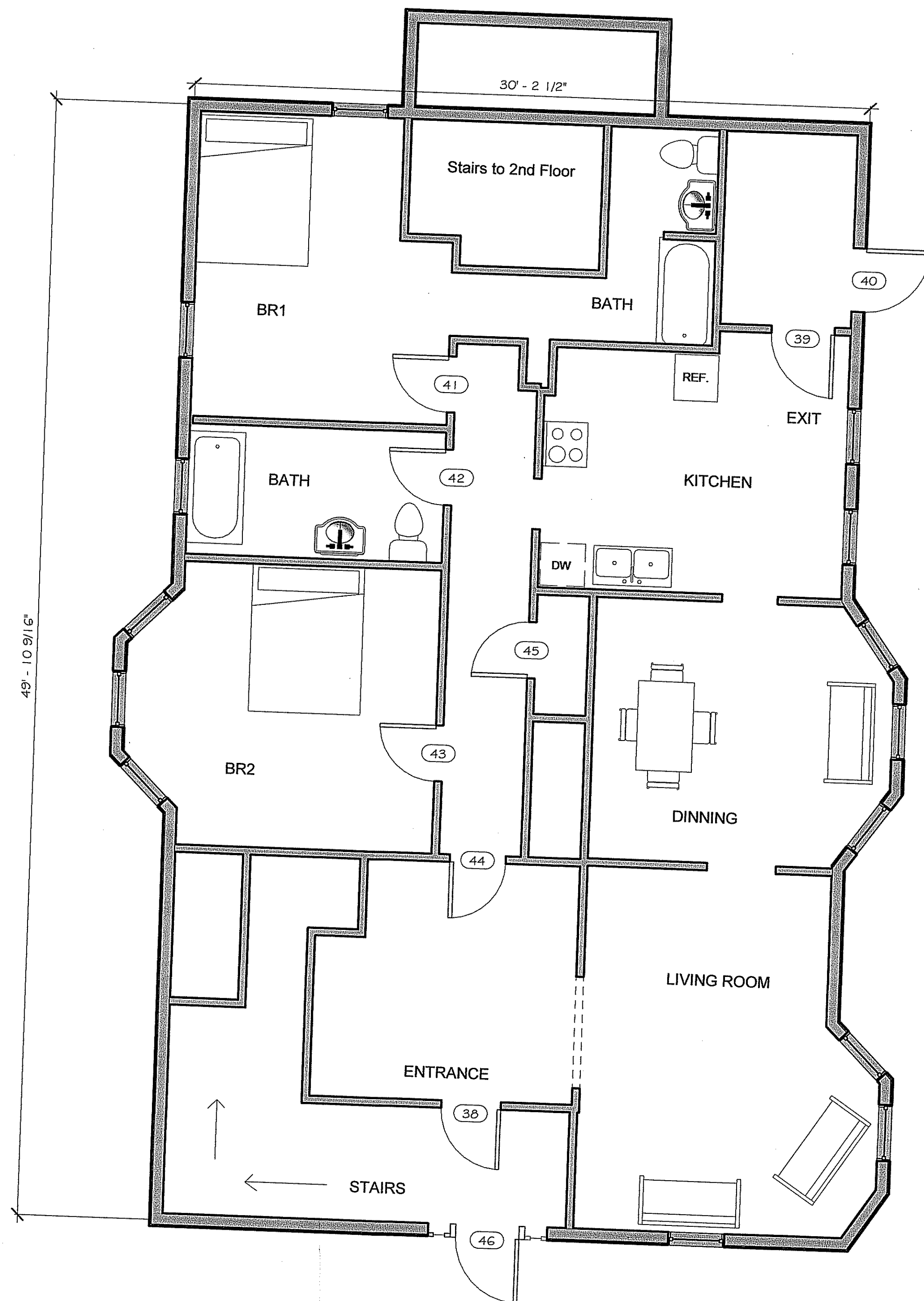
234

240



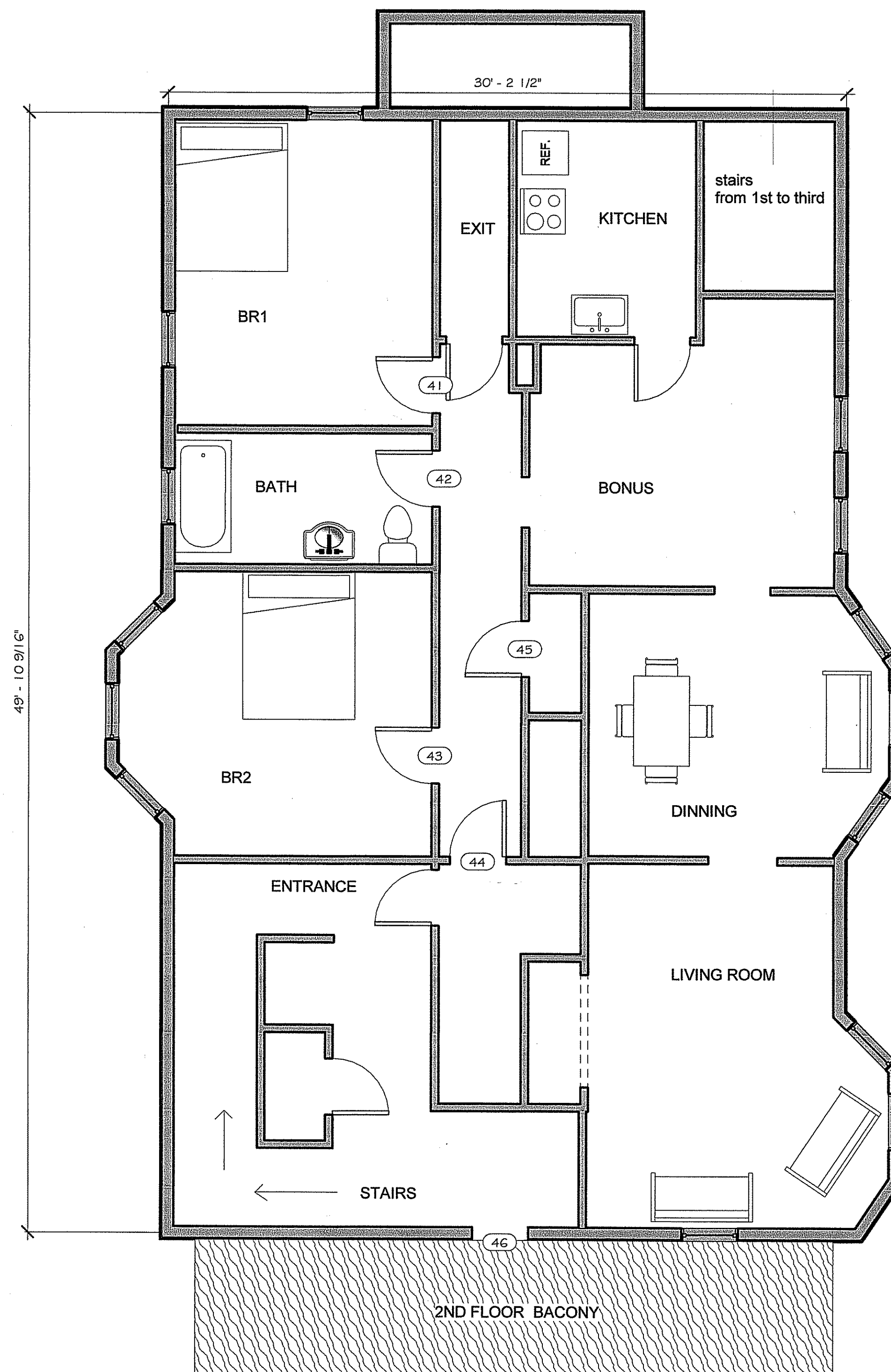
Window Schedule		
Type Mark	Count	Family and Type
L	14	Double Hung with Trim: 30" x 48" 2

Door Schedule	
Mark	Family and Type
37	Double-Glass 1: 68" x 84"
38	Single-Flush: 32" x 84"
39	Single-Flush: 34" x 80"
40	Single-Flush: 34" x 80"
41	Single-Flush: 30" x 80"
42	Single-Flush: 30" x 80"
43	Single-Flush: 30" x 80"
44	Single-Flush: 30" x 80"
45	Single-Flush: 30" x 80"
46	Single-Raised Panel with Sidelights: 34" x 84"



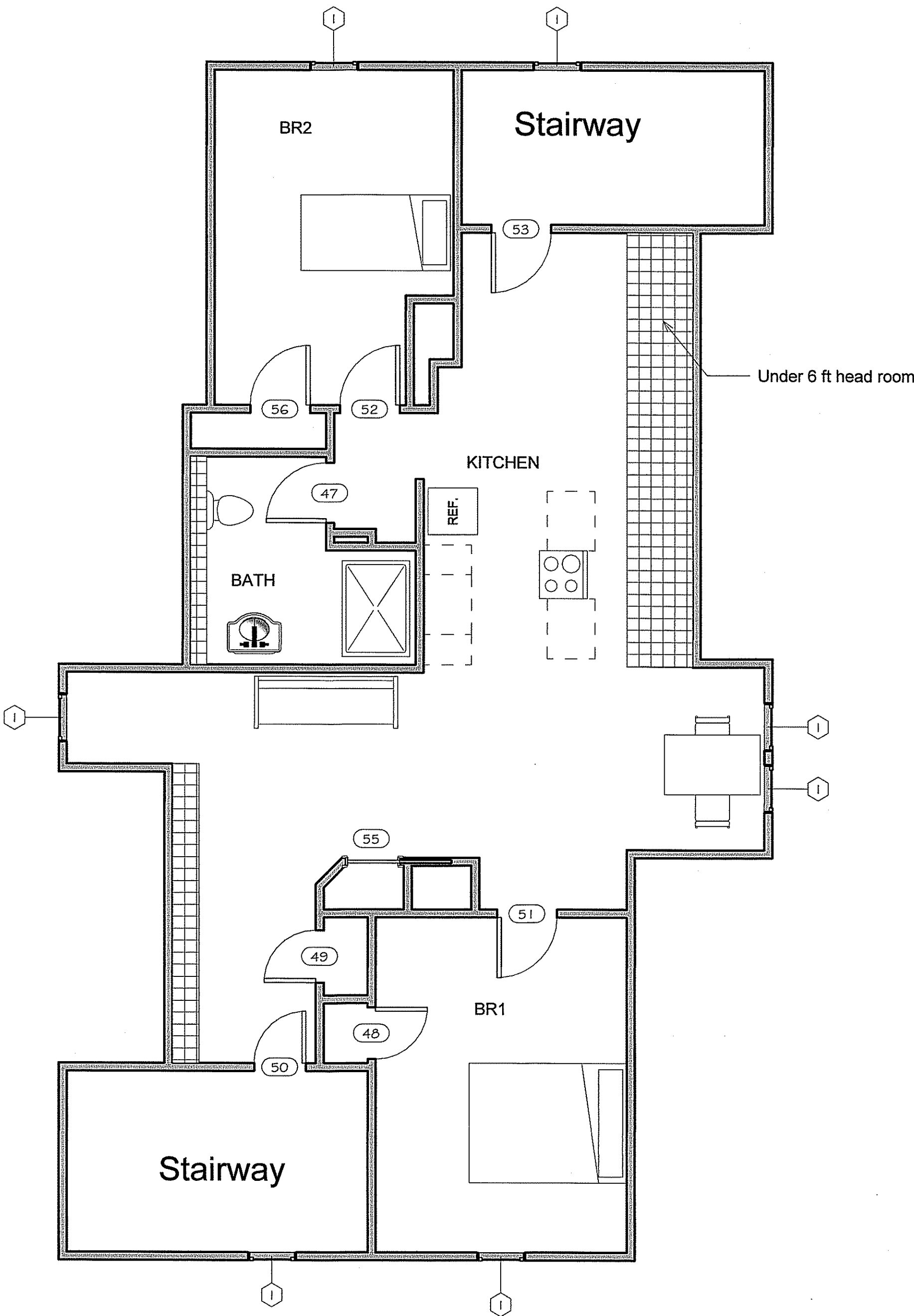
Window Schedule		
Type Mark	Count	Family and Type
L	14	Double Hung with Trim: 30" x 48" 2

Door Schedule	
Mark	Family and Type
37	Double-Glass 1: 68" x 84"
41	Single-Flush: 30" x 80"
42	Single-Flush: 30" x 80"
43	Single-Flush: 30" x 80"
44	Single-Flush: 30" x 80"
45	Single-Flush: 30" x 80"
46	Single-Flush: 30" x 84"
48	Single-Flush: 30" x 80"
49	Single-Flush: 30" x 80"
50	Single-Flush: 30" x 80"
51	Single-Flush: 30" x 80"



Window Schedule		
Type Mark	Count	Family and Type
I	7	Double Hung with Trim: 24" x 48"

Door Schedule	
Mark	Family and Type
37	Double-Glass 1: 68" x 84"
47	Single-Flush: 30" x 80"
48	Single-Flush: 26" x 80"
49	Single-Flush: 26" x 80"
50	Single-Flush: 26" x 80"
51	Single-Flush: 30" x 80"
52	Single-Flush: 30" x 80"
53	Single-Flush: 30" x 80"
55	Door-Interior-Single-Pocket-2_Panel-Wood: Door-Interior-Single-Pocket-2_Panel-Wood
56	Single-Flush: 30" x 80"





WARRANTY DEED

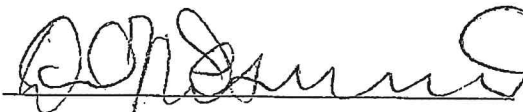
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, That FOREST L. BARTER and DORIS L. BARTER, of Portland, Maine, for consideration paid, grants to JOSEPH P. GUIDI and SYLVIA R. GUIDI, of 43 Chenery St., Portland, Maine, *as joint tenants*, with WARRANTY COVENANTS, the land with the buildings thereon located Portland, County of Cumberland, State of Maine, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO, MADE A PART HEREOF AND INCORPORATED BY REFERENCE HEREIN

Being the same premises conveyed to the Grantors herein by deed from John Weston Walsh, et al. dated January 31, 1957 and recorded in the Cumberland County Registry of Deeds in Book 2336, Page 62.

WITNESS our hands and seals this 31st day of July, 2003



FOREST L. BARTER

to Both

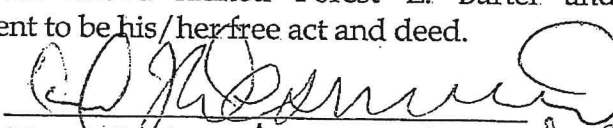
DORIS L. BARTER

STATE OF MAINE
CUMBERLAND, ss.

July 31, 2003

Then personally appeared the above named Forest L. Barter and acknowledged the foregoing instrument to be his/her free act and deed.

Before me,



Notary Public

ATTORNEY-at-LAW

Printed Name: DANIEL J. DESMOND

MAINE REAL ESTATE TAX PAID

Exhibit A

A certain lot or parcel of land with the buildings thereon situated in the City of Portland at Longfellow Highlands in the County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at the point of intersection of the southwesterly sideline of Brighton Avenue with the southeasterly sideline of Bolton Street;

Thence southwesterly along the southeasterly sideline of Bolton Street, a distance of eighty feet to land now or formerly of Ella C. Turner;

Thence southeasterly and parallel with Brighton Avenue along the said Turner land, a distance of fifty-two and 57/100 (52.57) feet to a point;

Thence northeasterly and parallel with Bolton Street, a distance of eighty (80) feet to said Brighton Avenue;

Thence northwesterly along the southwesterly sideline of Brighton Avenue, a distance fifty-two and 57/100 (52.57) feet to the point of beginning.

