

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD



Penny Pollard, Chair
Robert O'Brien, Vice Chair
Hilary Bassett
Joy Naifeh
Julia Tate
John Turk
Rob Whitten

AGENDA

HISTORIC PRESERVATION BOARD MEETING

The Historic Preservation Board will hold a remote meeting on Wednesday, September 21, 2022 at 5:00 PM. Due to the ongoing procedure of holding meetings remotely, the Historic Preservation Board will conduct this meeting by remote methods/technology at the Zoom link provided on the agenda and in accordance with the requirements of 1 M.R.S. 403-B and the City Council's Remote Participation Policy. Allow your computer to install the free Zoom app to get the best meeting experience.

If you are not able to attend live, a recording will be available following the meeting. For public comment, you will need to use the "raise your hand" feature. To raise your hand via the telephone, please hit *9. You will be unmuted by the host when it is time for public comment. For more information on submitting written public comments and participating in the remote meeting, please refer to the document, A Guide to Public Comment, Remote Mtg. and Public Participation, which can be found at <https://www.portlandmaine.gov/485/Development-Review>. Public comments will be taken for each item on the agenda during the estimated allotted time.

Written Public Comment

Written comments received by email before 12:00PM **the day before** the scheduled meeting date will be included in the agenda backup materials ("agenda packet"). Written comments received **by the aforementioned deadline** will be published in the agenda packet no later than 12:00PM the day of the meeting. Written comments must be submitted to hp@portlandmaine.gov. If you have any questions or feedback regarding this process, please email citymanager@portlandmaine.gov

Please note that the placement of each item on the agenda is subject to change. Please check the Agenda & Minutes Center prior to the meeting for the item start time: <https://www.portlandmaine.gov/602/Agendas-Minutes>.

You are invited to a Zoom webinar.

When: Sep 21, 2022 05:00 PM Eastern Time (US and Canada)

Topic: Historic Preservation Board Public Hearing and Workshop 9/21/2022

Please click the link below to join the webinar:

<https://portlandmaine-gov.zoom.us/j/81271803498>

Or One tap mobile: US: +13126266799,,81271803498# or +16469313860,,81271803498#

Or Telephone: Dial(for higher quality, dial a number based on your current location): US: +1 312 626 6799 or +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 309 205 3325 or +1 564 217 2000 or +1 669 444 9171 or +1 669 900 6833 or +1 719 359 4580 or +1 253 215 8782 or +1 346 248 7799 or +1 386 347 5053

Webinar ID: 812 7180 3498

International numbers available: <https://portlandmaine-gov.zoom.us/u/kdUD9Tpbad>

1. **ROLL CALL AND DECLARATION OF QUORUM**
2. **REPORT OF ATTENDANCE AT THE MEETING HELD ON SEPTEMBER 7, 2022**
 - i. Public Hearing
185 Commercial Street: *Bassett, Naifeh, O'Brien, Pollard, Tate, Turk, Whitten present*

- ii. Workshop
76 Congress Street: *Bassett, Naifeh, O'Brien, Pollard, Tate, Turk, Whitten present*
9 Bowdoin Street: *Bassett, Naifeh, O'Brien, Pollard, Tate, Turk, Whitten present*

3. REPORTS OF DECISIONS AT THE MEETING HELD ON SEPTEMBER 7, 2022

- i. Certificate of Appropriateness for Proposed New Construction; 185 Commercial Street, 185 Commercial LLC, Applicant. The Board voted 6-1, Naifeh opposed, to approve the application subject to conditions.

4. COMMUNICATION AND REPORTS

- i. Historic Preservation Impact Study Update; Staff will provide an overview of the study background, progress, and next steps.

5. PUBLIC HEARING

- i. Certificate of Appropriateness for Proposed Alterations; 59 ATLANTIC STREET; Joshua Longo & Jill Carbonneau, Applicants.

6. WORKSHOP

- i. Preliminary Review of Proposed Addition; 465 CONGRESS STREET; CTR Congress LLC, Applicant.
- ii. Preliminary Review of Proposed Construction of New Gazebo; WESTERN PROMENADE (51 VALLEY STREET); City of Portland & Friends of the Western Promenade, Applicants. **THIS ITEM IS POSTPONED TO A LATER DATE.**

7. CONSENT AGENDA

To: Chair Pollard and members of the Historic Preservation Board

From: Christine Grimando, Director, Planning & Urban Development

Date: September 16, 2022

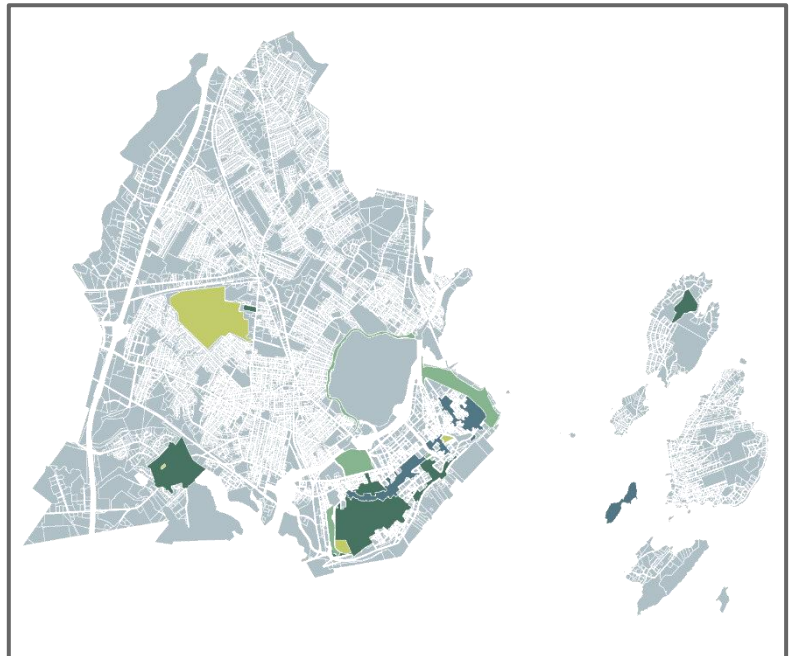
RE: Historic Preservation Impact Study Communication

1. INTRODUCTION

On April 12, 2021, the City Council passed a resolution outlining funding and scope for a Historic Preservation Impact Study. The project is currently underway, with a draft study anticipated later this fall. Below is an overview of the study background, progress, and next steps.

2. STUDY BACKGROUND AND PURPOSE

Since the adoption of the Historic Preservation Ordinance by the City Council in 1990, approximately 2,000 properties throughout the City, in a diverse range of neighborhoods and contexts, have been designated as historic properties.



Map of Local Historic Cemeteries (Light Green), Landscapes (Medium Green), and Districts (Dark Green and Dark Blue-Gray)

Over the course of the Munjoy Hill Historic District designation process, many questions arose about preservation's relationship, citywide, to housing costs, sustainability, economic development and other city goals. Though there was some data available to address questions in the scope of that particular designation review, the impacts of the City's historic preservation program had not been fully evaluated. As a result, the Council directed staff to initiate a study to address the following:

The goal of the study is to serve as that evaluation. Per the Council resolution, the study will analyze the following:

1. Job creation and income generated by historic rehabilitation activity or other preservation efforts in Portland's historic districts;
2. The economic impact of cultural heritage tourism and its relative impact in relation to other forms of tourism in Portland;
3. Demonstrated effect of historic districts on property values and rent within those districts as compared to non-historic districts;
4. The role of historic preservation in downtown commercial economic vitality;
5. The contribution of historic preservation to Portland's sustainable development (smart growth principles, energy conservation, climate resilience, green infrastructure, etc.); and
6. The social & racial impacts of historic preservation including, but not limited to, the opportunities in Portland's historic districts as it is related to the development of low and moderate income housing compared with other, non-historic districts parts of the City.

3. STUDY PROCESS

In January 2022, PlaceEconomics was selected as the project consultant, with data collection commencing in March. PlaceEconomics conducted a site visit in late April to all of the historic districts in the city and interviewed stakeholders with areas of expertise related to affordable housing, community organizing, development, historic preservation, real estate, and sustainability.

Over the course of May and June, PlaceEconomics continued to conduct interviews with stakeholders, collected and analyzed data, and released a community survey gauging community perceptions of historic preservation. Work from July to September has focused on preparation of the draft report.

Periodically throughout the study, an advisory group consisting of eleven people with backgrounds in historic preservation, affordable housing, economic development, historic preservation, and sustainability have provided input. The advisory group met in April and July, with a final meeting still pending to discuss the upcoming draft report.

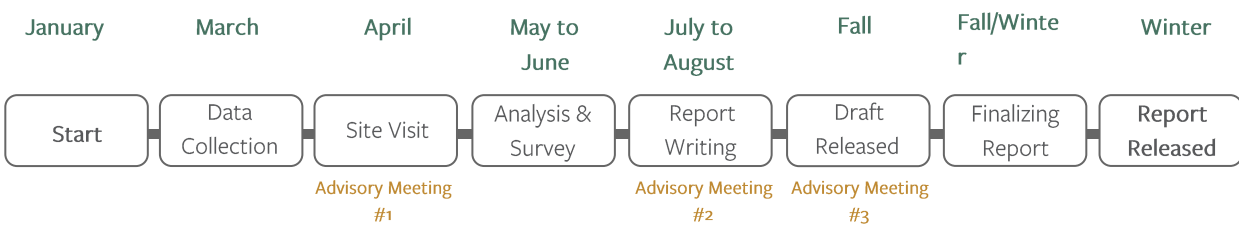
4. STUDY REPORT

The report will be organized around the six analysis areas established within the Council resolution outlining the study scope. The report includes data from City departments, the United States Census, the Maine Historic Preservation Commission, and other local, State, and national sources. Findings for local districts will be compared to similar neighborhoods that are not local districts, as well as to the remainder of the City. Along with these comparative analyses, viewpoints from community stakeholders and results from the community survey have been included to determine how community perceptions on historic preservation align with findings.

5. NEXT STEPS

The next several months will focus on internally reviewing the draft report, gathering feedback on the draft and preparing a final report. The timeline for next steps includes:

- A. On September 19, the City Council will receive a similar communication on the current status of the project.
- B. A draft of the report will be released for public comment in Fall 2022
- C. In Fall and early Winter, public and staff comments will be compiled and addressed in the preparation of the final report.
- D. Upon completion of the final report, there will be a presentation of the report findings to the City Council and Historic Preservation Board.



Members of the public can stay up-to-date on the project by visiting the project [Civil Space page](#), where the link to the draft report and final report will be posted when available.

ATTACHMENT

1. 4-12-21 Council Resolution



Zachary Powell <zpowell@portlandmaine.gov>

Fw: City of Portland Historic Preservation Impact Study - Survey

Karen Snyder <karsny@yahoo.com>

Fri, Jul 8, 2022 at 7:34 AM

To: Zachary Powell <zpowell@portlandmaine.gov>

Hi Zach,

I was sent your notification email from several Portland residents.

I just took the survey and I have a couple of questions about the Historic Preservation Impact study.

1. Who developed these survey questions because the questions seem pretty complex and in-depth for the general population to actually understand the validated facts and data which are not provided that would be needed to be able to select answers being reasonably informed?
2. How do you ensure that a survey response is from an actual Portland resident because it does not ask for a street address or person's name in order to cross reference it with the registered voter list?
3. How can you ensure the survey cannot be taken multiple times?
4. How is this survey going to be used within the impact study if there has been no validated factual information provided on Historic Districts regarding percent acreage, affordability, density, racial equity, etc, or no assurance that the survey responses are actually from Portland residents?

For example, how would the "general public" know of the % of land area that is in Historic District if they did not calculate using the GIS mapping tool on the city website to be able to measure the area and reasonably guess the % of land area in Historic District? *Like a nerd, I did roughly calculate it because I wanted to make sure I made an informed selected answer.*

From my rough measurements below, only 8.13% of Portland land area is actually in Historic Districts/Landscapes.

Est Acreage	Unit	Portland's Historic District/Landscape
263.00	acres	Westbrook College/Evergreen Cemetery HD
36.00	acres	Western Prom Landscape
57.00	acres	Deering Oak Landscape
1.00	acres	Howe Houses HD
17.00	acres	India Street HD
2.50	acres	Portland Company HD
30.00	acres	Great Diamond Island-Fort McKinley HD
37.00	acres	House island HD
118.00	acres	Eastern Promenade Landscape
142.00	acres	Stroudwater HD
367.00	acres	West End/ Parkside/Old Port/Congress Street HD
62.33	acres	Munjoy Hill HD
1,132.83	Acres in Portland Historic Districts/Landscapes	
13,638	Acres of Portland Total Land Area	
8.31%	Percent of Acreage in Portland Historic Districts/Landscapes	
Sources:	Zoning Map Viewer (arcgis.com)	
	City of Portland Historic Resources (arcgis.com)	
	Portland, Maine - Wikipedia	
		Wikipedia says Portland is 69.44 sq miles (44441 acres), of which 21.31 sq miles (13,638 acres) is land.

Ultimately, I don't like to answer questions based on "perception" unless I am learned in the validated facts. So, to rely on a survey that does not provide the audience any type of validated factual information in order for the general public to select reasonably informed answers does seem to put into question the validity of the survey being given.

From "my perception", this survey seems to only favor the minority of developers/residents that oppose the Historic Districts that rely on the general ignorance of the public regarding the validated facts that Portland's Historic Districts have higher population density and higher % of affordable housing created anywhere else in Portland on only 8% of the land area?

I would appreciate your responses to above questions and feedback.

Regards,
Karen Snyder

Begin forwarded message:

From: Zachary Powell <zpowell@portlandmaine.gov>

Subject: City of Portland Historic Preservation Impact Study - Advisory Group Meeting #2 & Survey

Date: June 30, 2022 at 3:10:31 PM EDT

To: undisclosed-recipients;

In related news, our consultants at PlaceEconomics have developed a survey to help residents share their views on historic preservation. The link for the survey is included below:

<https://www.surveymonkey.com/r/3TD8N5K>

It would be greatly appreciated if you can share this with your networks so we can make sure to reach as many people as possible and accurately capture the perspectives of Portland residents. The survey will be open from this Friday, July 1st to 15th.

Zach Powell, AICP (he,him,his |they,them,theirs)
Senior Planner
Planning & Urban Development Department
[389 Congress Street](#)
Portland, Maine 04101
zpowell@portlandmaine.gov



Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.



Zachary Powell <zpowell@portlandmaine.gov>

Fw: City of Portland Historic Preservation Impact Study - Survey

jhinck1@maine.rr.com <jhinck1@maine.rr.com>

Fri, Jul 8, 2022 at 8:31 AM

Reply-To: jhinck1@maine.rr.com

To: Karen Snyder <karsny@yahoo.com>, "zpowell@portlandmaine.gov" <zpowell@portlandmaine.gov>

Zach-- I think Karen raises some interesting questions here. I took the survey and appreciated that it was even put together. I will say that when you read my anonymous responses you will end up recording that I am a big supporter of historic preservation. I believe that it is very important to Portland on multiples levels.

But I was very disappointed about one aspect. Given the questions asked and those not asked you will not learn that I am strongly opposed to every time historic preservation is cited to stop people from having energy efficient windows or solar panels. Energy efficiency and related comfort should be a major exception to the strict historic preservation rules. No questions were asked about that subject. I heard a resident of another Maine town complaining about how they were stopped from installing visually compaticle windows with an extra pane of glass for heat retention. I have heard many complaints about how historic preservation prevent people from adding solar panels to their roofs. (This, by the way, appears to be contrary to state law MRS Title 33, Chapter 28-A. SOLAR RIGHTS). This should be discussed.

Jon Hinck, 142 Pine Street

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[Quoted text hidden]

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**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Pollard and Members of the Historic Preservation Board
FROM: Evan R. Schueckler, Historic Preservation Program Manager
DATE: September 13, 2022
RE: 59 Atlantic Street – Public Hearing – Exterior rehabilitation and alterations
PROJECT ID: HPBR-002127-2022
MEETING: September 21, 2022

Owner: Joshua Longo & Jill Carbonneau
Architect: Chelsea Lipham and Matthew Alcorn, Winkelman Architecture

A sign announcing the Historic Preservation Board’s meeting on September 21, 2022 was posted at the property on September 11, 2022. A legal ad was published in the Portland Press Herald on September 8, 2022 and September 9, 2022, and 43 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

The applicant is proposing to demolish an existing rear wing/addition and deck, remove one rear chimney, remove all existing windows, and to remove all existing vinyl siding and metal trim/flushing. The applicant will then complete a comprehensive exterior rehabilitation of the structure. Rehabilitation will include installation of new clapboard siding, refinishing of existing wood trim where salvageable or replacement to match, installation of new windows throughout, and new roofing. The applicant is proposing to alter several existing window openings at the front, north, and rear elevation. Additionally, the applicant is proposing to construct a new rear deck.

SUMMARY OF HISTORIC CONTEXT

59 Atlantic Street is a contributing building in the Munjoy Hill Historic District, constructed around 1874 in the Italianate Style. The structure is two-and-a-half stories tall, with a one-and-a-half story rear wing/addition. The rear wing/addition is shown as far back as the 1909 Sanborn Fire Insurance Map; however, the map only indicates the rear addition as being one story tall suggesting the half story may have been added later. The building has been altered since the 1924 tax photo, having been entirely clad in vinyl siding and metal trim/flushing. Regardless, the building retains its overall massing, fenestration pattern, and some remnants of the historic trim details. The rear wing/addition has been most heavily altered with irregular

window placement and large areas of blank wall, suggesting changes beyond cladding in vinyl siding.

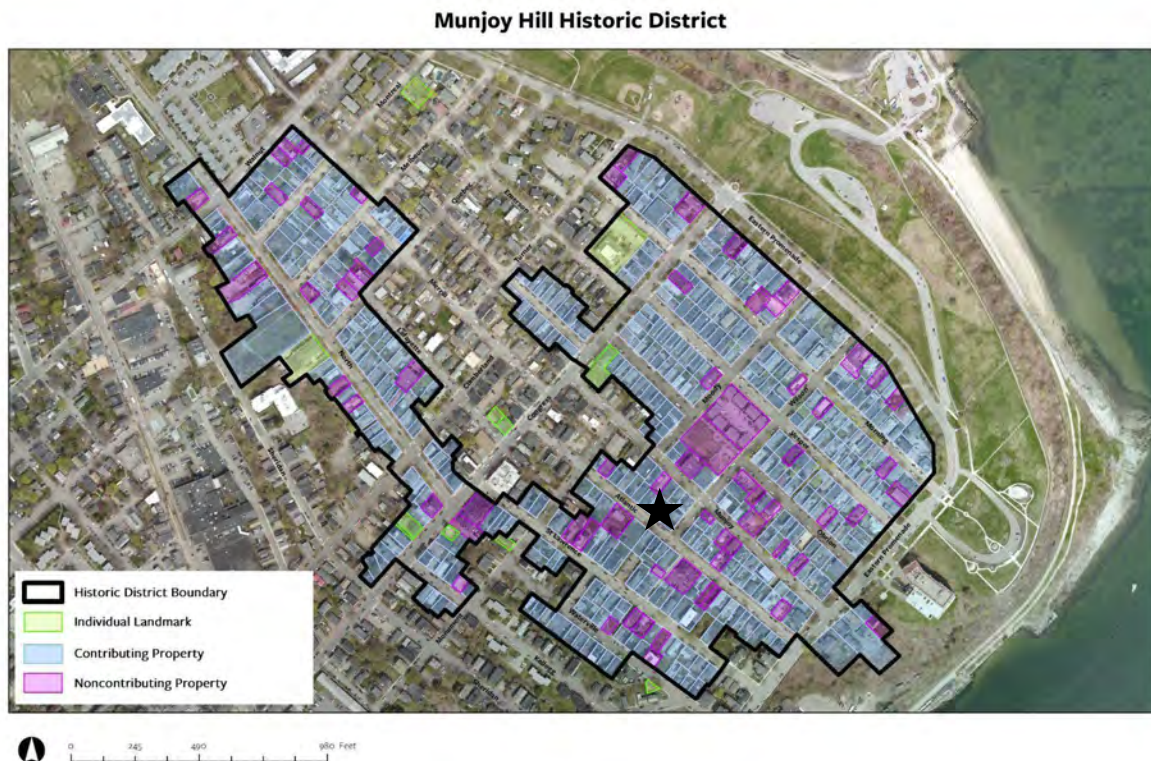


Figure 1: Map of the Munjoy Hill Historic District showing location of 59 Atlantic Street with black star.