Said lot being lot numbered twenty-two as shown on Plan of Longfellow Highlands made for George T. Edwards, June 20, 1905 from surveys of E.C. Jordan & Co., Civil Engineers, dated 1901. Said plan being recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 7.

The above described lot is hereby conveyed subject to the exception, reservation, restriction and condition that no building or part of building shall be erected within 10 feet or the northerly line of said Turner land.

Also, another certain lot or parcel of land with the buildings thereon, situated in the City of Portland at Longfellow Highlands, so called, bounded and described as follows:

Beginning at a point in the Southwesterly sideline of Brighton Avenue, which point is distant southeasterly a distance of fifty-two and 57/100 (52.57) feet from the intersection of the southwesterly sideline of Brighton Avenue with the southeasterly sideline of Bolton Street;

Thence southwesterly parallel with Bolton Street, a distance of eighty (80) feet to land now or formerly of Ella C. Turner;

Thence southeasterly and parallel with Brighton Avenue along said Turner land, a distance of fifty-two and 57/100 (52.57) feet, more or less, to a point distant at right angles from said Bolton Street one hundred four (104) feet;

Thence northeasterly and again parallel with Bolton Street, a distance of eighty (80) feet to said Brighton Avenue;

Thence northwesterly along the southwesterly sideline of Brighton Avenue, a distance of fifty-two and 57/100 (52.57) feet, more or less, to the point of beginning. Said lot being lot number one (1) as shown on record plan of Longfellow Highlands, made for George. T. Edwards June 20, 1905 from surveys of E. C. Jordan & Co., Civil Engineers, dated 1901 and recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 7.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

Being the same premises conveyed to the mortgagors herein by Warranty Deed of Forest L. Barter and Doris Barter of even or recent date to be recorded herewith.

S:\CFreeman\Clients\G\Guidi-106554\Exhibit A.wpd

Received
Recorded Register of Deeds
Aug 04:2003 11:39:27A
Cumberland County Clerk
John B. O'Brien

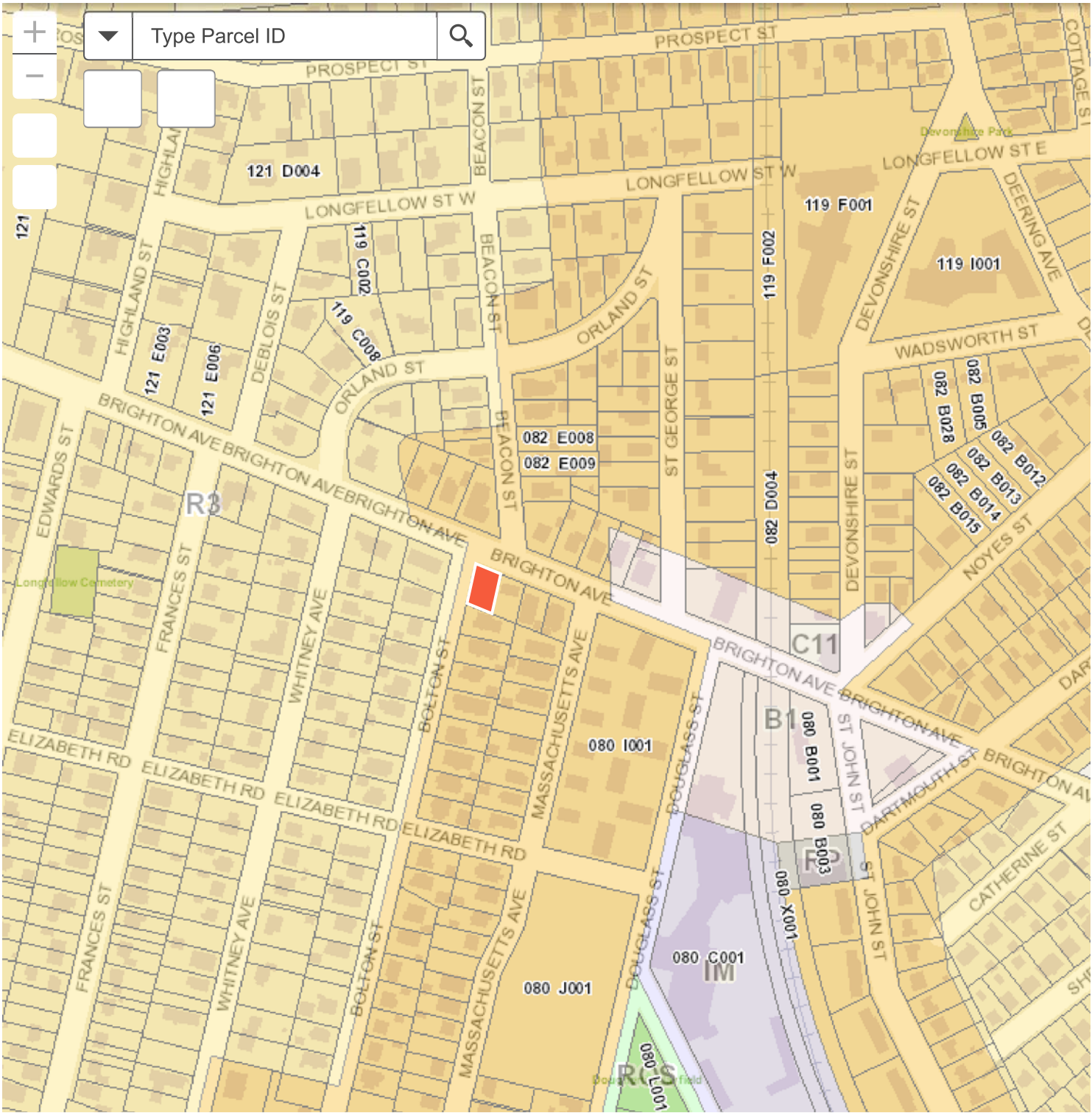
Memo

R5 Zone Conditional Use Standards

Letters A-H

- A. We meet this condition as we are not adding more than 2 units and the total is not greater than 4
- B. We meet this condition as these units will not be sold as condominium units
- C. We meet this condition as we will only rent these new units to tenants that earn less than 80% of the AMI. We will submit evidence to the City of Portland upon request
- D. We meet this condition as the 2 new units are greater than 400 square feet and the space was not taken from existing units
- E. We meet this condition as the additional units required minimum renovations and was limited to doors and interior walls
- F. We meet this condition as the parking requirement has been met as there are 2 Parking spaces per unit
- G. We meet this condition as there are NO outside stair cases
- H1 . We meet this condition as No exterior alterations were done
- H2 . We meet this condition as there were no changes to the Parking area.

240 Brighton Ave - Conditional Use Appeal



Verrill Dana^{LLP}

Attorneys at Law

SCOTT D. ANDERSON
PARTNER
sanderson@verrilldana.com
Direct: 207-253-4540

ONE PORTLAND SQUARE
PORTLAND, MAINE 04112-0586
207-774-4000 • FAX 207-774-7499
www.verrilldana.com

October 20, 2017

City of Portland Zoning Board of Appeals
389 Congress St., Room 315
Portland, ME 04101

Re: Conditional Use Permit Application
Proposed Verizon Wireless Facility

Dear Members of the Board of Appeals:

Enclosed please find a request for a Conditional Use Appeal Application for the proposed Verizon Wireless' wireless telecommunications facility at 1531 Congress Street, Portland, Maine. The Zoning Board of Appeals has reviewed this application previously, and granted the initial appeal on October 20, 2016, which was extended by the Board on April 21, 2017. These prior decisions are attached.

PROJECT DESCRIPTION

Verizon Wireless proposes to construct a 1,200 square foot equipment shelter at the proposed site to house cellular equipment as part of Verizon Wireless' network in Portland. The parcel is located on Congress Street, between Congress and an existing rail line. In addition to the one-story structure, Verizon Wireless will install an external back-up generator on a 14 x 6 concrete pad immediately outside of and behind the structure, to be fueled by natural gas. HVAC units for climate control within the structure will be placed on a concrete pad adjacent to the generator. Verizon Wireless will screen this equipment with both fencing and additional plantings (arborvitae). The equipment shelter will be accessed by a paved driveway. A single parking area is proposed as well. All of the above project components are shown in detail on the Site Plan attached as Exhibit 2. Several changes were incorporated into the design as requested by City staff during the site plan review process.

STANDARDS FOR CONDITIONAL USE

- a. The volume and type of vehicle traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces required are not substantially greater than would normally occur at surrounding uses or other allowable uses in the same zone; and

October 20, 2017

Page 2

RESPONSE: The proposed Facility will result in approximately one vehicle trip per month, on average, by a Verizon Wireless technician. Accordingly, the construction of the facility will not result in any adverse parking or traffic impacts.

- b. The proposed use will not create unsanitary or harmful conditions by reason of noise, glare, dust, sewage disposal, emissions to the air, odor, lighting, or litter; and

RESPONSE: The proposed Facility will not create unsanitary or harmful conditions. The Facility will not require water supply or sewage disposal, nor will it produce any wastewater. There will be no emissions to the air, odor, or litter. The only sources of noise associated with operation of the Facility are the back-up generator and the HVAC units. The generator is contained within a sound-attenuating enclosure and other than a brief weekly test, the generator will operate only after a sustained power outage (approximately 6 hours). The HVAC units emit a sound of similar level to a standard residential HVAC installation. The only exterior lighting associated with the Facility is a small, down-directional, motion-activated light over the door of the equipment shelter.

- c. The design and operation of the proposed use, including but not limited to landscaping, screening, sign, loading, deliveries, trash or waste generation, arrangement of structures, and materials storage will not have a substantially greater effect/impact on surrounding properties than those associated with surrounding uses or other allowable uses in the zone.

RESPONSE: The proposed Facility has been designed to fit into the existing landscape of the site. The equipment shelter has been designed with an architectural shingle roof and residential clapboard siding to fit in with the surrounding neighborhood. There will be no signs, loading, deliveries, trash, waste generation, or materials stored at the facility. Traffic and use of the site will be minimal, and far less than normal use, traffic, sound, and other impacts of residential development. The external equipment installation will not operate with impacts that exceed that of a similar residential installation.

We respectfully request that the Zoning Board of Appeals consider this request at its next regularly scheduled meeting on November 2, 2017. Please do not hesitate to contact the project manager, Matt Burke (at 508-930-0974), or me should you have any questions.

Thank you and I look forward to hearing from you.

Very truly yours,

A handwritten signature in blue ink that reads "Scott Anderson" with a stylized "mtt" monogram to the right.

Scott D. Anderson

SDA/mtt

Enclosures

cc: Matt Burke, Tower Resource Management, Inc.

Portland, Maine



Yes. Life's good here.

Permitting and Inspections Department
Michael A. Russell, MS, Director

Ann Machado, Zoning Administrator

October 25, 2016

Scott D. Anderson
Verrill Dana
One Portland Square
Portland, ME 04112-0586

Re: 1531 Congress St, Portland, ME; 196-E-001; R-5 Residential Zone

Dear Mr. Anderson:

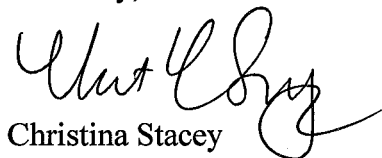
On October 20, 2016, the Zoning Board of Appeals voted 4-1 (Avery recused) to grant Verizon Wireless's Conditional Use Appeal to construct a telephone equipment shelter and associated equipment at 1531 Congress St. I am enclosing a copy of the Board's decision.

Now that the conditional use appeal has been approved, Verizon Wireless will need to seek Site Plan approval for the project, as well as a Commercial Building permit. Under Section 14-474(f) of the ordinance, they will have six months from the date of the meeting, October 20, 2016, to obtain the Site Plan and building permit approvals and to start any construction work, or their Zoning Board approval will expire.

Appeals from decisions of the Board may be filed in Superior Court in accordance with Rule 80B of the Maine Rules of Civil Procedure.

Should you have any questions, please contact me at (207) 874-8695 or cstacey@portlandmaine.gov.

Sincerely,


Christina Stacey
Zoning Specialist

cc: file

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS

Chip O'Brien
Joseph Zamboni
ERIK Lawson
Refused - Kent Avery.
Donna Katsieff
Brandon Meyer

R-5 Residential Zone
Conditional Use Appeal

DECISION

Date of public hearing: October 20, 2016

Name and address of applicant: Verizon Wireless d/b/a Portland Cellular
118 Flanders Road
Westborough, MA 01581

Location of property under appeal: 1531 Congress Street
CBL 196 E001001

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

SCOTT Anderson
Vernell Dena
MATT BURKE
Verizon

MARK WAKNOFF, 26 RABBIT RUN
PETER WILD, BREWER ST.
STEVE ABBOTT RABBIT RUN
JEANNIE KENNY HAYWOOD ST
ROSE LANNON 1530 CONGRESS
GARY THOMPSON BREWER ST
TERRY WILE BREWER ST.
AMY ABBOT 32 RABBIT RUN
TOM SHELDRICK HAYWOOD ST.
MARK KENNY HAYWOOD ST.

Exhibits admitted (e.g. renderings, reports, etc.):

Application w/ exhibits

Findings of Fact and Conclusions of Law:

The applicant is seeking a conditional use permit pursuant to Sec. 14-118(c)(2) to construct a 1,200 sq. ft. equipment shelter, as well as locate an external back-up generator on a 14'x6' concrete pad outside of and behind the structure. The shelter will be accessed by a paved driveway, and a single parking area will be provided.

- A. Special standards pursuant to Sec. 14-118(c)(2). "Utility substations such as water and sewage pumping stations and standpipes, electric power substations, transformer stations, and telephone electronic equipment enclosures and other similar structures" are allowed so long as they meet the following standard:

1. The use must be "suitably screened and landscaped so as to ensure compatibility with the surrounding neighborhood." Sec. 14-118(c)(2).

Satisfied ☒

Not Satisfied ☐

42 FEB 1 NO VOTE
~~UNANIMOUS~~
4 SATISFIED

Reason and supporting facts:

THE TESTIMONY OF THE APPLICANT SUPPORTED BY THE SITE PLAN (Z-2) ~~AND THE~~ SHOWS SUITABLE SCREENING TO ENSURE COMPATIBILITY WITH THE SURROUNDING NEIGHBORHOOD. IN ADDITION, THE LEVEL II SITE PLAN REVIEW WILL PROVIDE AN ADDITIONAL OPPORTUNITY FOR COMMENT & ADJUSTMENTS

- B. Conditional use standards pursuant to Sec. 14-474(c)(2). A conditional use permit shall be granted "upon a showing that the proposed use, at the size and intensity contemplated at the proposed location, will not have substantially greater negative impacts than would normally occur from surrounding uses or other allowable uses in the same zoning district." This standard is met only if the applicant meets all of the following criteria:

1. The volume and type of vehicle traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces required are not substantially greater than would normally occur at surrounding uses or other allowable uses in the same zone. Sec. 14-474(c)(2)(a).

Satisfied ☒

Not Satisfied ☐

~~5 FOR~~
UNANIMOUS

Reason and supporting facts:

TESTIMONY & SUPPORTING MATERIALS SHOW ONE SITE VISIT DURING NORMAL OPERATING MONTHS

2. The proposed use will not create unsanitary or harmful conditions by reason of noise, glare, dust, sewage disposal, emissions to the air, odor, lighting, or litter. Sec. 14-474(c)(2)(b).