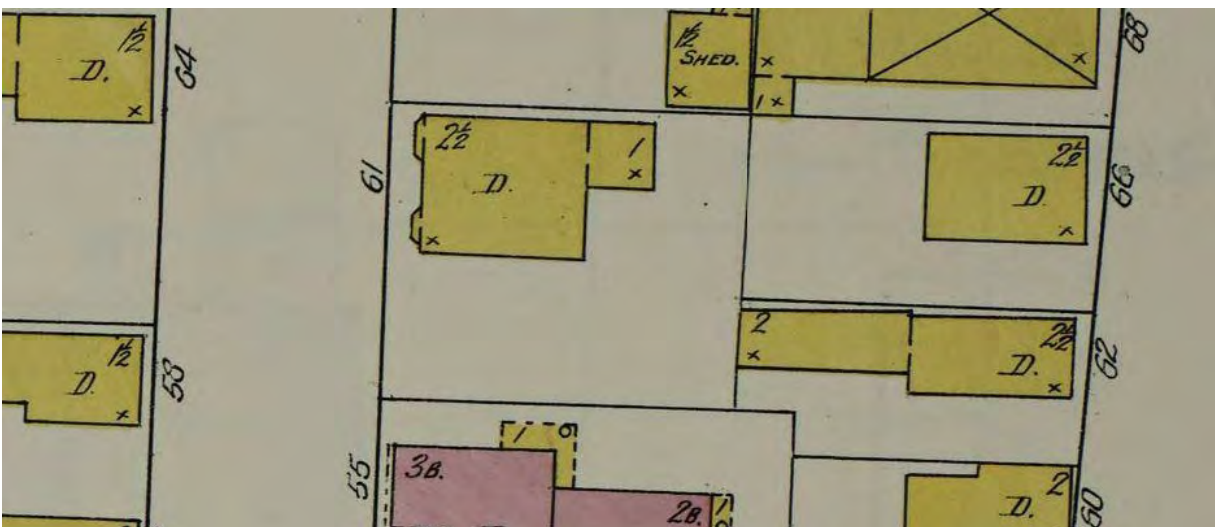


Figure 2: Excerpt of 1909 Sanborn Fire Insurance Map Showing 59 Atlantic Street (then 61)

PREVIOUS REVIEW BY HISTORIC PRESERVATION BOARD

August 3, 2022, Workshop:

At the August 3 workshop, the Board focused on several aspects of the proposed project scope. Namely, demolition of the rear wing, roofing materials, treatment of windows at the front bays, and treatment of windows at the north elevation.

Regarding demolition of the rear wing, Board members were in agreement that its removal was appropriate given its lack of the architectural character that makes the primary structure contributing to the Munjoy Hill Historic District. There was some discussion that it should be made clear in the final Board deliberations that in this particular case, the rear wing was not being found noncontributing due to its condition, and therefore the Board was not requesting additional structural analysis.

The applicant had originally requested that the Board consider whether standing-seam metal roofing might be appropriate on the whole house. However, prior to the meeting, the applicant indicated they were switching to simply proposing an asphalt shingle roof. The Board generally agreed that that was a more appropriate approach.

The Board also discussed treatment of the historically arch-topped windows at the front bays. The applicant had been proposing to install new, rectangular windows with a filler panel in the area of the arch given that the existing windows are rectangular. The Board generally found that this was an appropriate approach given that the historic arch-topped windows are gone and this would allow the ghost of the historic window openings to be seen. However, the Board did also encourage the applicant to consider new arch-topped windows if feasible.

Finally, the Board discussed treatment of windows at the north elevation. The applicant had been proposing to reconfigure several windows, three at the first floor which are believed to be in their original configuration, and two at the second floor which have been altered already. Staff had recommended that the first-floor windows be altered simply by raising their sill levels with a filler panel; however, the applicant had been proposing to reduce the window openings overall to create identically proportioned, but smaller windows. Several Board members questioned how successful the treatment proposed by staff would be on a clapboard structure. Staff reinforced that retaining existing opening sizes is considered a best practice as it keeps a “ghost” of the historic openings and eases reversibility. Generally, the Board supported this approach.

STAFF COMMENTS

The proposed alterations to 59 Atlantic are largely the same as were proposed at the August 3 workshop. The applicant is still proposing to remove the rear wing based on staff comments

and Board deliberations that the existing rear wing lacks architectural character that would make it contribute to the primary structure's significance. They have adjusted the roofing material to be asphalt shingle, except for at the low-slope porch and front bay roofs, which will still be metal as is typical of low-slope roofs.

The applicant has also decided to pursue installation of new arch-topped windows at the front bays, recreating the historic window arrangement shown in the 1924 tax photo. The applicant is proposing the windows at the front bays to be fixed windows with a faux meeting rail rather than double- or single-hung windows. This is due to the challenges of sourcing an arch-topped window large-enough to fill the main opening. The applicant had indicated that they are still interested in installing hung windows at the bay window if it is possible to source them, but are not proposing this at this time. In the event this window type were to be proposed post-approval for the project, the applicant would have the option of submitting a minor amendment.

The applicant is still proposing to install windows with a two-over-two muntin pattern (excluding those at the front bays), which the Board found acceptable and common in Italianate style structures. One of the major topics of deliberations during the August 3 workshop was the arrangement of windows at the north elevation. The applicant had been requesting to reconfigure the openings and trim to accommodate smaller, but proportionally identical windows in the kitchen and pantry. The applicant was encouraged in the staff review and in Board workshop deliberations to consider maintaining the width and head height of the existing openings, only raising the sills with simple filler panels to allow for installation of kitchen counters at the interior. The applicant has included an option for their preferred window arrangement at the north elevation (option 1) and an option based on previous Board direction (option 2). As the Board has indicated support for option 2, the below motion is for support of this alternative, and as always the motion may be amended to provide conditions if necessary.

ANALYSIS OF APPLICABLE REVIEW STANDARDS

Definitions, 17.2:

Noncontributing
A classification applied to a site, structure, object, or portion thereof, within a historic district a historic district signifying that: 1) it does not contribute generally to the qualities that give the historic district cultural, historic, architectural, or archaeological significance as embodied in the criteria for designating a historic district; 2) was built within 50 years of the date of district designation unless otherwise designated in the historic resources inventory; or 3) where the location, design, setting, materials, workmanship, and association have been so altered or have deteriorated that the overall integrity of the site, structure, or object has been

irretrievably lost. A portion of an otherwise contributing or landmark structure may be determined by the Historic Preservation Board to be non-contributing if it meets one or more of the above conditions.

Staff Comments

The existing rear wing/addition appears to lack any of the architectural character or historic associations that would make it contributing to the district (Condition 1). Additionally, the applicant has provided evidence of the severely deteriorated state of the rear wing/addition (Condition 3).

Standards for Review of Alterations, 17.8.2:

Standard 1

Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration to the character defining features of the structure, object, or site and its environment or to use a property for its originally intended purpose.

Standard Met?

Staff Comments

Yes

The applicant is proposing a compatible continued residential use for this structure.

Standard 2

The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Standard Met?

Staff Comments

For Board
Deliberation

The applicant is proposing to uncover and retain the majority of original exterior features that help to distinguish the style and character of the building. The primary exception would be alterations to a number of openings at the north elevation. The applicant would still prefer their original proposal (option 1), but has also provided an option 2 for the Board's consideration that would minimize changes to the north elevation by retaining the original window size and raising the sill with a filler panel. Option 2 is referenced in the draft approval motion.

Standard 3

All sites, structures, and objects shall be recognized as products of their own time, place, and use. Alterations that have no historical basis or create a false sense of historical development, such as adding conjectural features or elements from other properties, shall be discouraged.

Standard Met?

Staff Comments

Yes

The applicant is respecting the fact that this building has been altered and evolved since the 1924 tax photo. Missing elements and details which lack clear historical evidence are not being recreated based on conjecture.

Standard 5	
Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize a structure, object, or site shall be treated with sensitivity.	
Standard Met?	Staff Comments
Yes	The applicant is repairing and selectively retaining the distinctive historical trim and details where they still exist.

Standard 6	
Deteriorated historic features shall be repaired rather than replaced wherever feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the feature being replaced in composition, design, texture, and other visual qualities and, where possible, materials. Repair or replacement of missing historic features should be based on accurate duplications of features, substantiated by documentary, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.	
Standard Met?	Staff Comments
Yes	The applicant is proposing to primarily repair the significant historic features. Severely deteriorated elements will be replaced to match and missing elements are not being recreated as there is minimal evidence of their appearance and recreation is not required.

MOTION FOR CONSIDERATION

I move to APPROVE application HPBR-002127-2022, Option 2 for exterior rehabilitation and alterations at 59 Atlantic Street on the basis of submitted documentation, plans, and specifications; information provided in the staff memo; and findings by the Historic Preservation Board that the project meets Standards for Review of Alterations 17.8.2 - 1-3 & 5-6, and that the rear wing meets the definition of noncontributing and may be demolished.

ATTACHMENTS

1. Project Summary, Documentation, and Drawings



1924 TAX PHOTO



CURRENT CONDITION

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



CURRENT CONDITION

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



SIDING

CORNER BOARD

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



WATER TABLE



WATER TABLE

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



FRIEZE



RETURN SHELF



FASCIA

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



BAY DETAILS

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



BAY DETAILS

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



REAR ADDITION



REAR ADDITION



REAR ADDITION



REAR ADDITION ROT

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



BELOW ADDITION



BELOW ADDITION



MORE ROT



ADDITION EAST SIDE ROT



ADDITION SOUTH SIDE ROT



MORE SILL ROT

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

PH: 207.699.2998



87 MUNJOY - 1924 TAX PHOTO
2 OVER 2 AT ALL WINDOWS



18 ATLANTIC - 1924 TAX PHOTO - COLONIAL REVIVAL
2 OVER 2 AT ALL WINDOWS



52 ATLANTIC - 1924 TAX PHOTO
2 OVER 2 AT ALL LARGE WINDOWS



58-62 ST LAWRENCE - 1924 TAX PHOTO
2 OVER 2 AT ALL WINDOWS



66 ATLANTIC - 1924 TAX PHOTO
2 OVER 2 AT ALL LARGE WINDOWS



63 ATLANTIC - 1924 TAX PHOTO
FRONT BAY DETAILS VERY SIMILAR, WITH 2 OVER 2 AT CENTER WNDW

DETAIL IMAGES

LONGO/CARBONNEAU - HOME RENOVATION
59 ATLANTIC STREET, PORTLAND, MAINE

WINKELMAN ARCHITECTURE

PH: 207.699.2998
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

59 ATLANTIC, Portland, Maine

renovation

DRAWING INDEX:

ARCHITECTURAL DRAWINGS:

- A100 - PLOT PLAN, CODE REVIEW NOTES
- A101 - LEVEL 1 DEMO + FLOOR PLAN
- A102 - LEVEL 2 DEMO + FLOOR PLAN
- A103 - LEVEL 3 DEMO + FLOOR PLAN
- A200 - EXTERIOR ELEVATIONS

PROJECT TEAM:

- OWNERS

Jill Carbonneau + Joshua Longo

59 Atlantic Street

Portland, Maine 04101
- WINKELMAN ARCHITECTURE

41 Union Wharf

Portland, Maine 04101

207-699-2998
- LINCOLN-HANEY STRUCTURAL ENGINEERS

14 Maine Street #306a

Brunswick, Maine 04011

207-729-1061
- MATTHEW ALCORN BUILDERS

4 Macy Street

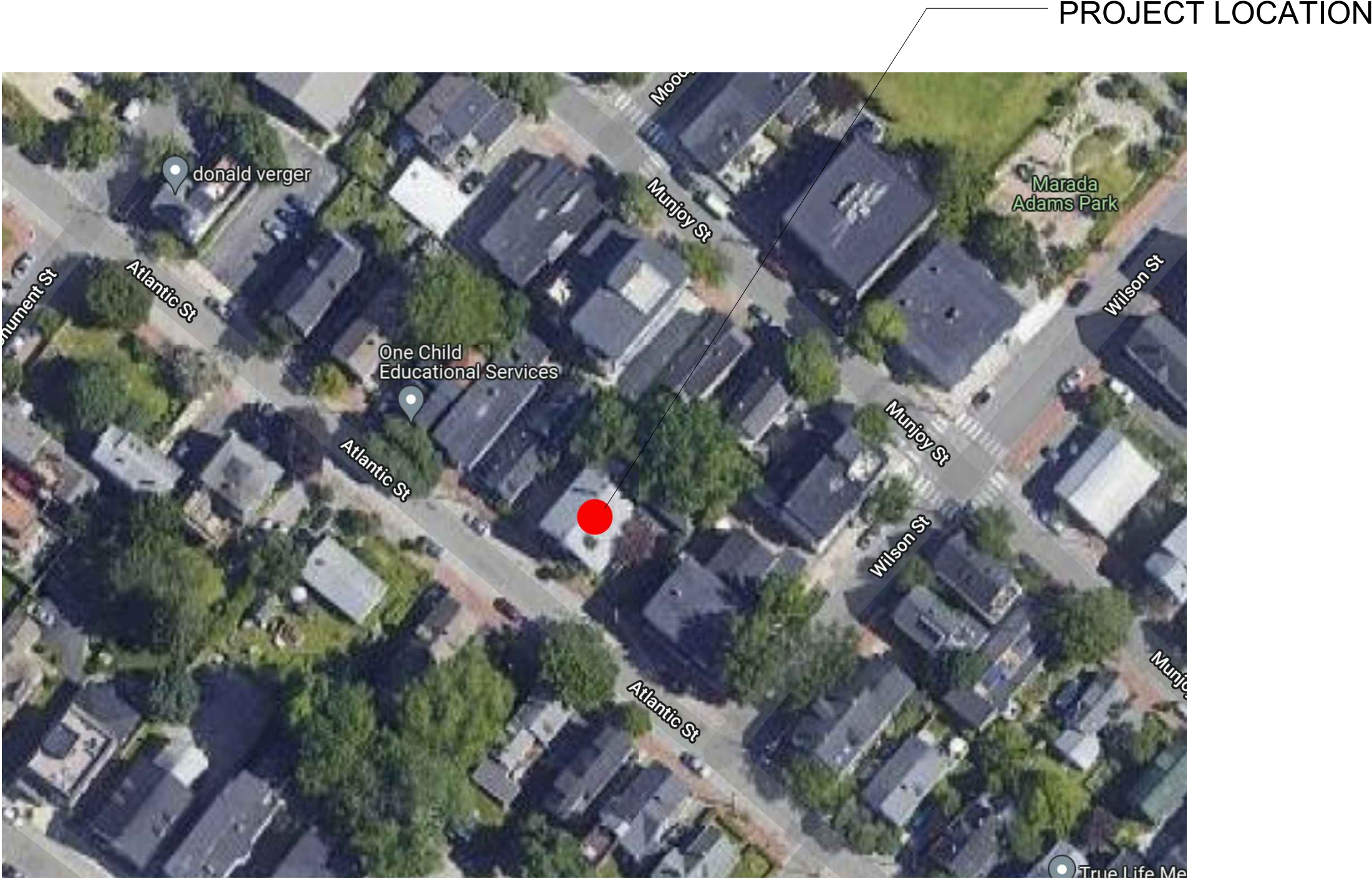
Portland, Maine 04102

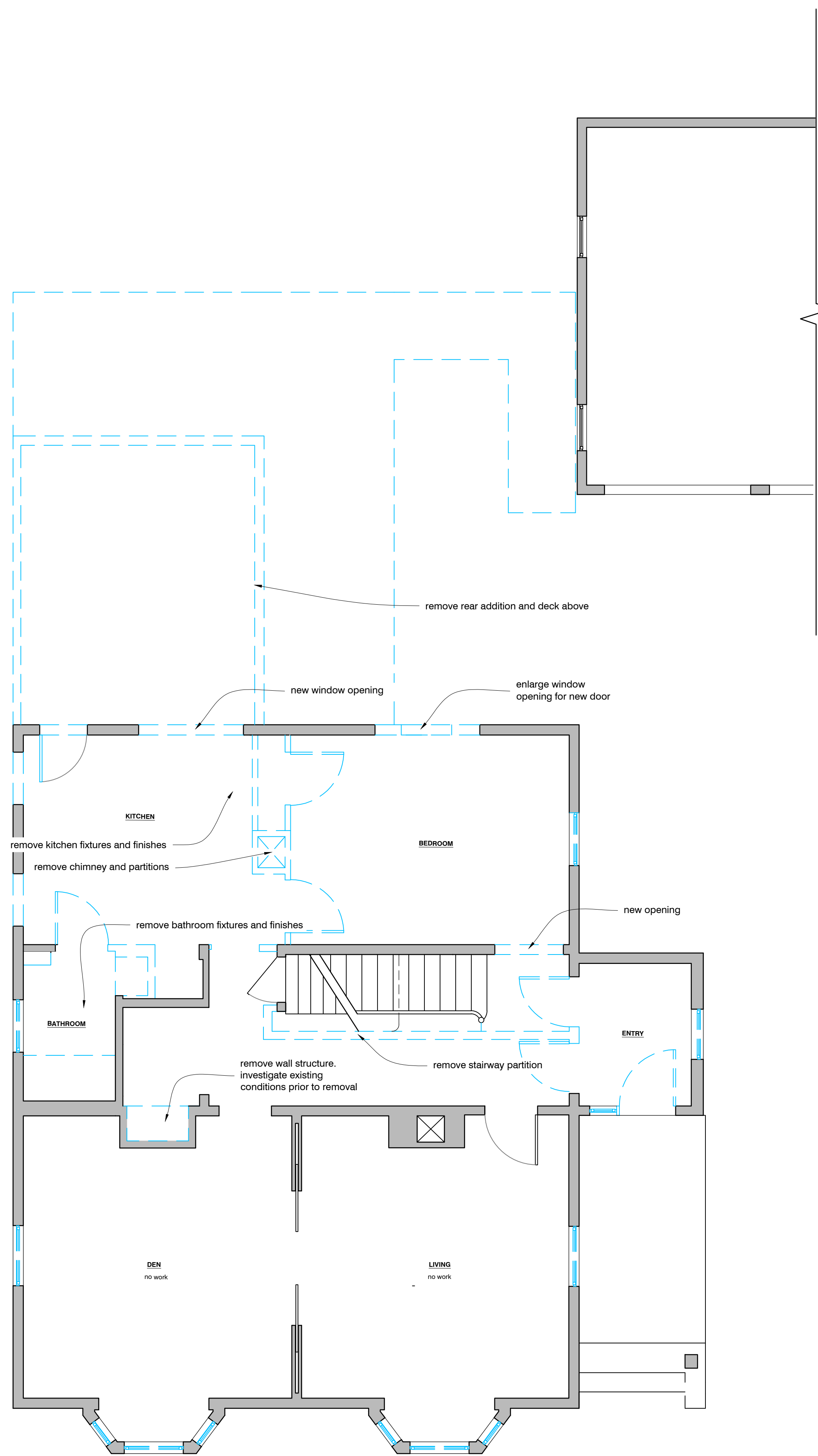
207-671-5325

SITE INFORMATION

- 59 ATLANTIC
- PARCEL 016 B021
- LOT = 5,052 SF
- CURRENT USE: 2-FAMILY
- PROPOSED USE: SINGLE FAMILY
- ZONING: R6
- MUNJOY HILL HISTORIC DISTRICT