Satisfied ✓

Not Satisfied _____

~~UNANIMOUS~~

Reason and supporting facts:

THERE WAS NO TESTIMONY OR EVIDENCE INDICATING ANY GLARE, DUST, SEWAGE DISPOSAL, ODOR OR LITTER. A SOUND STUDY PREPARED BY MODALINE SPECIALTIES SHOWED THAT PREDICTED EQUIPMENT SOUND LEVELS WOULD BE 48dBA OR LESS AT THE CLOSEST RESIDENCE, WHICH IS LESS THAN BACKGROUND NOISE LEVELS.

3. The design and operation of the proposed use, including but not limited to landscaping, screening, signs, loading, deliveries, trash or waste generation, arrangement of structures, and materials storage will not have a substantially greater effect/impact on surrounding properties than those associated with surrounding uses or other allowable uses in the zone. Sec. 14-474(c)(2)(c).

Satisfied ✓

Not Satisfied _____

UNANIMOUS

Reason and supporting facts:

THE PROPOSED USE WILL NOT INCLUDE ANY SIGNS, LOADING, DELIVERIES, TRASH, OR WASTE GENERATION OR MATERIALS STORAGE.

LANDSCAPING, SCREENING AND ARRANGEMENT OF STRUCTURES IS CONSISTENT WITH SURROUNDING USES AND THE EFFECTS/IMPACT ARE LESS THAN ALLOWABLE USES WHICH INCLUDE SCHOOLS, CHURCHES AND ~~OTHER~~ OTHER LARGE SCALE FACILITIES.

FOR IN FAVOR / ONE OPPOSED

✓ Option 1: The Board finds that the standard described in section A above has been satisfied and that all of the standards (1 through 3) described in section B above have been satisfied, and therefore GRANTS the conditional use permit.

___ Option 2: The Board finds that while the standard described in section A above has been satisfied and that all of the standards (1 through 3) described in section B above have been satisfied, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

___ Option 3: The Board finds that the standard described in section A above and/or all of the standards (1 through 3) described in section B above have not been satisfied, and therefore DENIES the application.

Dated: 10-20-16

Donna M. Katschauer
Acting Board Chair

Portland, Maine



Yes. Life's good here.

Permitting and Inspections Department
Michael A. Russell, MS, Director

Ann Machado, Zoning Administrator

April 21, 2017

Scott D. Anderson
Verrill Dana
One Portland Square
Portland, ME 04112-0586

Re: 1531 Congress St, Portland, ME; 196-E-001; R-5 Residential Zone

Dear Mr. Anderson:

On April 20, 2017, the Zoning Board of Appeals voted 4-0 (Avery recused) to grant Verizon Wireless's Conditional Use Appeal to construct a telephone equipment shelter and associated equipment at 1531 Congress St. I am enclosing a copy of the Board's decision.

Under Section 14-474(f) of the ordinance, Verizon will have six months from the date of the meeting (April 20, 2017) to finalize the Site Plan and building permit approvals and to start construction, or the Zoning Board approval will expire.

Appeals from decisions of the Board may be filed in Superior Court in accordance with Rule 80B of the Maine Rules of Civil Procedure.

Should you have any questions, please contact me at (207) 874-8695 or cstacey@portlandmaine.gov.

Sincerely,

Christina Stacey
Zoning Specialist

cc: file

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

R-5 Residential Zone
Conditional Use Appeal

DECISION

Date of public hearing: April 20, 2017

Name and address of applicant: Verizon Wireless d/b/a Portland Cellular
118 Flanders Road
Westborough, MA 01581

Location of property under appeal: 1531 Congress Street
CBL 196 E001001

For the Record:

*Kent Avery, chair, recused
Donna chair for matter; Joseph Zamboni, Secretary*

Names and addresses of witnesses (proponents, opponents and others):

Scott Anderson, obo Verizon Wireless

Exhibits admitted (e.g. renderings, reports, etc.): *Application w/ exhibits*

Testimony by Scott Anderson obo Verizon

Written materials by Scott Anderson obo Verizon

Findings of Fact and Conclusions of Law:

The applicant is seeking an extension of a conditional use permit that the Board granted on October 20, 2016 pursuant to Sec. 14-118(c)(2), which authorized construction of a 1,200 sq. ft. equipment shelter, as well as locate an external back-up generator on a 14'x6' concrete pad outside of and behind the structure. The shelter will be accessed by a paved driveway, and a single parking area will be provided.

A. Special standards pursuant to Sec. 14-118(c)(2). "Utility substations such as water and sewage pumping stations and standpipes, electric power substations, transformer stations, and telephone electronic equipment enclosures and other similar structures" are allowed so long as they meet the following standard:

1. The use must be "suitably screened and landscaped so as to ensure compatibility with the surrounding neighborhood." Sec. 14-118(c)(2).

Satisfied ☒

Not Satisfied ☐

Reason and supporting facts:

Both materials + testimony indicate standards met and no changes since original application.

4-0

B. Conditional use standards pursuant to Sec. 14-474(c)(2). A conditional use permit shall be granted "upon a showing that the proposed use, at the size and intensity contemplated at the proposed location, will not have substantially greater negative impacts than would normally occur from surrounding uses or other allowable uses in the same zoning district." This standard is met only if the applicant meets all of the following criteria:

1. The volume and type of vehicle traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces required are not substantially greater than would normally occur at surrounding uses or other allowable uses in the same zone. Sec. 14-474(c)(2)(a).

Satisfied ☒

Not Satisfied ☐

Reason and supporting facts:

Previous testimony indicates only one visit during regular hours and no changes since original application.

4-0

2. The proposed use will not create unsanitary or harmful conditions by reason of noise, glare, dust, sewage disposal, emissions to the air, odor, lighting, or litter. Sec. 14-474(c)(2)(b).

Satisfied X

Not Satisfied _____

Reason and supporting facts:

Boards previous finding indicate standard has been met and no changes in last 6-months.

4.0

3. The design and operation of the proposed use, including but not limited to landscaping, screening, signs, loading, deliveries, trash or waste generation, arrangement of structures, and materials storage will not have a substantially greater effect/impact on surrounding properties than those associated with surrounding uses or other allowable uses in the zone. Sec. 14-474(c)(2)(c).

Satisfied X

Not Satisfied _____

Reason and supporting facts:

Previous testimony indicates standard has been met and testimony indicates no changes in last 6 months.

4.0

✓
Option 1: The Board finds that the standard described in section A above has been satisfied and that all of the standards (1 through 3) described in section B above have been satisfied, and therefore GRANTS the conditional use permit.

4-0 for 6 months.

Option 2: The Board finds that while the standard described in section A above has been satisfied and that all of the standards (1 through 3) described in section B above have been satisfied, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

Option 3: The Board finds that the standard described in section A above and/or all of the standards (1 through 3) described in section B above have not been satisfied, and therefore DENIES the application.

Dated:

4-20-16

Adrian
Donna M. Katsopoulos
Board Chair

TABLE OF CONTENTS

1. Conditional Use Appeal Application Form
2. Site Plan
3. Tax Map
4. Quitclaim Deed
5. Existing Photos of the Site

EXHIBIT 1



Jeff Levine, AICP, Director
Planning & Urban Development Department

Ann Machado
Zoning Administrator

CITY OF PORTLAND ZONING BOARD OF APPEALS**Conditional Use Appeal Application****Applicant Information:**

Verizon Wireless

NAME

Verizon Wireless d/b/a Portland Cellular

BUSINESS NAME

118 Flanders Road, Westborough, MA 01581

BUSINESS ADDRESS

(207) 253-4540 sanderson@verrilldana.com

BUSINESS TELEPHONE & E-MAIL

Purchase and Sale Contract

APPLICANT'S RIGHT/TITLE/INTEREST

R-5

CURRENT ZONING DESIGNATION

EXISTING USE OF THE PROPERTY:

Undeveloped

Subject Property Information:

1531 Congress Street, Portland, ME 04102

PROPERTY ADDRESS

198/E/1

CHART/BLOCK/LOT (CBL)

Kennick LLC

PROPERTY OWNER (If Different)

PO Box 10988, Portland, ME 04104

ADDRESS (If Different)

PHONE # AND E-MAIL

CONDITIONAL USE AUTHORIZED BY
SECTION 14-118(c)(2)**TYPE OF CONDITIONAL USE PROPOSED:**

Utility substation/telephone electronic equipment enclosures

STANDARDS: Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the Board determines that:

1. The volume and type of vehicle traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces required are not substantially greater than would normally occur at surrounding uses or other allowable uses in the same zone; and
2. The proposed use will not create unsanitary or harmful conditions by reason of noise, glare, dust, sewage disposal, emissions to the air, odor, lighting, or litter; and
3. The design and operation of the proposed use, including but not limited to landscaping, screening, signs, loading deliveries, trash or waste generation, arrangement of structures, and materials storage will not have a substantially greater effect/impact on surrounding properties than those associated with surrounding uses of other allowable uses in the zone.

NOTE: If site plan approval is required, attach preliminary or final site plan.

The undersigned hereby makes application for a conditional use permit as described above, and certifies that the information herein is true and correct to the best of his OR her knowledge and belief.

SIGNATURE OF APPLICANT

DATE

10/6/17

389 Congress Street * Portland Maine 04101-3509 * Phone: (207) 874-8703 * Fax: (207) 874-8716
<http://www.portlandmaine.gov/planning/buildinsp.asp> * E-Mail: buildinginspections@portlandmaine.gov

EXHIBIT 2



PORTLAND ME HEAD END
1531 CONGRESS STREET
PORTLAND, ME 04102



DIRECTIONS FROM WESTBOROUGH, MA:

TAKE 1-495 N. CONTINUE ONTO EXIT 60. MERGE ONTO 1-95 N. KEEP LEFT AT THE FORK TO STAY ON 1-95 N. KEEP LEFT AT THE FORK TO STAY ON 1-95 N. TAKE EXIT 46 TOWARD ME-22/ME-9/JETPORT/CONGRESS ST. TURN RIGHT ONTO SKYWAY DR. USE THE LEFT 2 LANES TO TURN LEFT AT THE 1ST CROSS STREET ONTO JOHNSON RD. CONTINUE STRAIGHT TO STAY ON JOHNSON RD. USE THE MIDDLE LANE TO MERGE ONTO CONGRESS ST. CONTINUE STRAIGHT TO STAY ON CONGRESS ST. SITE WILL BE ON THE LEFT.

ENGINEER
DEWBERRY ENGINEERS INC.
280 SUMMER ST.
10TH FLOOR
BOSTON, MA 02210

PHONE # (617) 531-0813
FAX # (617) 695-3310

CONTACT: MATTHEW TILDEN

CONSTRUCTION
VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956
PHONE # (617) 999-3248
FAX # (508) 330-3405
CONTACT: BRIAN DUMAS

SITE NAME:
PORTLAND ME HEAD END

PROPERTY OWNER:
KENNICK LLC
P.O. 10988
PORTLAND, ME 04104

APPLICANT:
PORTLAND CELLULAR PARTNERSHIP D/B/A
VERIZON WIRELESS
118 FLANDERS ROAD
WESTBORO, MA 01581

ELECTRIC UTILITY:
CENTRAL MAINE POWER (800) 565-3181

TELEPHONE UTILITY:
VERIZON (800) 837-4966

PARCEL ID:
196-E001

HORIZONTAL DATUM:
NORTH AMERICAN DATUM OF 1983 (NAVD83)

CENTER OF BUILDING:
LATITUDE: 43° 39' 33.04" N
LONGITUDE: 70° 18' 12.57" W

SITE ADDRESS:
1531 CONGRESS ST.
PORTLAND, ME 04102

ZONING DISTRICT:
R-5 RESIDENTIAL ZONE

PROJECT DIRECTORY

THE PROJECT WILL CONSIST OF INSTALLING A NEW 1,200 S.F. HEAD END FACILITY WITH ASSOCIATED PARKING AREA. UTILITIES TO COME FROM EXISTING SOURCES AT STREET.

PROJECT DESCRIPTION

THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

A.D.A. COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

[illegible]

VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY: JG

REVIEWED BY:	MFT
--------------	-----

CHECKED BY:	BBR
-------------	-----

PROJECT NUMBER:	50002925
-----------------	----------

JOB NUMBER: 50080012

SITE ADDRESS:

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

GENERAL NOTES

1. FIELD SURVEY DATE:

AUGUST 26,2016
2. VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988.
3. HORIZONTAL DATUM:

NORTH AMERICAN DATUM OF 1983 (NAD83) ME WEST STATE PLANE
4. CENTER OF PROPOSED BUILDING:

LAT 43° 39' 33.0" N
LON 70° 18' 12.5" W
GROUND EL= 41'
5. OWNER:

KENNICK LLC
PO BOX 10988
PORTLAND ME 04104
6. SITE NAME:

PORTLAND ME HEAD END
7. SITE NUMBER:

N/A
8. SITE ADDRESS:

1531 CONGRESS ST.
PORTLAND, ME 04102
9. ABUTTERS INFORMATION

TAKEN FROM TOWN TAX DATA
10. JURISDICTION:

CITY OF PORTLAND, ME
11. TAX ID:

PARCEL 196 E001
12. DEED REFERENCE:

BOOK 26325 PG 86
13. PLAT REFERENCE:

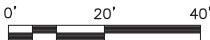
2008 BH2M SURVEY
14. GRID NORTH BASED ON GPS
15. ELEVATIONS AND COORDINATES FROM GPS LOCATIONS.
16. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1(800) 322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
17. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED TOWER ON THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X. NOT WITHIN THE 100 YEAR FLOOD BOUNDARY. COMMUNITY PANEL NO. 2300510013B, DATED 7/17/1986
18. BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH.

LEGEND

- LOCUS PROPERTY LINE
- Existing Property Line
- Existing Road
- Existing Contour
- PROPOSED CONTOUR
- Existing Train Tracks
- Existing Treeline
- Existing Overhead Wire
- Existing Utility Pole

EXISTING SITE PLAN

SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

PORTLAND ME
HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT

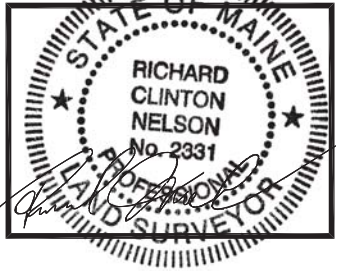


Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310

Colonial Surveying Co, Inc.

28 Woodland Way
Stow, MA 01775
978-897-1700

www.colonialsurveying.com



DRAWN BY: JG

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50080012

SITE ADDRESS:

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

EXISTING SITE PLAN

SHEET NUMBER

Z-1

GENERAL NOTES

1. FIELD SURVEY DATE: AUGUST 26, 2016
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988.
3. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) ME WEST STATE PLANE
4. CENTER OF PROPOSED BUILDING:
LAT 43° 39' 33.0" N
LON 70° 18' 12.5" W
GROUND EL= 41'
5. OWNER: KENNICK LLC
PO BOX 10988
PORTLAND ME 04104
6. SITE NAME: PORTLAND ME HEAD END
7. SITE NUMBER: N/A
8. SITE ADDRESS: 1531 CONGRESS ST.
PORTLAND, ME 04102
9. ABUTTERS INFORMATION TAKEN FROM TOWN TAX DATA
10. JURISDICTION: CITY OF PORTLAND, ME
11. TAX ID: PARCEL 196 E001
12. DEED REFERENCE: BOOK 26325 PG 86
13. PLAT REFERENCE: 2008 BH2M SURVEY
14. GRID NORTH BASED ON GPS
15. ELEVATIONS AND COORDINATES FROM GPS LOCATIONS.
16. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK.
CALL DIGSAFE 1(800) 322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
17. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED TOWER ON THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X. NOT WITHIN THE 100 YEAR FLOOD BOUNDARY. COMMUNITY PANEL NO. 2300510013B, DATED 7/17/1986
18. PROPERTY LINE INFORMATION IS COMPILED FROM DEEDS AND PLANS OF RECORD AND IS NOT THE RESULT OF A FULL BOUNDARY SURVEY.
19. BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH.