LOCATION:

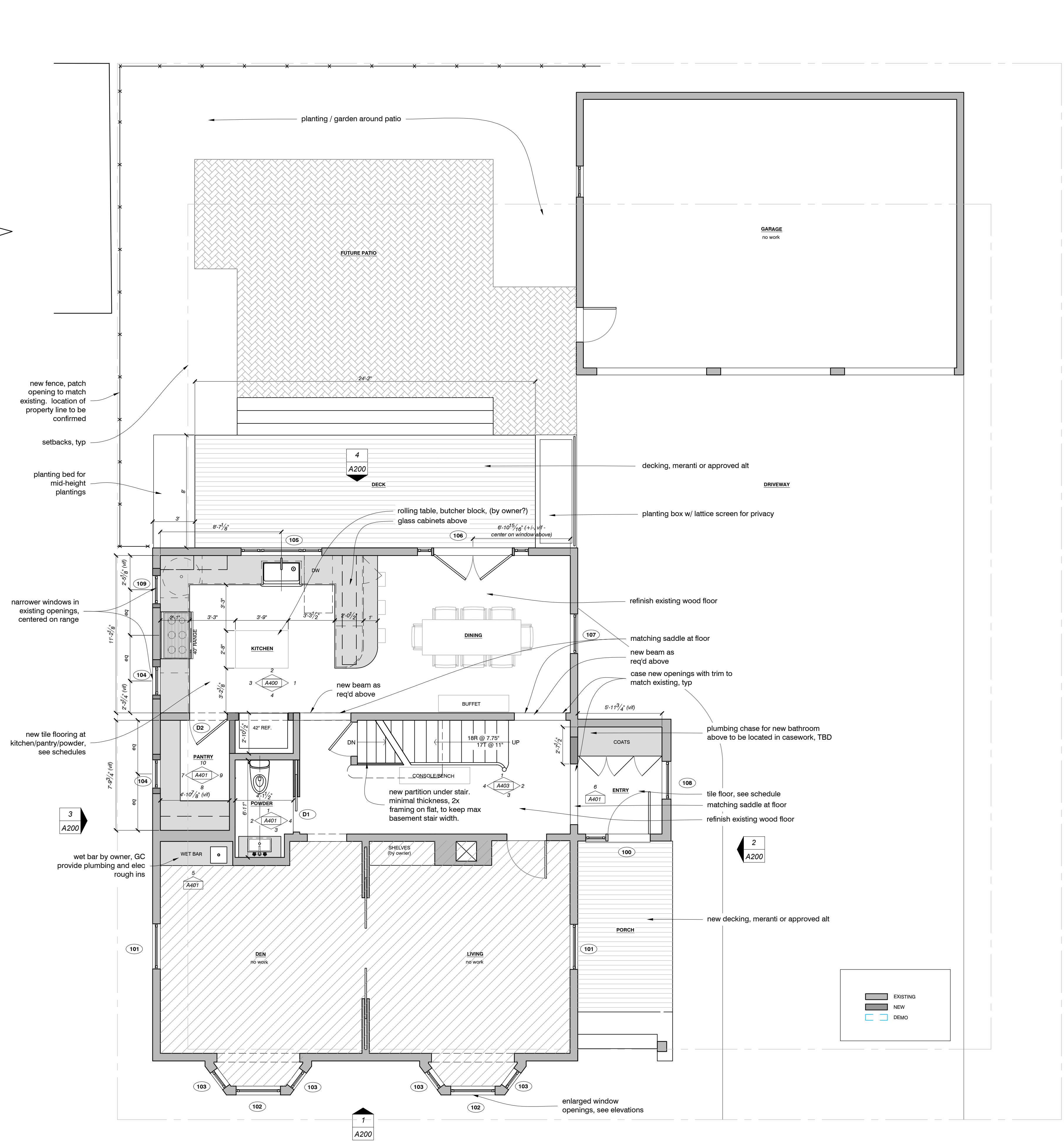




1 - LEVEL 1 DEMO PLAN

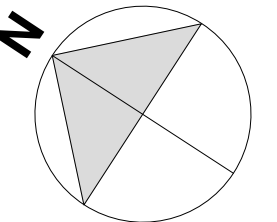
SCALE: 1/4" = 1'-0"

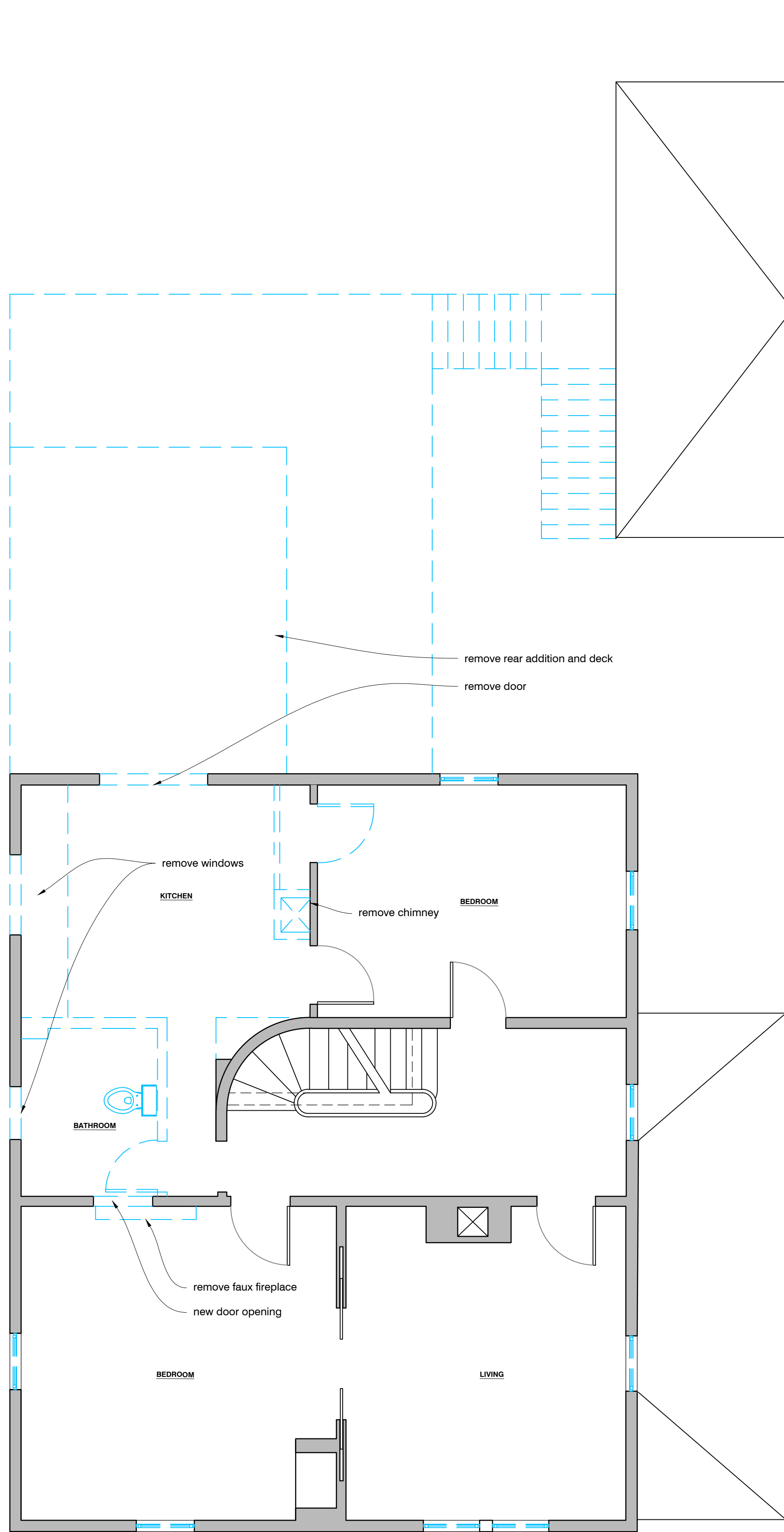
NOTE: all exterior windows to be removed for replacement in existing openings, unless noted otherwise.



2 - LEVEL 1 PLAN

SCALE: 1/4" = 1'-0"

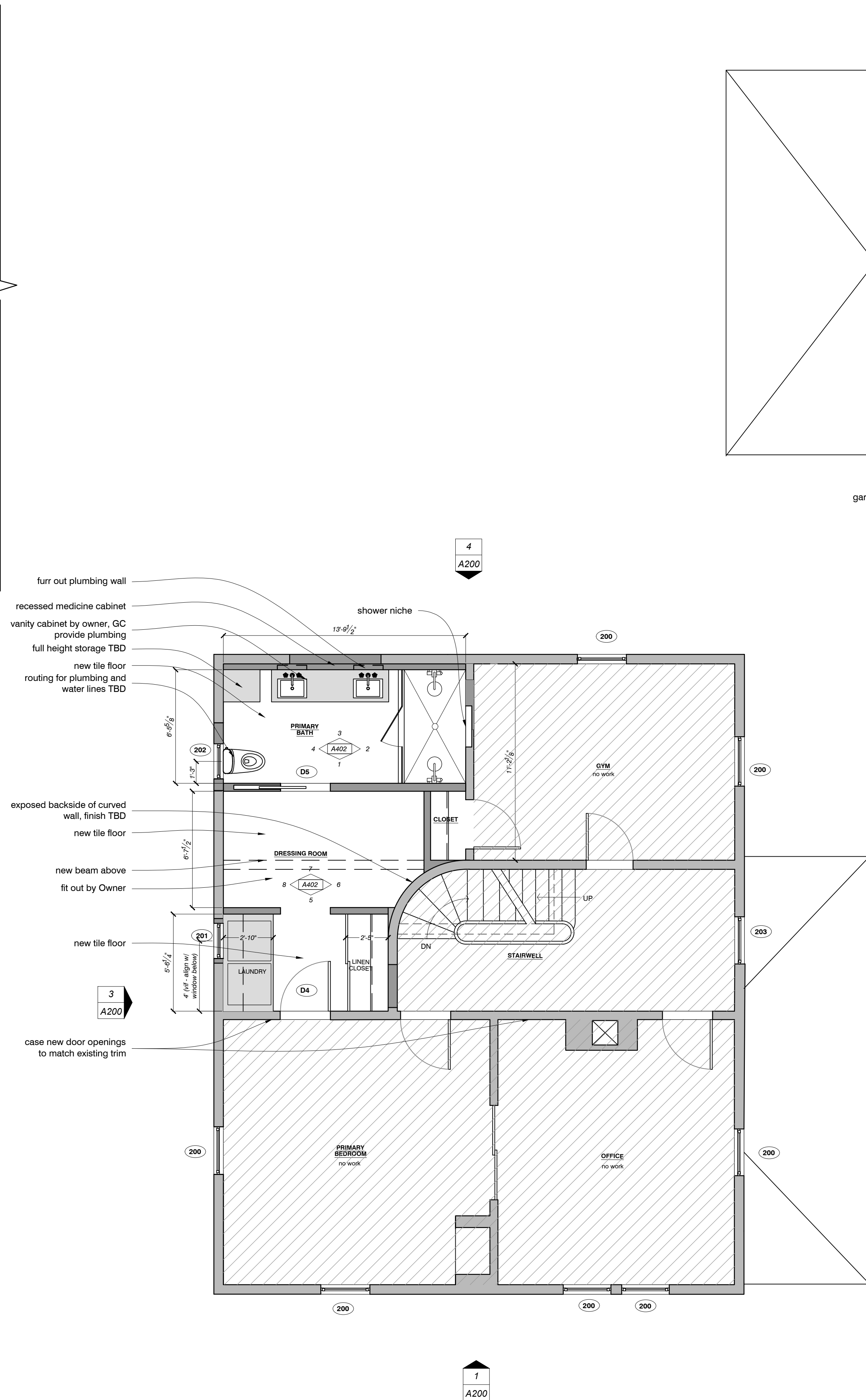




NOTE: all exterior windows to be removed for replacement in existing openings, unless noted otherwise.

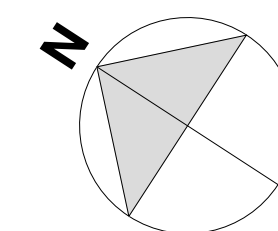
1 - LEVEL 2 DEMO PLAN

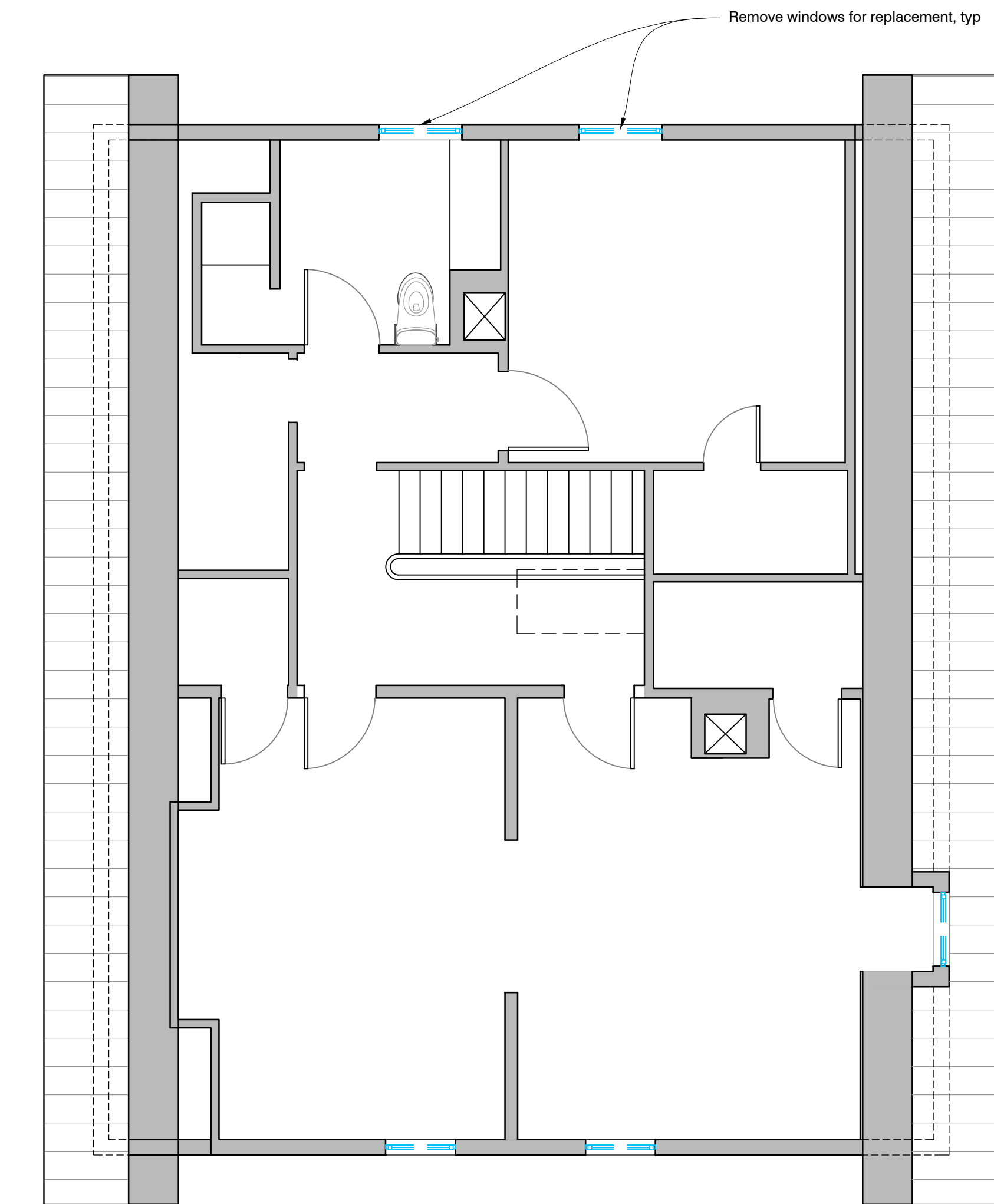
SCALE: 1/4" = 1'-0"



2 - LEVEL 3 PLAN

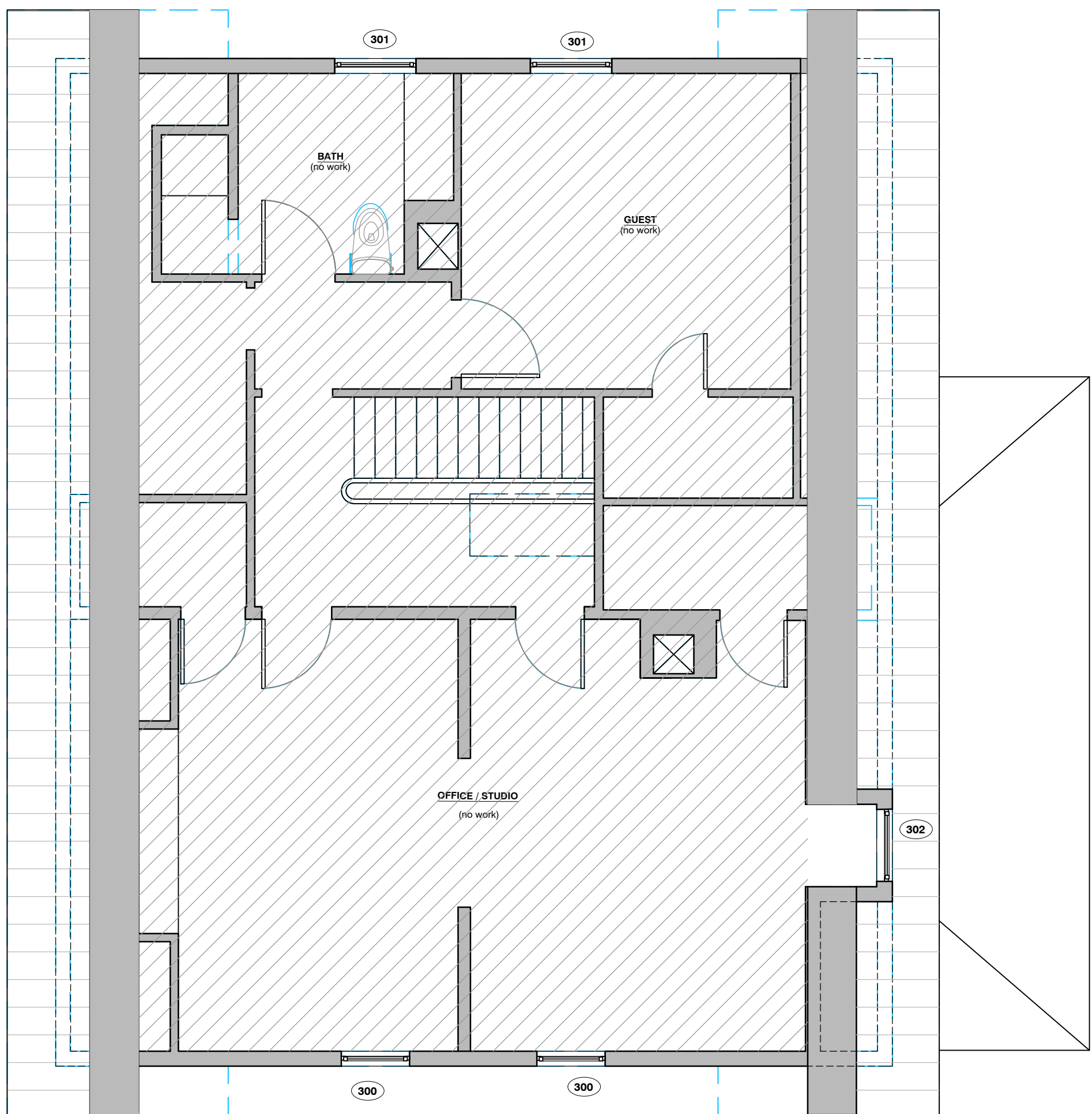
SCALE: 1/4" = 1'-0"