ZONING INFORMATION

DISTRICT: R5 - RESIDENTIAL

	REQUIRED:	PROPOSED:
MIN. AREA:	6,000 S.F.	20,301 S.F.
MAX HEIGHT:	35'	23'-8"
MIN. FRONTAGE:	50'	N/C
MIN. DEPTH:	N/A	N/A
MIN. FRONT YARD DEPTH:	20'	22'-0"
MIN. SIDE YARD DEPTH: (1 STORY STRUCTURE)	8'	15'-0"
MIN. REAR YARD DEPTH:	20'	21'-1"
MAX LOT COVERAGE:	40%	14.56%

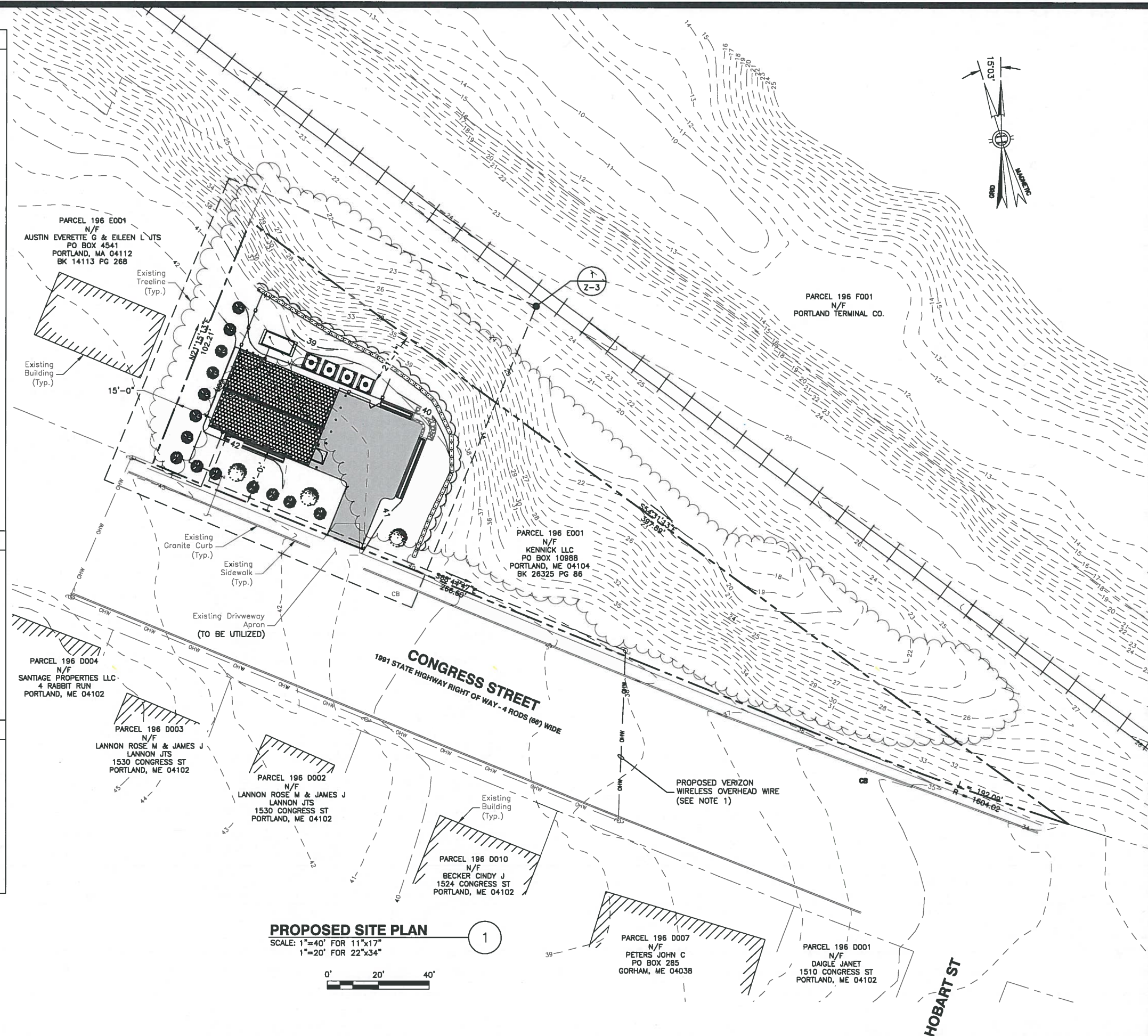
N/A- NOT APPLICABLE, N/C - NO CHANGE

LEGEND

---	LOCUS PROPERTY LINE
---	Existing Property Line
---	Existing Road
-XXX-	Existing Contour
-XXX-	PROPOSED CONTOUR
---	Existing Train Tracks
---	Existing Treeline
OHW	Existing Overhead Wire
U	Existing Utility Pole

NOTE:

1. UTILITY SERVICE & ROUTING PENDING UTILITY COMPANY DESIGN & APPROVAL.
2. ALL WORK WITHIN THE CITY OF PORTLAND RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS.



PROPOSED SITE PLAN

SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"

0' 20' 40'



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

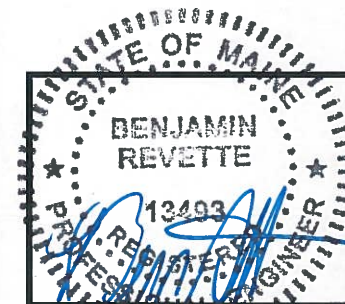
PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.685.3400
FAX: 617.685.3310



DRAWN BY: JG

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50080012

SITE ADDRESS:

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

PROPOSED SITE PLAN

SHEET NUMBER

Z-2



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY:	JG
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50080012
SITE ADDRESS:	

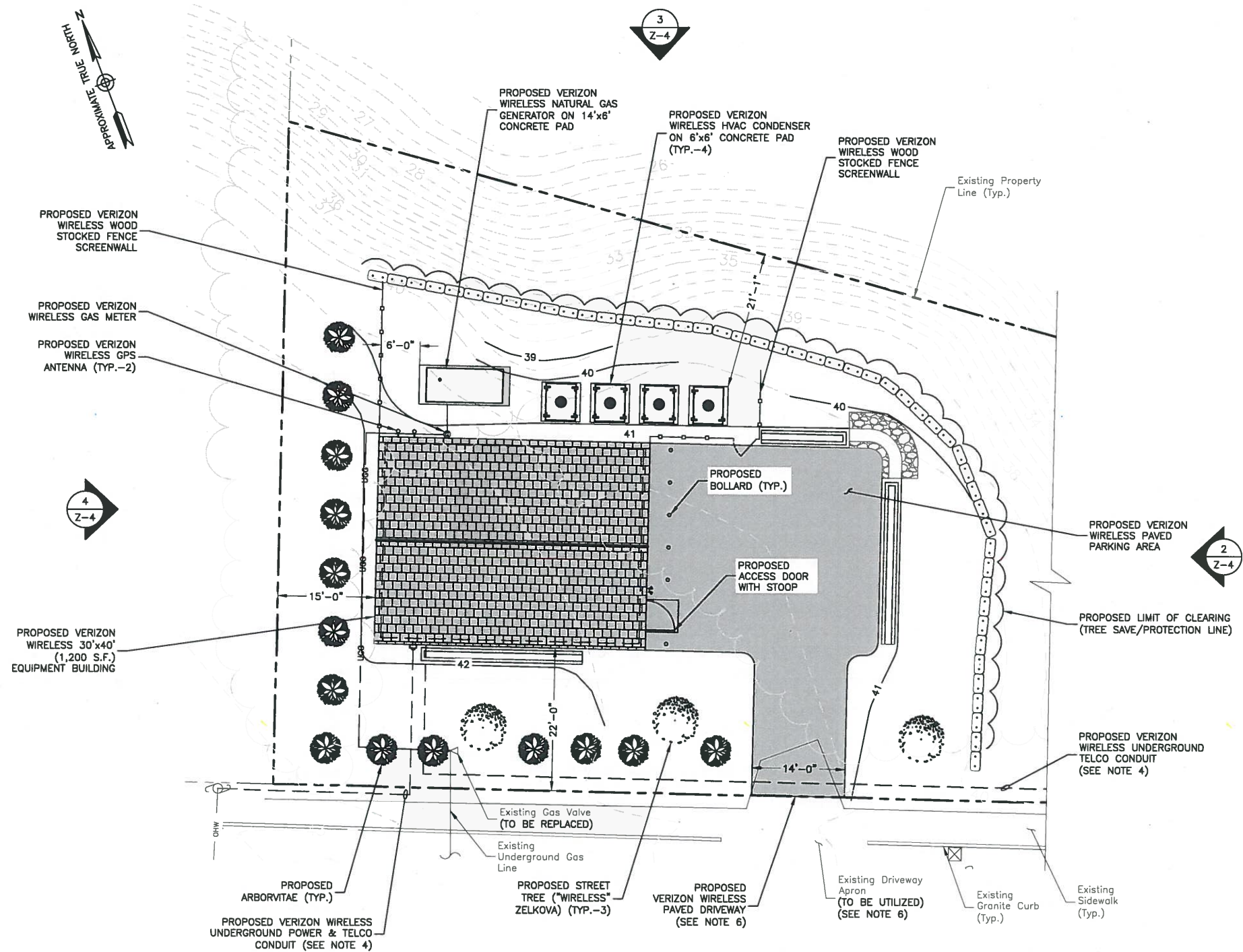
1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

DETAILED SITE PLAN

SHEET NUMBER

Z-3



CONGRESS STREET

DETAILED SITE PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



NOTES:

- SOME EXISTING & PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- NORTH ARROW SHOWN AS APPROXIMATE.
- PLANS ARE FOR ZONING PURPOSES ONLY AND NOT INTENDED FOR CONSTRUCTION.
- UTILITY SERVICE & ROUTING PENDING A FINAL DESIGN.
- ALL WORK WITHIN THE CITY OF PORTLAND RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS.
- THE EXISTING DRIVEWAY APRON IS TO BE USED FOR THIS ACCESS TO THE NEW DRIVEWAY. THE NEW PAVED DRIVEWAY/PARKING AREA SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS.



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.685.3400
FAX: 617.685.3310



DRAWN BY:	JG
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50080012
SITE ADDRESS:	

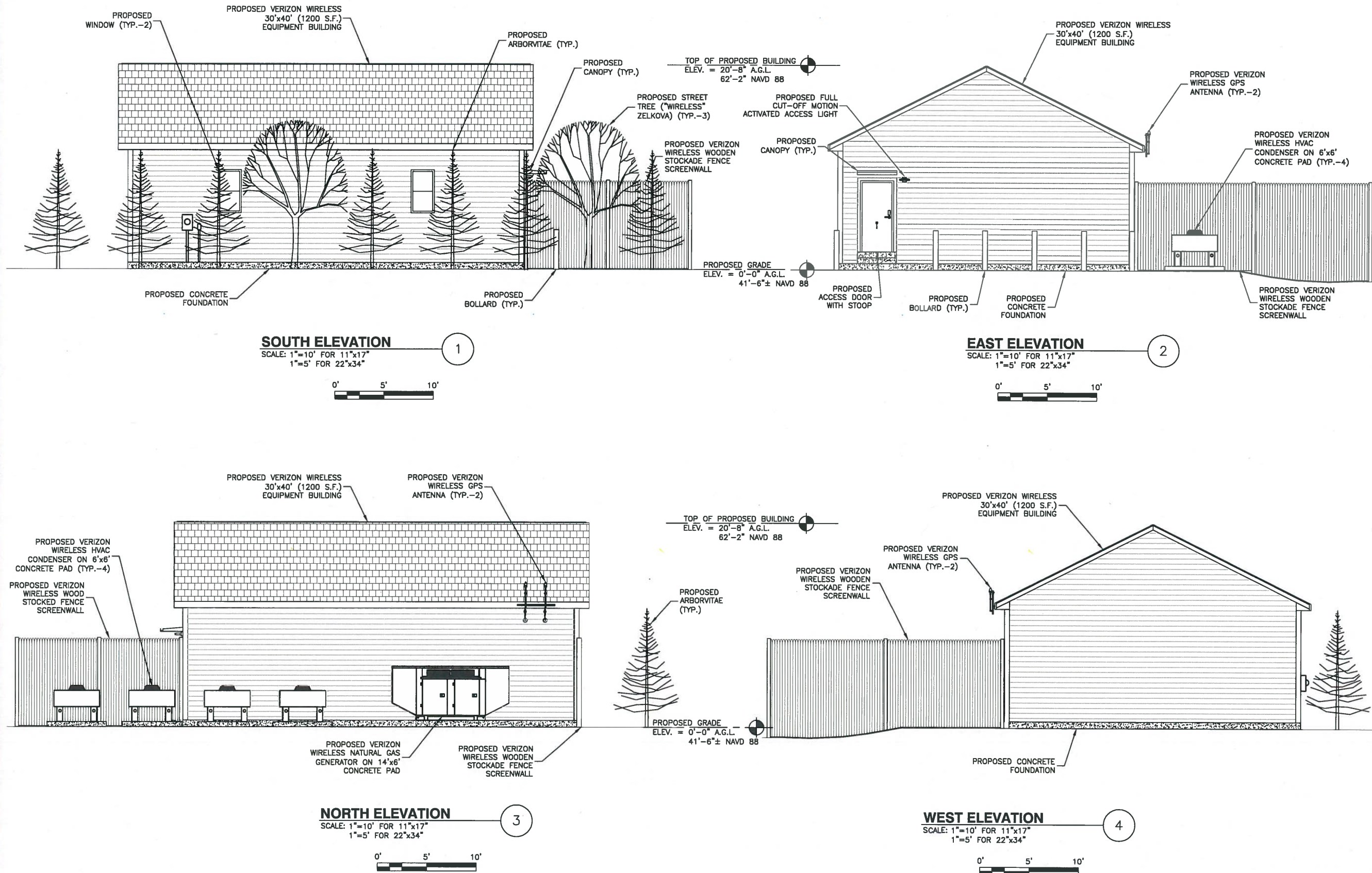
1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

ELEVATIONS

SHEET NUMBER

Z-4



EROSION AND SEDIMENT CONTROL PLAN:

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

1. INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
2. SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER RAINFALL.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
4. THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 6" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

WILDFLOWER SLOPE MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

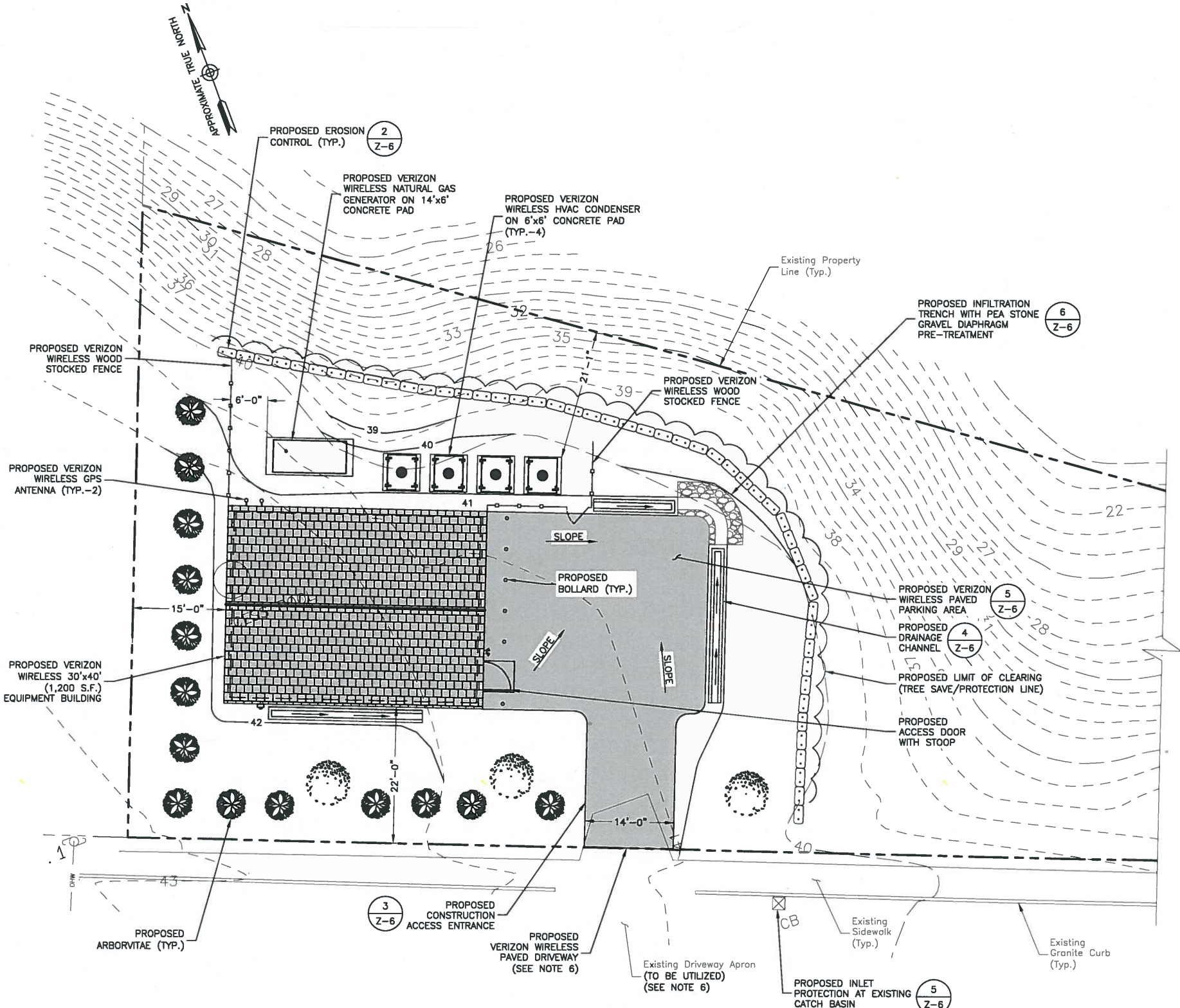
38% CREEPING RED FESCUE	(MIN. 60 LBS/CRE)
32% PERENNIAL RYEGRASS	(MIN. 51 LBS/ACRE)
5% REDTOP	(MIN. 8 LBS/ACRE)
5% ALSIKE CLOVER	(MIN. 8 LBS/ACRE)
5% BIRDSFOOT TREFOIL	(MIN. 8 LBS/ACRE)
3% LANCE-LEAF COREOPSIS	(MIN. 3 LBS/ACRE)
3% OXEYE DANSY	(MIN. 3 LBS/ACRE)
3% BUTTERFLY WEED	(MIN. 3 LBS/ACRE)
3% BLACKEYED SUSAN	(MIN. 3 LBS/ACRE)
3% WILD LUPINE	(MIN. 3 LBS/ACRE)

GENERAL SLOPE MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

44% CREEPING RED FESCUE	(MIN. 70 LBS/ACRE)
38% PERENNIAL RYEGRASS	(MIN. 60 LBS/ACRE)
6% REDTOP	(MIN. 10 LBS/ACRE)

- A. PLACING LOAM ON SITE:
 - a. ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - b. PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED.
 - c. ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- B. SEED BED PREPARATION:

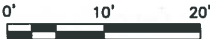
AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS TEXTURE CAPABLE OF RETAINING WATER. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.



CONGRESS STREET

STORMWATER MANAGEMENT PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

**PORTLAND ME
HEAD END**

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



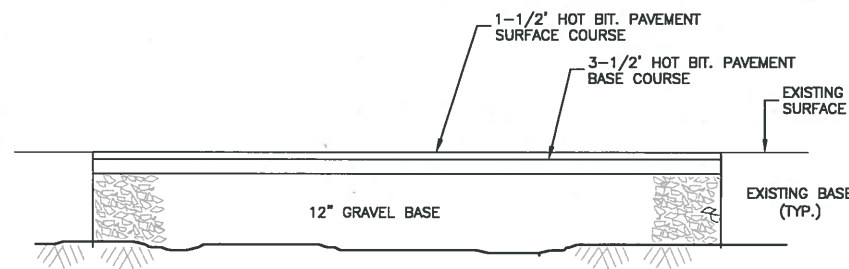
DRAWN BY:	JG
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50080012
SITE ADDRESS:	

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

STORMWATER MANAGEMENT
& EROSION CONTROL PLAN

SHEET NUMBER



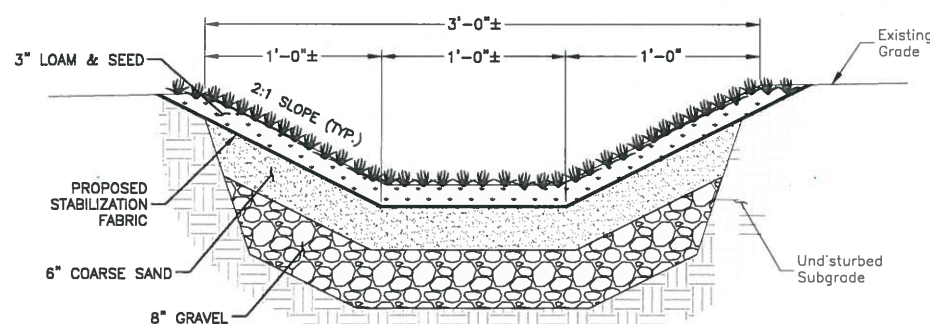
NOTE:

1. THE EXISTING DRIVEWAY APRON IS TO BE USED FOR THIS ACCESS TO THE NEW DRIVEWAY. THE NEW PAVED DRIVEWAY/PARKING AREA SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS.

PAVEMENT DETAIL

SCALE: N.T.S.

1



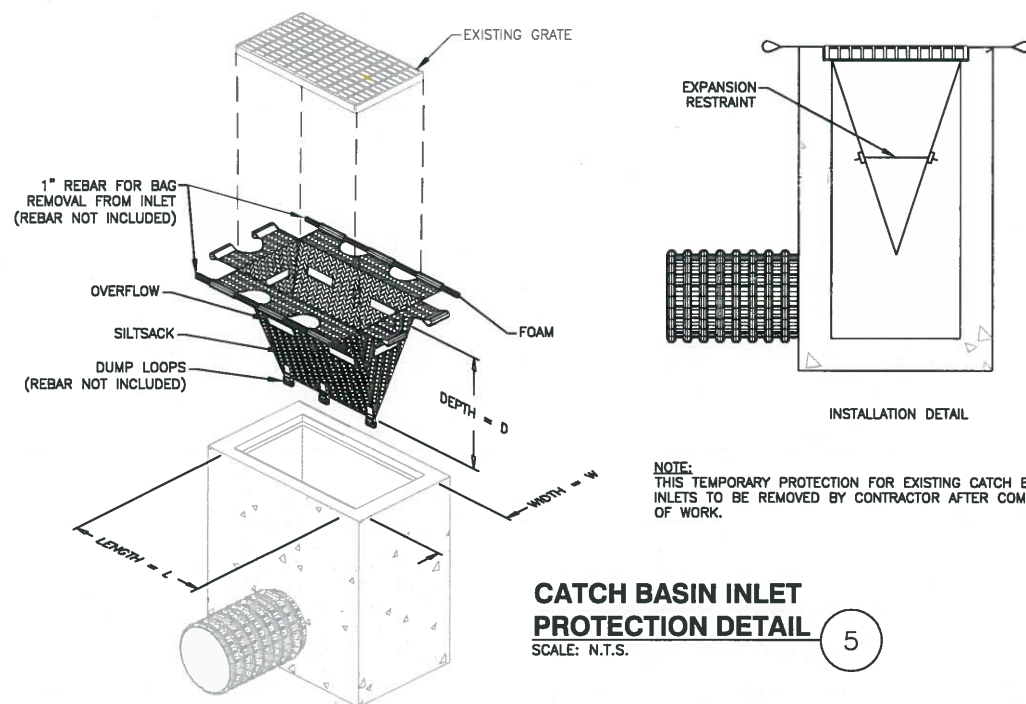
NOTE:

1. SEE SITE C-1 FOR LOCATION OF PROPOSED GRASSED CHANNEL.

GRASSED CHANNEL

SCALE: N.T.S.

4

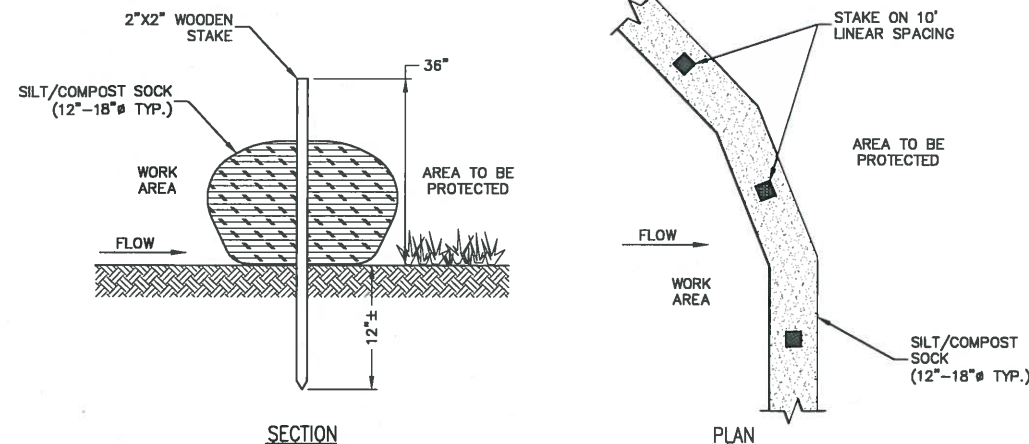


NOTE:
THIS TEMPORARY PROTECTION FOR EXISTING CATCH BASIN INLETS TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF WORK.

CATCH BASIN INLET PROTECTION DETAIL

SCALE: N.T.S.

5



SECTION

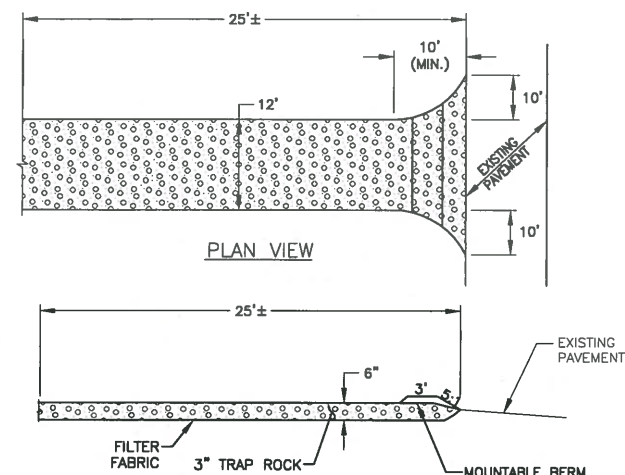
FILTER SOCK NOTES:

1. NO TRENCHING IS REQUIRED. TIE A KNOT IN ONE END OF THE MESH SOCK, FILL THE SOCK WITH COMPOSTED MATERIAL (USING A PNEUMATIC BLOWER) AND KNOT THE OPPOSITE END ONCE THE DESIRED LENGTH IS ACHIEVED.
2. COMPOST FILTER SOCKS SHOULD BE INSPECTED REGULARLY, AS WELL AS AFTER EACH RAINFALL EVENT, TO ENSURE THEY ARE INTACT AND THE AREA BEHIND THE SOCK IS NOT FILLED WITH SEDIMENT. ONCE SEDIMENT REACHES ONE HALF THE HEIGHT OF THE SOCK, REMOVE SEDIMENT BY HAND AND DISPOSE OF PROPERLY.
3. REFER TO MANUFACTURER'S SPECIFICATIONS FOR PROPER INSTALLATION AND MAINTENANCE METHODS.

SEDIMENTATION FILTER SOCK DETAIL

SCALE: N.T.S.

2



PLAN VIEW

CROSS-SECTION

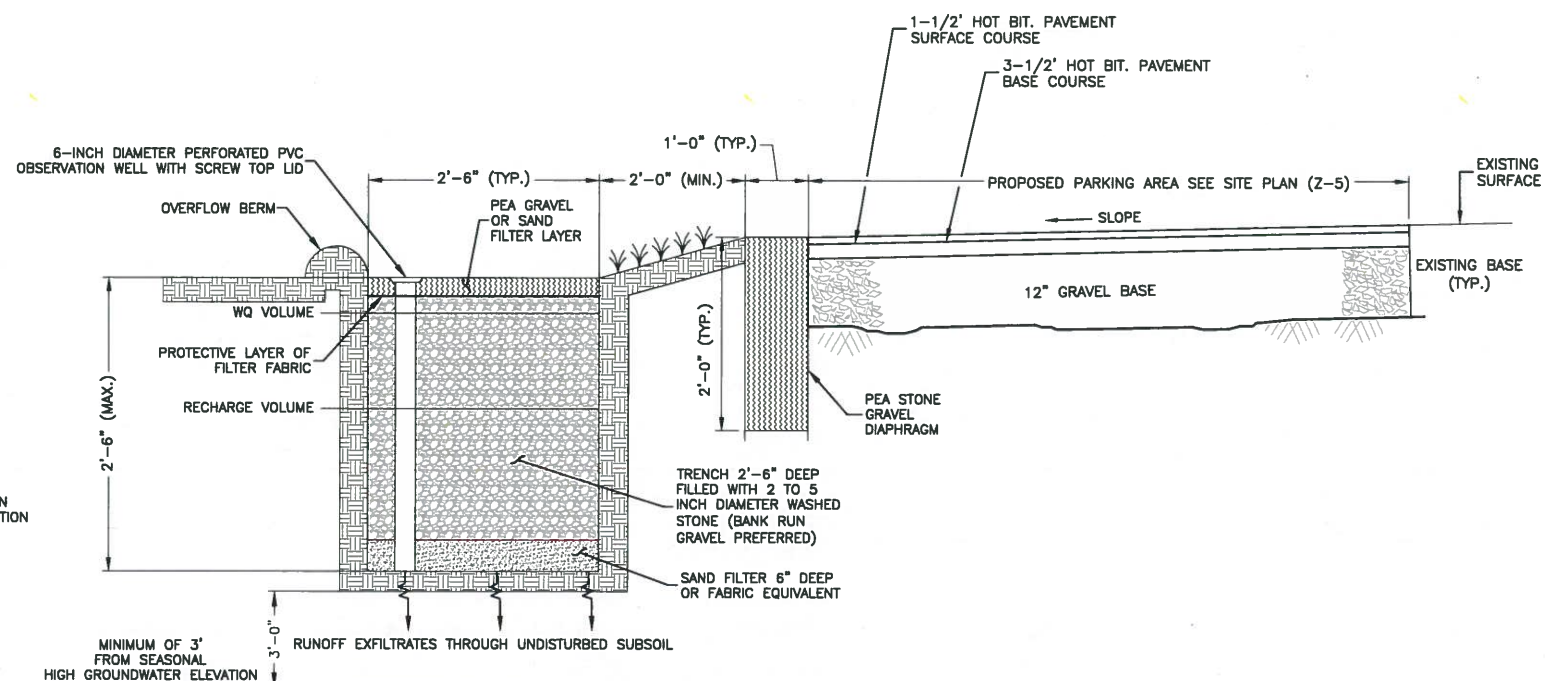
NOTES:

1. ENTRANCE WIDTH SHALL BE A TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

STABILIZED CONSTRUCTION ACCESS

SCALE: N.T.S.