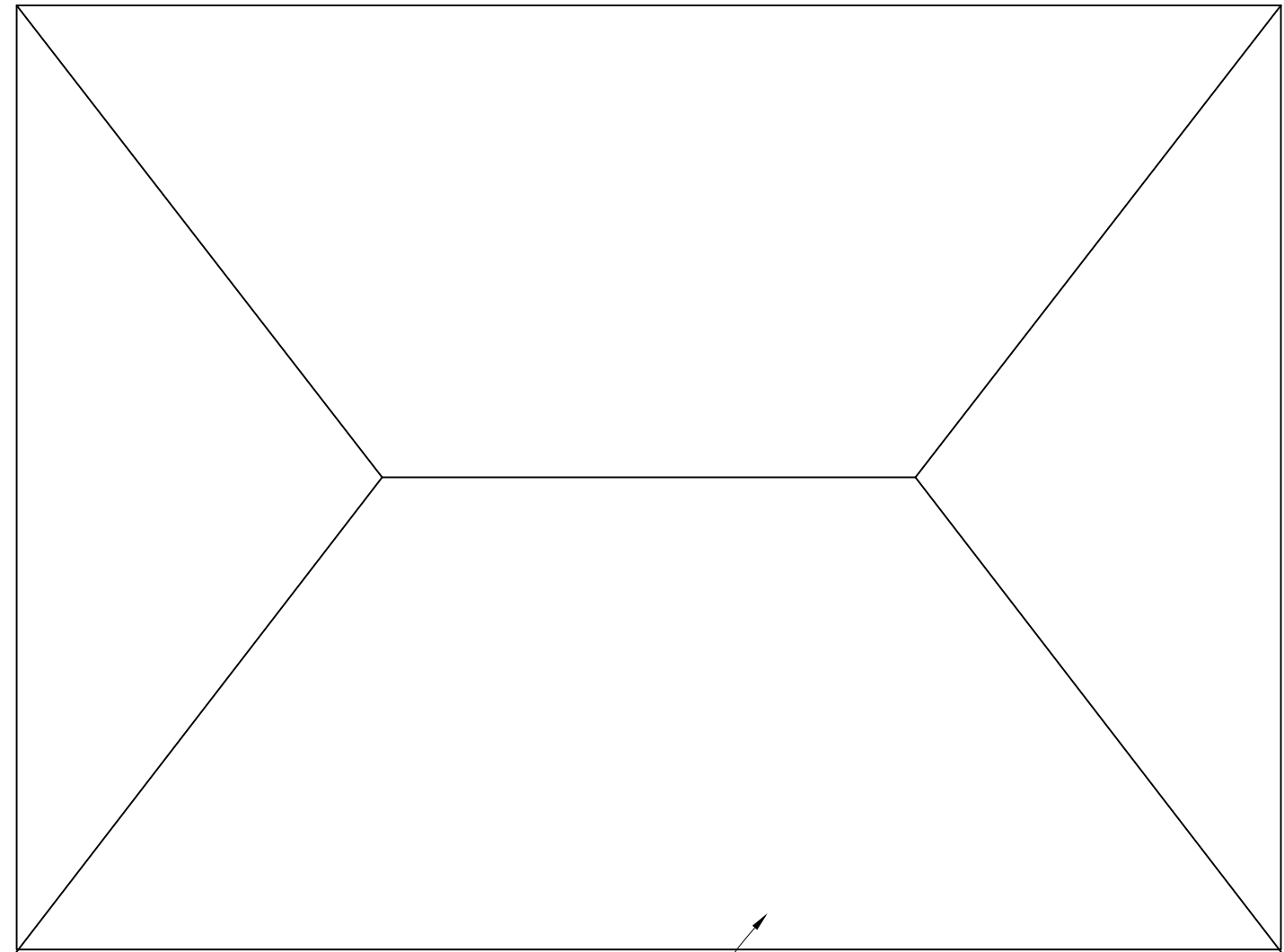
1 - LEVEL 3 DEMO PLAN

SCALE: 1/4" = 1'-0"

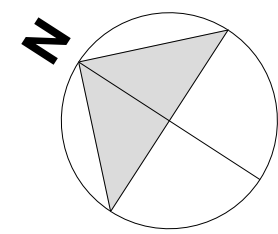


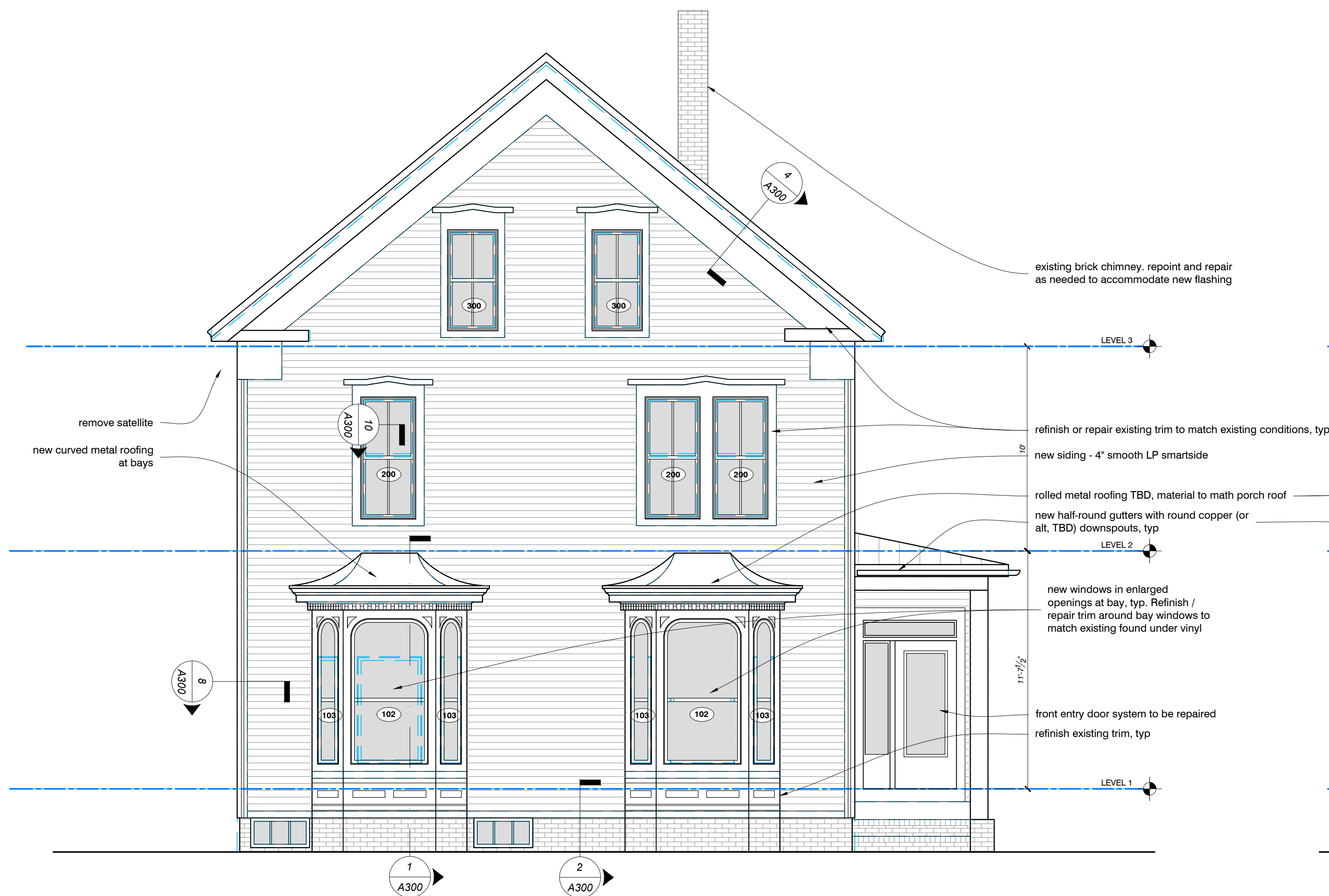
2 - LEVEL 3 PLAN

SCALE: 1/4" = 1'-0"