3



CROSS SECTION WITH INFILTRATION TRENCH

SCALE: N.T.S.

6

verizon
WIRELESS

VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

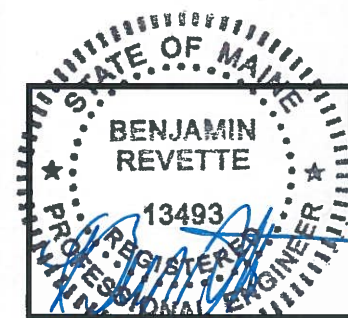
PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
3	01/17/17	FOR SUBMITTAL
2	12/15/16	FOR SUBMITTAL
1	12/07/16	FOR SUBMITTAL
0	09/28/16	FOR SUBMITTAL
A	09/12/16	FOR COMMENT

Dewberry

Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY:	JG
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50080012
SITE ADDRESS:	

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

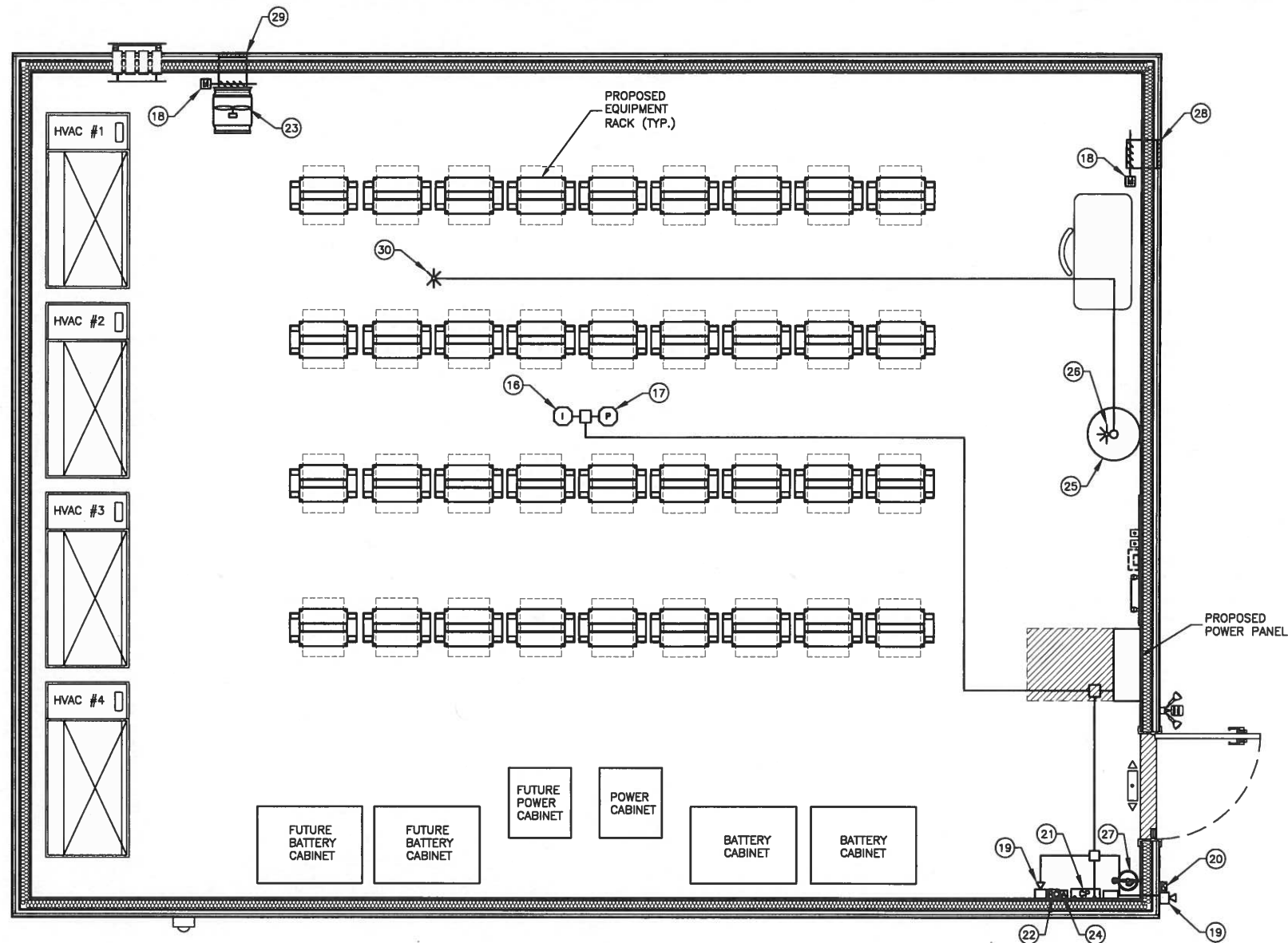
CONSTRUCTION DETAILS

SHEET NUMBER

Z-6

BILL OF MATERIALS		QTY
16	FM 200 SYSTEM SMOKE DETECTOR - IONIZATION 120V/12V WITH RELAY*	1
17	FM 200 SYSTEM SMOKE DETECTOR - PHOTOELECTRIC WITH RELAY 120V/12V*	1
18	GAS EVACUATION DAMPER	2
19	FM 200 SYSTEM CEILING/WALL MOUNT 80cd FIRE STROBE/HORN (WEATHER PROOF)*	2
20	FM 200 SYSTEM FIRE DEPARTMENT LOCKABLE SWITCH*	1
21	FM 200 SYSTEM FIRE ALARM/SUPPRESSION CONTROL PANEL*	1
22	FM 200 SYSTEM ELECTRIC REMOTE CONTROL (PULL STATION)*	1
23	700 CFM, 1/4" SP, 1/4" HP 120,1#	1
24	FM 200 SYSTEM ABORT SWITCH SWITCH - CONSTANT PRESSURE TYPE*	1
25	FM 200 SYSTEM 600# FM 200 CYLINDER*	1
26	FM 200 SYSTEM 180° DISCHARGE NOZZLE*	1
27	10LB CO2 FIRE EXTINGUISHER AND MOUNTING BRACKET & SIGNAGE	1
28	24"x12" INTAKE AIR LOUVER WITH PLENUM BOX	1
29	18"x12" EXHAUST AIR LOUVER WITH PLENUM BOX	1
30	FM 200 SYSTEM 360° DISCHARGE NOZZLE*	1

* ALL FM 200 FIRE SUPPRESSION SYSTEM EQUIPMENT TO INTERFACE WITH THE KIDDE ARIES CONTROL PANEL BY KIDDE FIRE SYSTEMS (OR APPROVED EQUAL). CONTRACTOR TO VERIFY ALL PART NUMBERS PRIOR TO PURCHASE.



FIRE SUPPRESSION PLAN

SCALE: 3/16"=1' FOR 11"x17"
3/8"=1' FOR 22"x34"



NOTES:

- INTERIOR HEIGHT: 10'-2" HEIGHT USED FOR ROOM VOLUME CALCULATION.
- ALL PROPOSED INTERIOR EQUIPMENT LOCATIONS TO BE FIELD VERIFIED PRIOR TO FM-200 SYSTEM INSTALLATION.
- A.F.F. - ABOVE FINISHED FLOOR.
- KIDDE ARIES FIRE ALARM/SUPPRESSION CONTROL PANEL BY KIDDE FIRE SYSTEMS. CONTRACTOR TO CONTACT ADVANCED SAFETY SYSTEMS FOR ORDERING INFORMATION (978) 532-5737.
- FM-200 CLEAN AGENT SUPPRESSION SYSTEM CONTRACTOR SHALL PROVIDE WORKING PLANS IN ACCORDANCE WITH NFPA 2001 SECTION 5.1.2 FOR REVIEW AND APPROVAL BY THE STATE OF MAINE AND ENGINEER OF RECORD. THE CONTRACTOR TO PROVIDE PIPE FLOW CALCULATIONS, COMPLIANT HANGING BRACING AND SPACING REQUIREMENTS AND BATTERY CAPACITY AND BATTERY CALCULATIONS.
- FIRE ALARM/SUPPRESSION SYSTEM TO BE TIED INTO MAIN EQUIPMENT ROOM CIRCUIT BREAKER & INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL ITEMS SHOWN SCHEMATICALLY, CONTRACTOR TO FIELD VERIFY LOCATION OF EACH ITEM. SMOKE DETECTORS & NOZZLE DISCHARGE PATH SHOULD BE CLEAR OF OBSTRUCTIONS. LOCATION OF FIRE PANEL AND ABORT SWITCHES SHOULD ALLOW EQUIPMENT ROOM TO OPERATE PROPERLY.
- ALARMS AND INDICATORS SHOULD BE USED TO INDICATE THE OPERATION OF THE FM-200 CLEAN-AGENT SYSTEM, HAZARDS TO PERSONNEL, OR FAILURE OF ANY SUPERVISED DEVICE. THE TYPE (AUDIBLE, VISUAL, OR OLFACTORY), NUMBER AND LOCATION OF THE DEVICES SHOULD BE SUCH THAT THEIR PURPOSE IS SATISFACTORY ACCOMPLISHED. AUDIBLE AND VISUAL PRE-DISCHARGE ALARMS SHOULD BE PROVIDED WITHIN THE PROTECTED AREA TO GIVE POSITIVE WARNING OF THE IMPENDING DISCHARGE. THE OPERATION OF THE WARNING DEVICES IS TO BE CONTINUED AFTER THE FM-200 CLEAN-AGENT DISCHARGE UNTIL POSITIVE ACTION HAS BEEN TAKEN TO ACKNOWLEDGE THE ALARM AND PROCEED WITH APPROPRIATE ACTION (NFPA 2001, 1.3.5.1/2). THE EXTERIOR AND INTERIOR NOTIFICATION DEVICES SHOULD BE LABELED ACCORDINGLY.
- SIGN ON DOOR TO READ: "CAUTION EQUIPMENT ROOM PROTECTED BY FM-200 FIRE ALARM/SUPPRESSION SYSTEM. DO NOT ENTER UNTIL VENTILATED". "CONTACT LOCAL FIRE DEPARTMENT IN CASE OF EMERGENCY".
- EXHAUST FAN & INTAKE LOUVERS TO BE TIED INTO MAIN EQUIPMENT ROOM CIRCUIT BREAKER PER MANUFACTURER'S RECOMMENDATIONS.
- FAN TO BE MANUALLY CONTROLLED VIA FIRE DEPARTMENT SWITCH. DAMPERS TO OPEN WHEN FAN START BY GREENHECK OR APPROVED EQUAL.
- VERIZON WIRELESS SHALL CONTACT THE PORTLAND FIRE DEPARTMENT REGARDING THE PLACEMENT OF THE KNOX BOX.

LEGEND	
	PHOTO ELECTRIC SMOKE DETECTOR
	IONIZATION SMOKE DETECTOR
	ABORT STATION - CONSTANT PRESSURE TYPE (MOUNTING HT. 4'-0" MAX.)
	600 LB. CYLINDER WITH 383 LB. FM 200
	360° NOZZLE
	180° NOZZLE
	FM-200 CONTROL PANEL
	ELECTRIC REMOTE CONTROL PULL STATION
	STROBE/ HORN WITH MANUAL PULL STATION BELOW (MOUNTING HT. 7'-0" MAX.)
	KEY SWITCH
	GAS EVACUATION DAMPER

FM - 200 CALCULATION								
HAZARD	DESIGN TEMP	SQ. FT.	ROOM VOL.	% CONCENTRATION	FLOODING FACTOR	TOTAL REQUIRED	TOTAL PROVIDED	CONTAINER SIZE
EQUIPMENT ROOM	70°	1106	11,244 CUFT	7%	0.0341	383 LB.	383 LB.	600 LBS CYL.

NOTES:

- ACTUAL HFC-227EA DESIGN SHALL BE BASED ON NFPA 2001 - CURRENT EDITION AND THE MANUFACTURES UL LISTING AND FM APPROVAL.
- AGENT QUANTITIES ARE APPROXIMATE AND BASED ON ROOM VOLUME.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE ROOM VOLUME FOR THE CORRECT AMOUNT OF AGENT FOR EACH ZONE BEING PROTECTED.

verizon
WIRELESS

VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

PORTLAND ME HEAD END

ZONING DRAWINGS

4	03/24/17	FOR SUBMITTAL
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Dewberry
Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY: JG

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50080012

SITE ADDRESS:

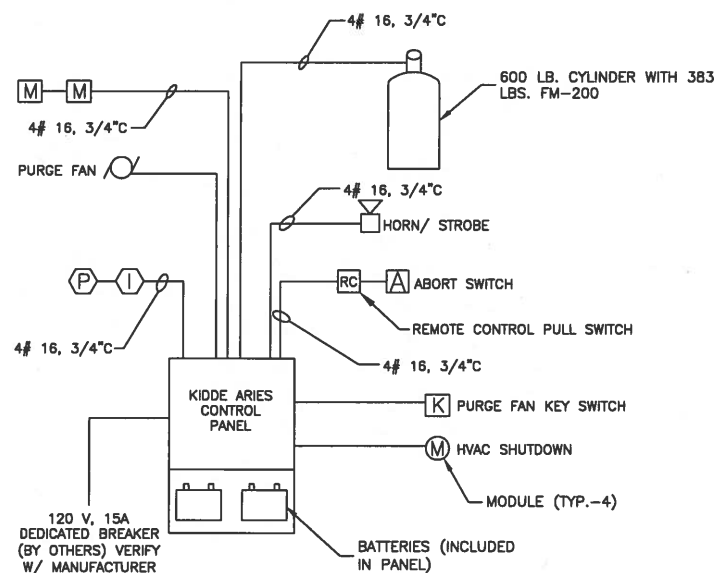
1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

FIRE SUPPRESSION PLAN

SHEET NUMBER

FS-1



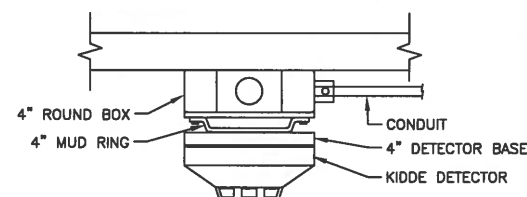
NOTES:

1. FM-200 CLEAN AGENT SUPPRESSION SYSTEM CONTRACTOR SHALL PROVIDE WORKING PLANS IN ACCORDANCE WITH NFPA 2001 SECTION 5.1.2 FOR REVIEW AND APPROVAL BY THE STATE OF MAINE AND ENGINEER OF RECORD. THE CONTRACTOR TO PROVIDE PIPE FLOW CALCULATIONS, COMPLIANT HANGING BRACING AND SPACING REQUIREMENTS AND BATTERY CAPACITY AND BATTERY CALCULATIONS.

**TYPICAL CONTROL
PANEL RISER DIAGRAM**

SCALE: N.T.S.

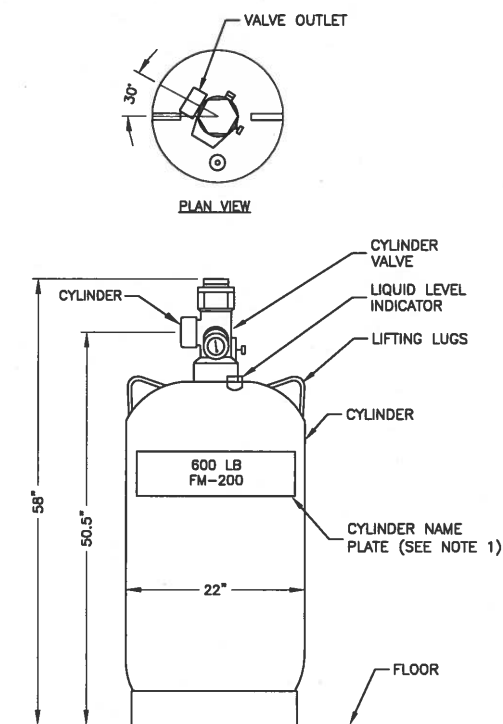
1



4" DETECTOR & BASE DETAIL

SCALE: N.T.S.

4



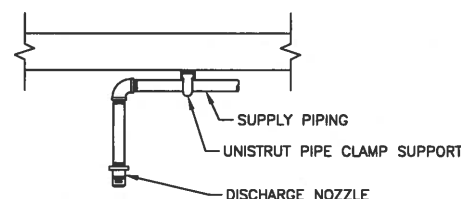
NOTES:

1. THE FM-200 CYLINDER SHALL BE BE LABELED WITH PERMANENT NAME TAGS THAT INDICATE THE AGENT, TARE AND GROSS WEIGHT IN ACCORDANCE WITH NFPA 2001 4.4.1.2.

MOUNTING DETAIL FOR CONTAINER

SCALE: N.T.S.

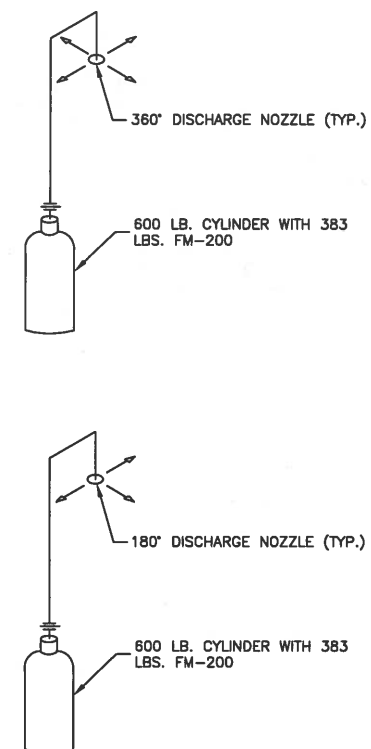
2



NOZZLE MOUNT DETAIL

SCALE: N.T.S.

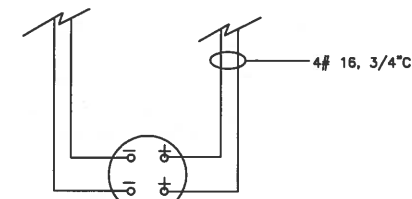
5



ISOMETRIC PIPING DETAIL

SCALE: N.T.S.

3



DETECTOR SCHEMATIC

SCALE: N.T.S.

6

verizon
WIRELESS

VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

**PORTLAND ME
HEAD END**

ZONING DRAWINGS

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BOSTON, MA 02210
PHONE: 617.695.3400
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DRAWN BY: JG

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50080012

SITE ADDRESS:

1531 CONGRESS ST.
PORTLAND, ME 04102

SHEET TITLE

FIRE SUPPRESSION SYSTEM
DETAILS

SHEET NUMBER

FS-2

EXHIBIT 3



EXHIBIT 4

QUITCLAIM WITH COVENANT DEED

(Maine Statutory Short Form)

KNOW ALL BY THESE PRESENTS, that KENNICK, LLC, a Maine limited liability company with a mailing address of P.O. Box 10988, Portland, ME 04104, for consideration paid, GRANTS unto BELL ATLANTIC MOBILE SYSTEMS OF ALLENTOWN, INC., a Delaware corporation d/b/a Verizon Wireless, with a mailing address of c/o Verizon Wireless, One Verizon Way, Mail Stop 4AW100, Basking Ridge, NJ 09720, WITH QUITCLAIM COVENANT, a certain lot or parcel of land with any improvements thereon, situated on the northerly sideline of Congress Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly described as follows:

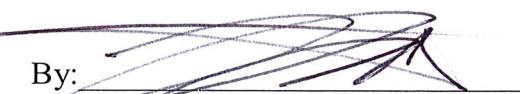
Beginning at the point of intersection of the northerly sideline of Congress Street with the southwesterly sideline of land now or formerly of the Portland Terminal Company, said point being marked with an iron rod and cap; thence northwesterly along the southwesterly sideline of said Portland Terminal Company land N 54°31'13" W a distance of 397.89 feet to a point on the easterly boundary of land now or formerly of Everett G. Austin and Eileen L. Austin, as described in deed recorded in Cumberland County Registry of Deeds in Book 14113, Page 268; thence along said land of Austin S 21°15'13" W a distance of 102.21 feet to the northerly sideline of Congress Street, said point being marked by an iron rod and cap; thence along the northerly sideline of Congress Street S 68°44'47" E a distance of 266.60 feet to a point on a curve concave to the north; thence continuing along the northerly sideline of Congress Street following a curve concave to the north having a radius of 1604.02 feet, an arc length of 119.20 feet to the point of beginning. The above described parcel is depicted on a plan entitled "Boundary Survey 1531 Congress St., Portland, ME 04102" dated December 12, 2016 prepared by Richard C. Nelson PLS 2331, to be recorded in said Registry of Deeds.

Meaning and intending to convey the same premises conveyed to Kennick, LLC by the Estate of Homer Michal by deed dated September 2, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26325, Page 86.

KENNICK, LLC

Dated this April 4, 2017

By:



Richard N. Bryant, Manager

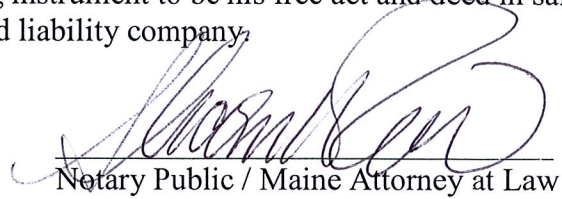
Thereunto duly authorized

MAINE REAL ESTATE TAX PAID

STATE OF MAINE
CUMBERLAND COUNTY, ss.

April 4, 2017

Then personally appeared before me the above named Richard N. Bryant, as Manager of Kennick, LLC, and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of said limited liability company.



Notary Public / Maine Attorney at Law

SHARON K. O'NEILL
Notary Public of Maine
My Commission Expires July 19, 2017

SEAL

Received
Recorded Register of Deeds
Apr 04, 2017 12:00:52P
Cumberland County
Nancy A. Lane

EXHIBIT 5

Looking Northwest from same local. Proposal is to use existing curb cut for access with building and main parking to left.



Looking east down Congress. Note pole line on opposite side but room to place second pole on eastern edge for dual telco paths.



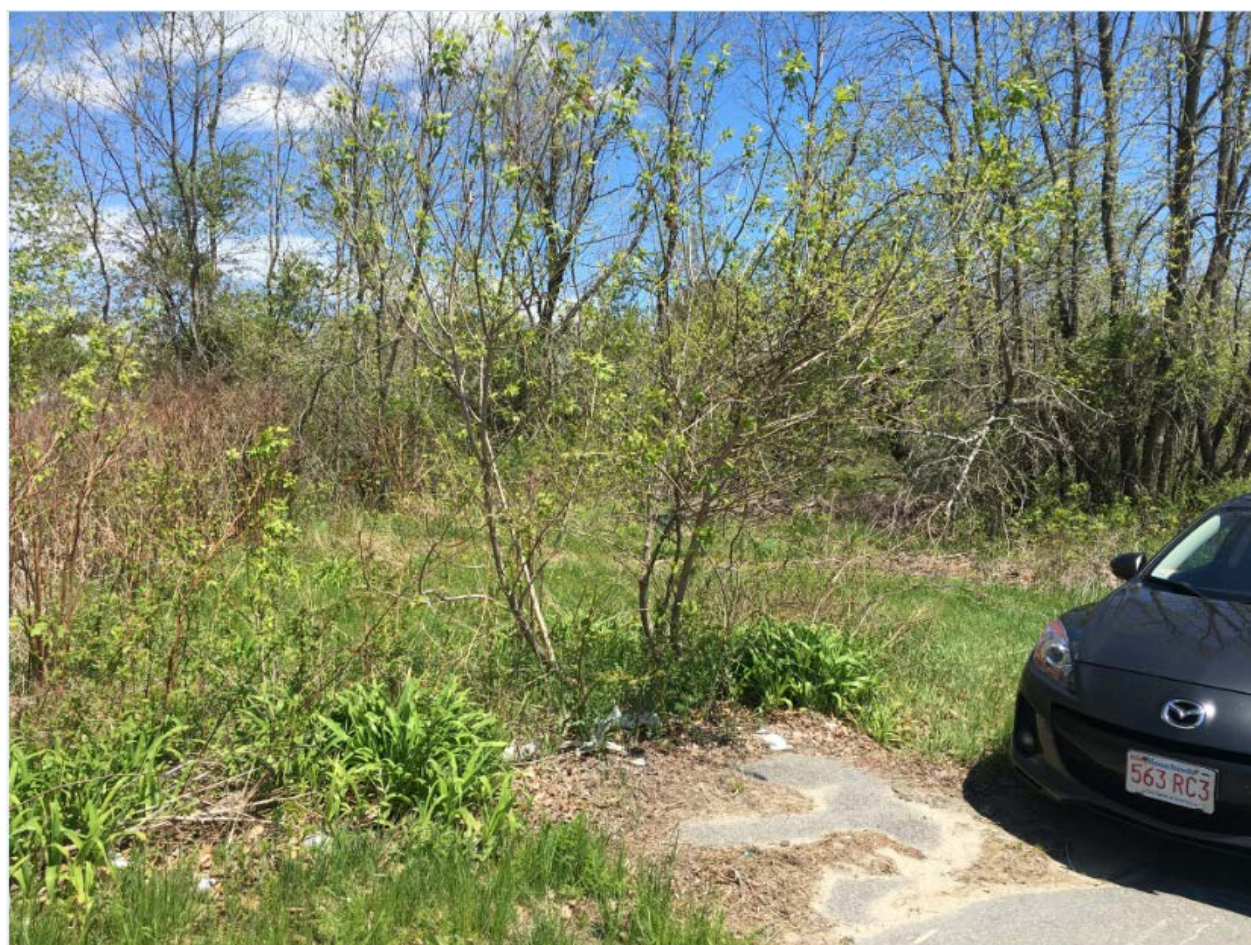
Looking West from parcel at proposed Head End location.



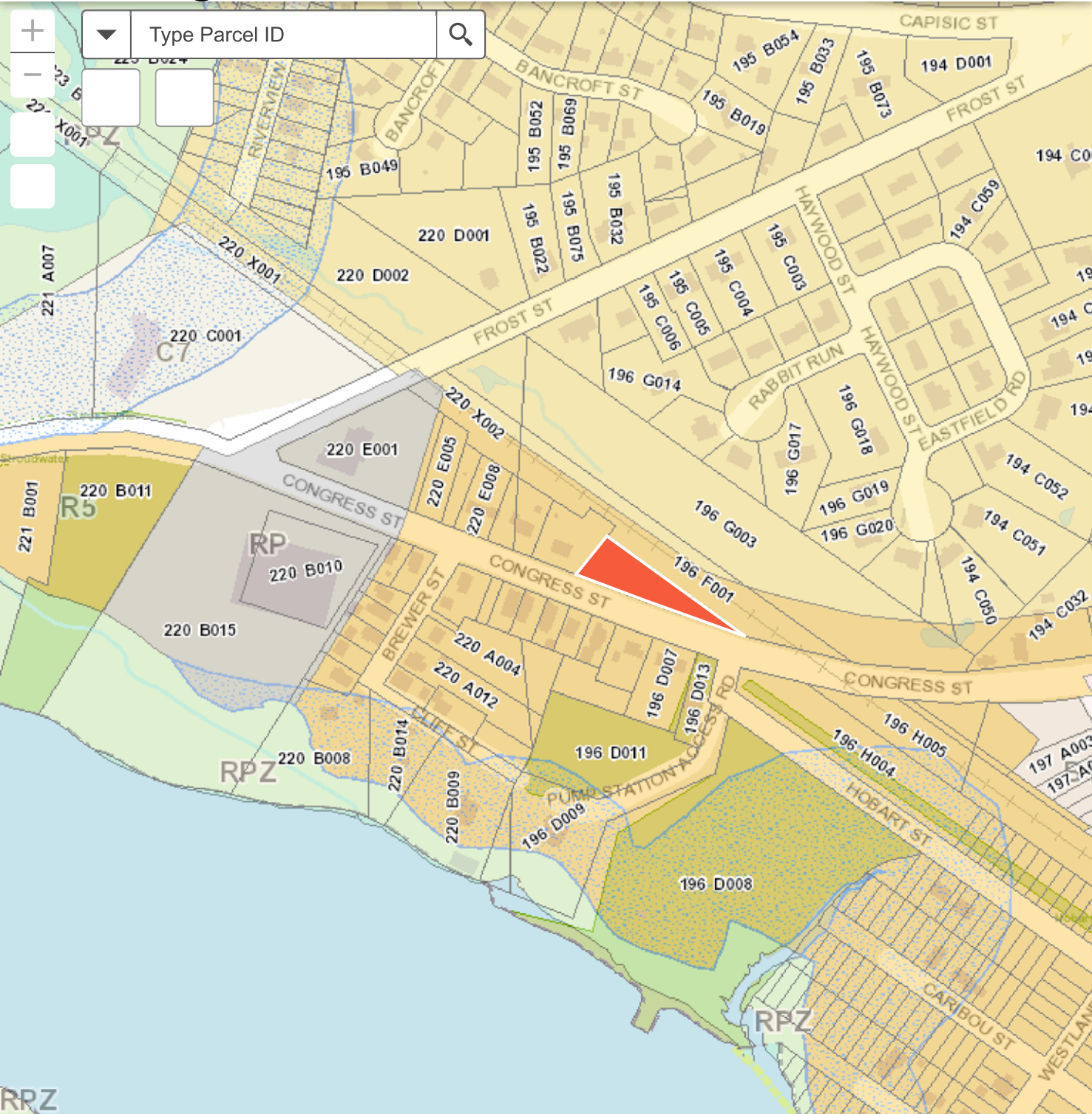
Looking at same from curb cut.



Approximate reverse view.



1531 Congress St - Conditional Use



Portland, Maine



Yes. Life's good here.

Michael A. Russell, MS, Director
Permitting and Inspections Department

Ann Machado
Zoning Administrator

CITY OF PORTLAND
ZONING BOARD OF APPEALS
Disability Variance Appeal Application

APPLICANT INFORMATION:

Ruth M. Egle
Karen Egle - Gaber

NAME

Alpha One

BUSINESS NAME

127 Main St.

ADDRESS

South Portland

207-767-2189

TELEPHONE #

Ruth M. Egle +
Karen Egle - Gaber

APPLICANT'S RIGHT, TITLE OR INTEREST

(eg: owner, purchaser, etc)

R-5

CURRENT ZONING DESIGNATION

SUBJECT PROPERTY INFO:

30 Woodlawn Ave, Portland

PROPERTY ADDRESS

435 / A / 045

CHART/BLOCK/LOT (CBL)

PROPERTY OWNER INFO (If Different):

Same as above

ADDRESS

Variance from Section 14:

8 ft setback

NAME

EXISTING USE OF PROPERTY:

Single residential

NOTE: If site plan approval is required, attach preliminary or final site plan.

The undersigned hereby makes application for an appeal as described above, and certifies that the information herein is true and correct to the best of his OR her knowledge and belief.

Karen M. Egle - Gaber

SIGNATURE OF APPLICANT

9-28-17

DATE



Michael A. Russell, MS, Director
Permitting and Inspections Department

Ann Machado
Zoning Administrator

WARNING!!

This application contains health care information and is CONFIDENTIAL, pursuant to 22 M.R.S.A., § 402(3) (Freedom of Access Law).

THE MEDICAL INFORMATION CONTAINED HEREIN MAY NOT BE DISCLOSED TO ANY PERSON WITHOUT THE WRITTEN CONSENT OF THE PATIENT

The Board of Appeals is authorized to grant disability variances by 30-A M.R.S.A., §4-A and Portland Municipal Code § 14-473 (c)(2)

1. What is the nature of the disability which supports the request for a variance?

2. Does the disability constitute a physical or mental handicap as defined by 5 M.R.S.A., §4553?
___ YES ___ NO

3. Does the person with the disability reside in the dwelling?

☒ YES ___ NO

4. Is the variance which is requested, restricted solely to the installation of equipment, or the construction of structures* necessary for access to or egress from the dwelling by the person with the disability?

☒ YES ___ NO

Conditions

The Board may impose conditions on the variance, including limiting the term of the variance to the duration of the disability or the time that the person with the disability lives in the dwelling.

**The phrase "structure necessary for access to or egress from the dwelling" includes railing, wall or roof systems necessary for the safety or effectiveness of the structure.*

tel 800.640.7200
fax 207.799.8346



127 Main Street
South Portland, ME 04106

September 26, 2017

City of Portland
Zoning Board of Appeals
389 Congress Street – Room 315
Portland, ME 04101

RE: Egle/Egle-Gaber 30 Woodlawn Ave Disability Variance

Dear Members of the Board;

Please find attached 11 copies of the Disability Variance Appeals Application with supporting documents for the above address. Ms. Egle and Ms. Egle-Gaber are working with Alpha One and the City of Portland's Housing & Community Development to provide a temporary ramp to safely access their home. Because permanent footings are not involved, the ramp is designed to be easily removed if no longer needed.

Because the ramp does not meet the R-5 8 foot side set back requirements, we are asking for a Disability Variance to accommodate our client's safe access in and out of the home.

We were issued a conditional building permit on September 22, 2017, based on the current site access limitations. Since the City of Portland is assisting Alpha One with this Portland residence we would appreciate an opportunity to wave additional fees in order to ensure that more funds are available to help other Portland residents in need of access to their homes.

We appreciate your review and consideration for this project.

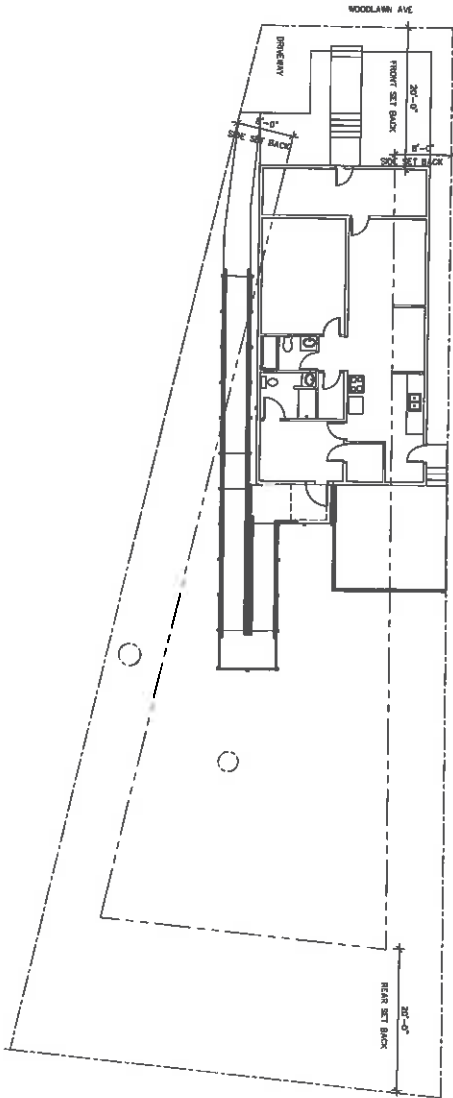
Sincerely;



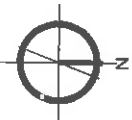
Jill S. Johanning, AIA
Maine Licensed Architect
Alpha One

Enclosure

A PLOT PLAN
1/8"=1'-0"



137 N. HAMILTON ST.
SOUTH PLAINFIELD, NJ 07080
908.271.1234
WWW.ACCESSDESIGNNJ.COM



30 WOODLAWN AVE
RAMP &
BATHROOM
CONCRETE WORK

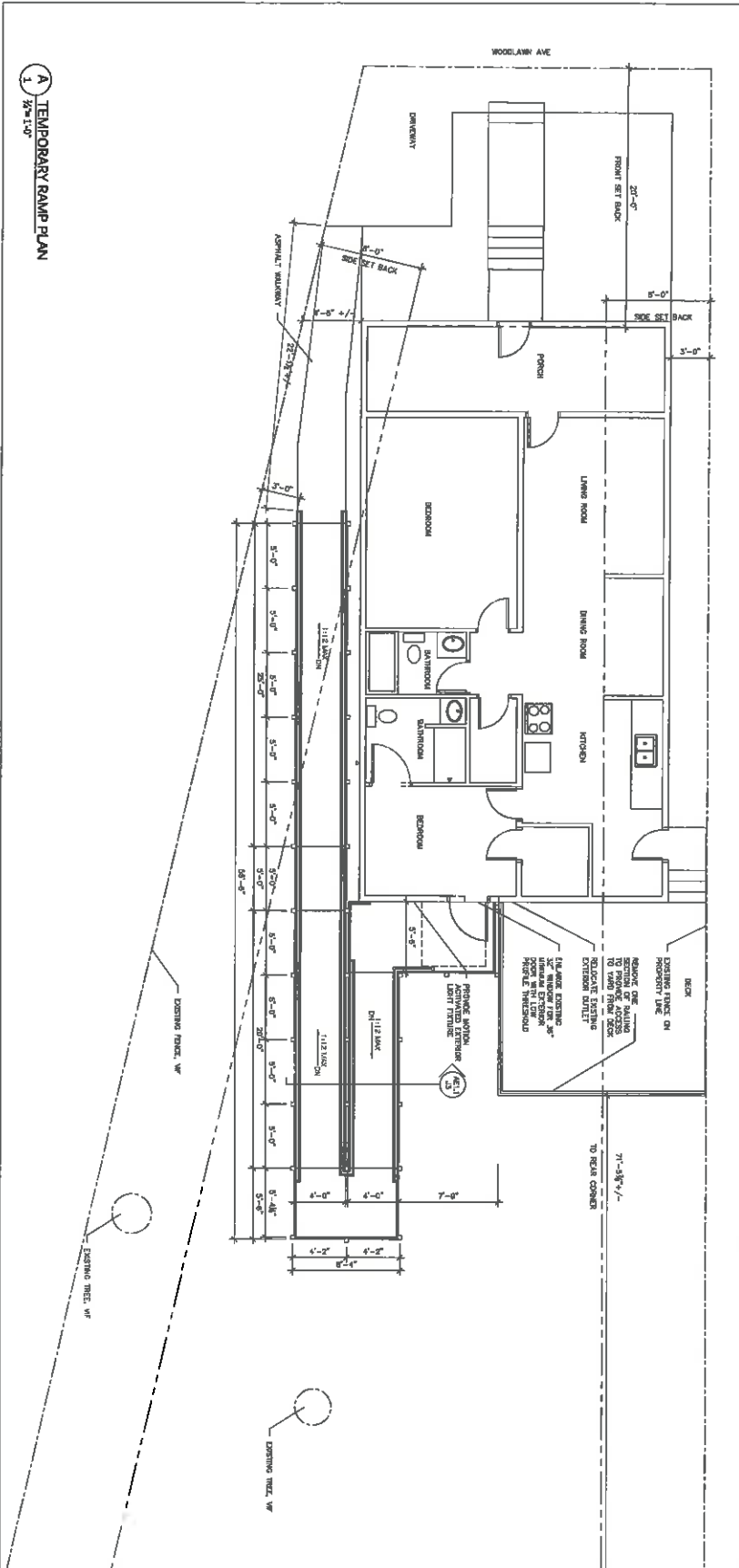
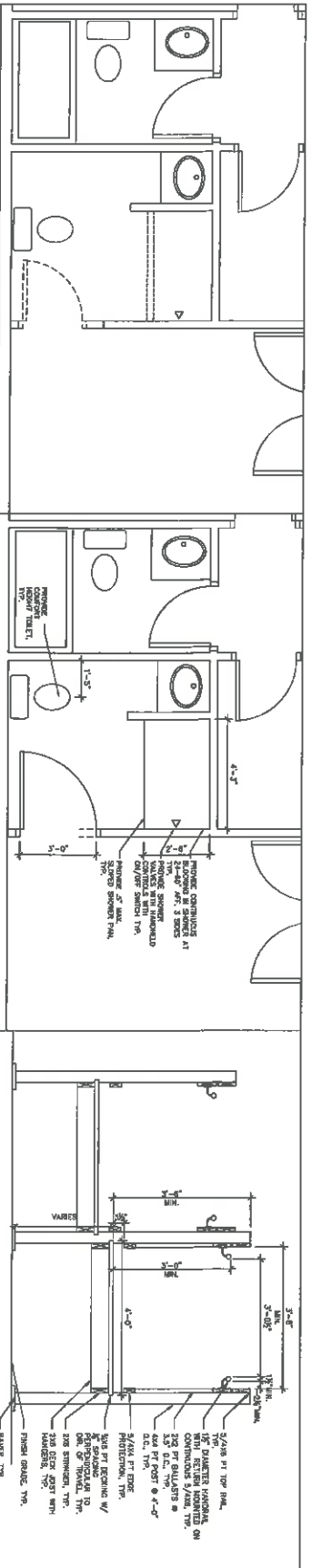
SEPTEMBER 1, 2017

PLOT PLAN

PROJECT NO. 10770

SCALE AS NOTED

AE1.0



30 WOODLAWN AVE
RAMP &
BATHROOM
PORTLAND, ME

SEPTEMBER 1, 2017

TEMPORARY
RAMP PLAN

PROJECT NO. 10770

SCALE: AS NOTED

AE1.0



WOODLAWN AVE 2-48

ALLEN AVE

GOODRIDGE AVE

ELEANOR ST

435 AO 45001
Acres 0.1599
Tax Acct # 44286
Built 1915
Bungalow

1 A014











WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that ELIZABETH A. SAWICKI and ADAM C. WARFEL of Falmouth, Maine, for consideration paid, grant to RUTH M. EGLE and KAREN EGLE-GABER, whose mailing address is 36 B Shattuck Street, Nashua, NH 03064, with WARRANTY COVENANTS as Joint Tenants and not as Tenants in Common, the premises situated on or about 30 Woodlawn Avenue in the City of Portland, County of Cumberland and State of Maine, more particularly described as follows:

A certain lot or parcel of land with the buildings thereon, situated on the northeasterly side of Woodlawn Avenue at Hawthorne Heights in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point of the angle of 168° 42' in the northeasterly side line of said Woodlawn Avenue, which point is distant southeasterly thereon three hundred thirty-eight and nineteen hundredths (338.19) feet from the southeasterly side line of Allen Avenue;

Thence following the northeasterly sideline of said Woodlawn Avenue in a southeasterly direction thirty-one and five-tenths (31.5) feet to a point;

Thence northeasterly and at right angles to said Woodlawn Avenue, one hundred forty-nine (149) feet, more or less, to land now or formerly of one Moulton;

Thence northwesterly along said Moulton line sixty-two (62) feet, more or less, to a point in said dividing line, which is in a line drawn at right angles to said Woodlawn Avenue as it lies on the northwesterly side of said angle and which line would intersect the point of said first mentioned angle, and the point of beginning;

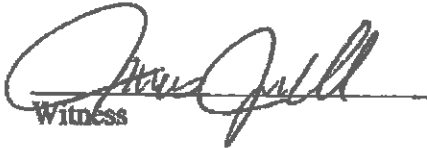
Thence southwesterly one hundred fifty-one (151) feet, more or less, to the point of beginning. Said lot containing sixty-nine hundred sixty-five (6,965) square feet, more or less, and being lot (4) as shown on plan of Hawthorne Heights surveyed for the George T. Edwards Real Estate Company, November 1910, by A.H. Skillin, C.E., and recorded in the Cumberland County Registry of Deeds, Plan Book 12, Page 35.

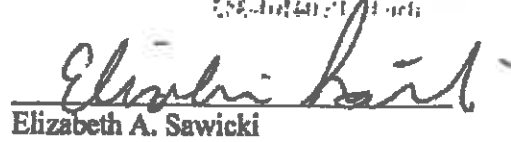
TOGETHER WITH all rights, easements and appurtenances benefitting the premises herein conveyed.

Being the same premises conveyed to the Grantors herein by deed dated July 20, 2005 and recorded in the Cumberland County Registry of Deeds at Book 22927, Page 123.

IN WITNESS WHEREOF, the said Elizabeth A. Sawicki and Adam C. Warfel have set our hands and seals on August 31, 2012

MAINE REAL ESTATE TAX PAID


Witness


Elizabeth A. Sawicki


Witness


Adam C. Warfel

STATE OF MAINE
COUNTY OF CUMBERLAND

August 31, 2012

Then personally appeared before me Elizabeth A. Sawicki and/or Adam C. Warfel and acknowledged the foregoing instrument to be her/his/their free act and deed.

Before me,


Thomas F. Jewell
Attorney at Law

Received
Recorded Register of Deeds
Sep 04, 2012 03:11:42P
Cumberland County
Pamela E. Lovley

tel | 800.640.7200
fax | 207.799.8346



127 Main Street
South Portland, ME 04106

City of Portland
Zoning Board of Appeals
Disability Variance Appeal Application

September 27, 2017

This document is to give Alpha One the right to represent me for the authorization to proceed in the zoning appeal process to acquire a disability ramp for my home on 30 Woodlawn Ave in Portland.
Jill Johanning will help in this representation from Alpha One.

Thank you

A handwritten signature in blue ink that reads "Karen Egle - Gaber". The signature is written in a cursive, flowing style.

Karen Egle - Gaber,