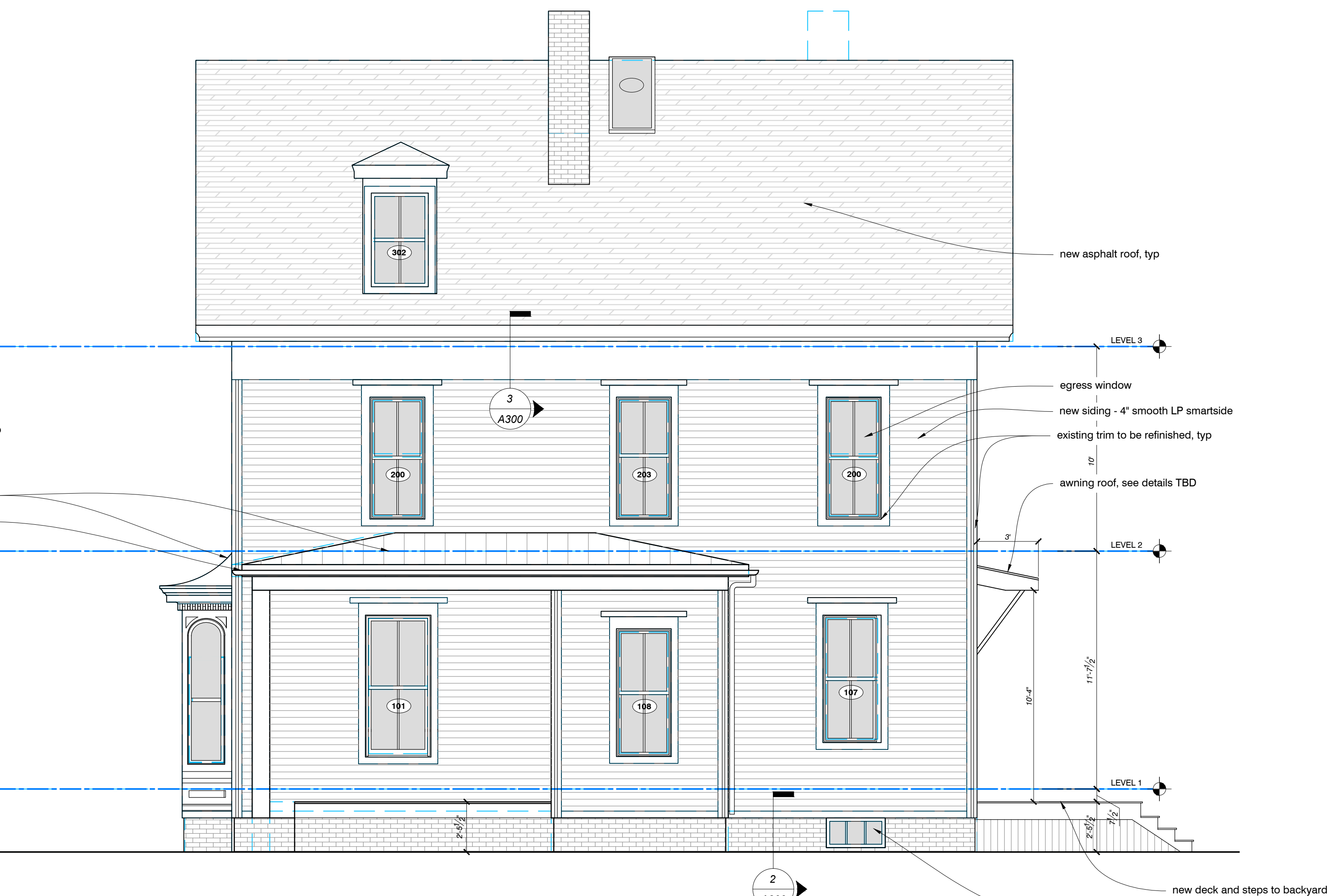


garage below

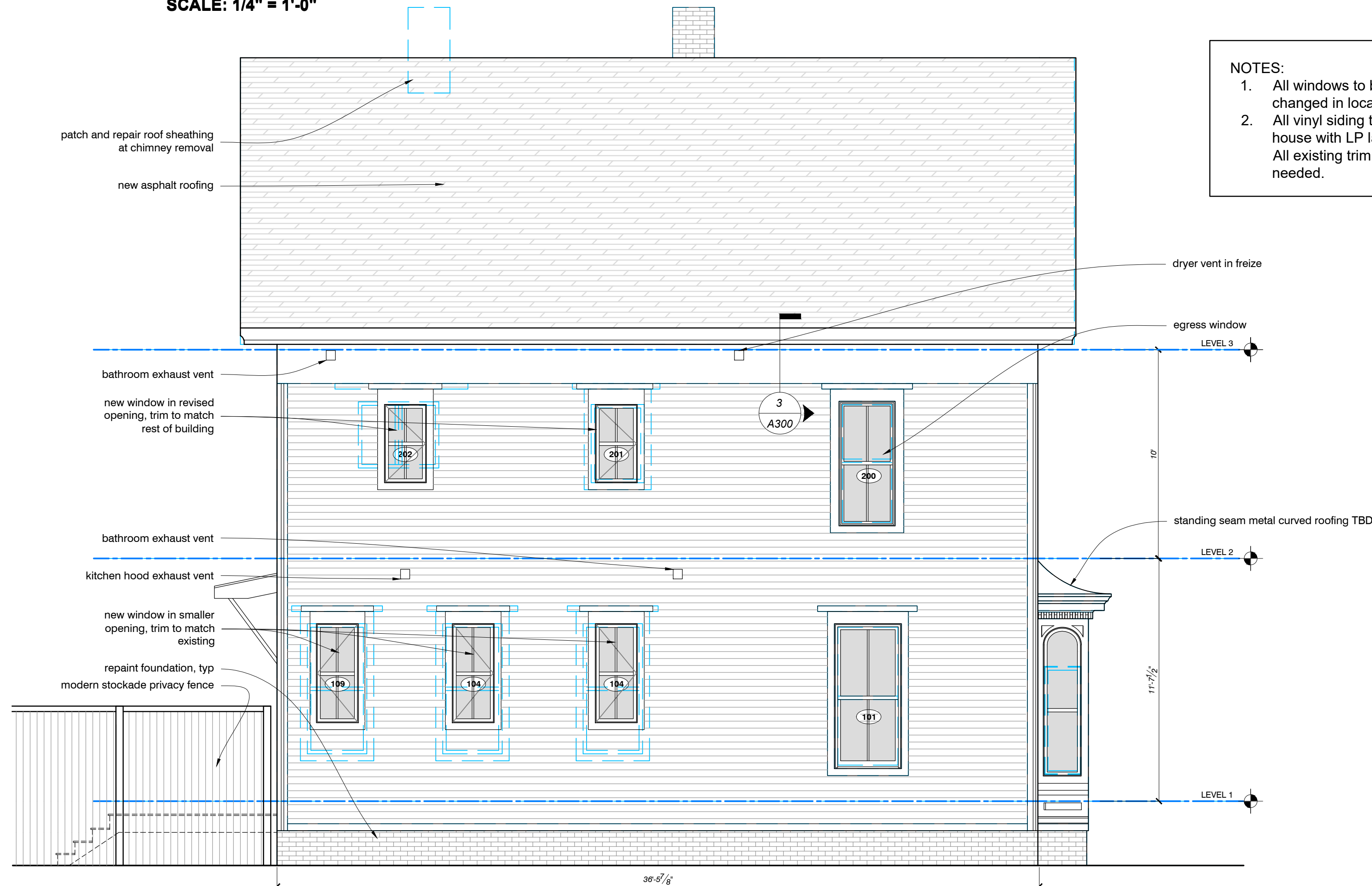




1 - FRONT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

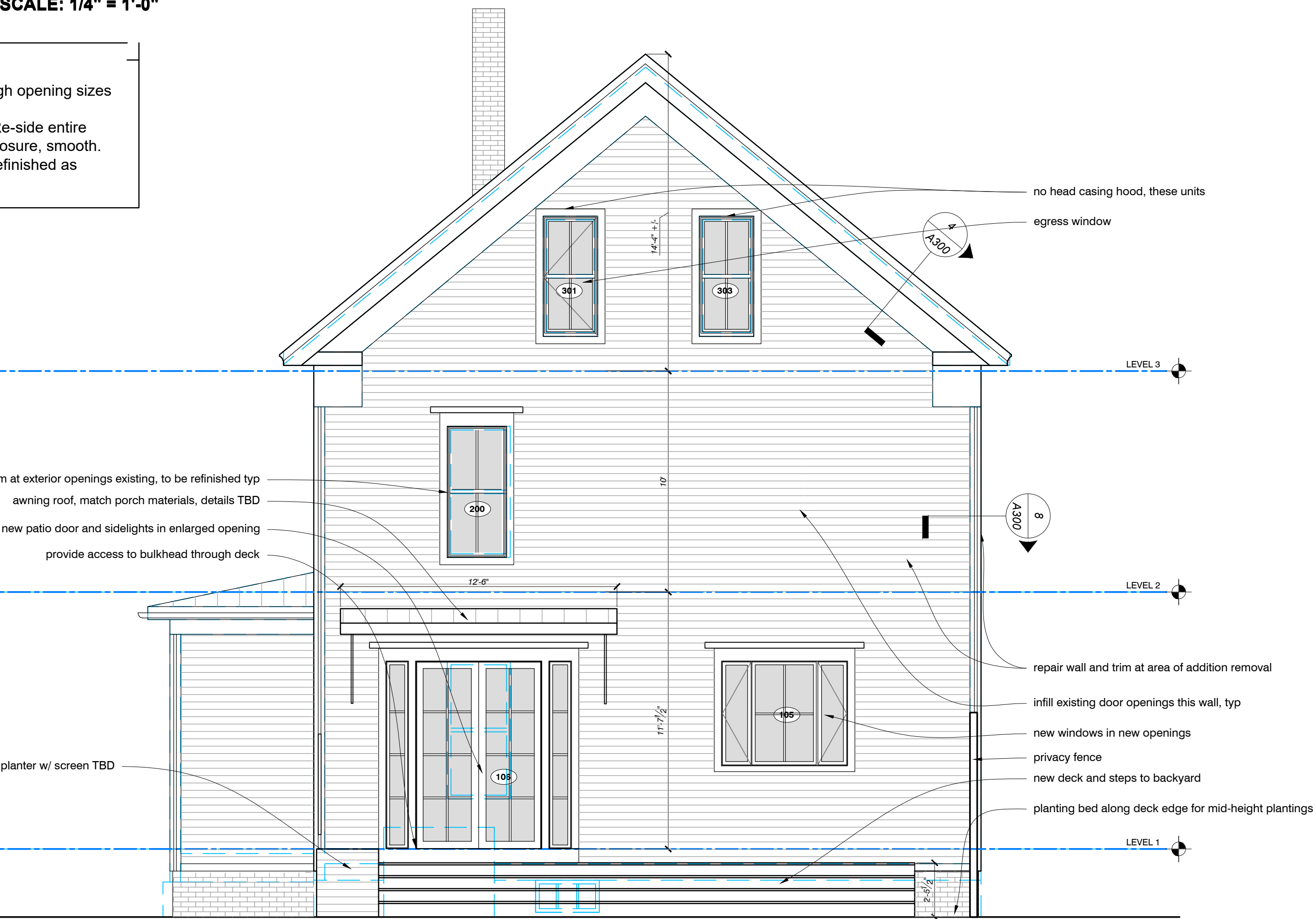


2 - SIDE (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



3 - SIDE (NORTH) ELEVATION - OPTION 1
SCALE: 1/4" = 1'-0"

- NOTES:
1. All windows to be replaced, rough opening sizes changed in locations noted.
 2. All vinyl siding to be removed. Re-side entire house with LP lap siding, 4" exposure, smooth. All existing trim to be repaired/refinished as needed.



4 - REAR (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

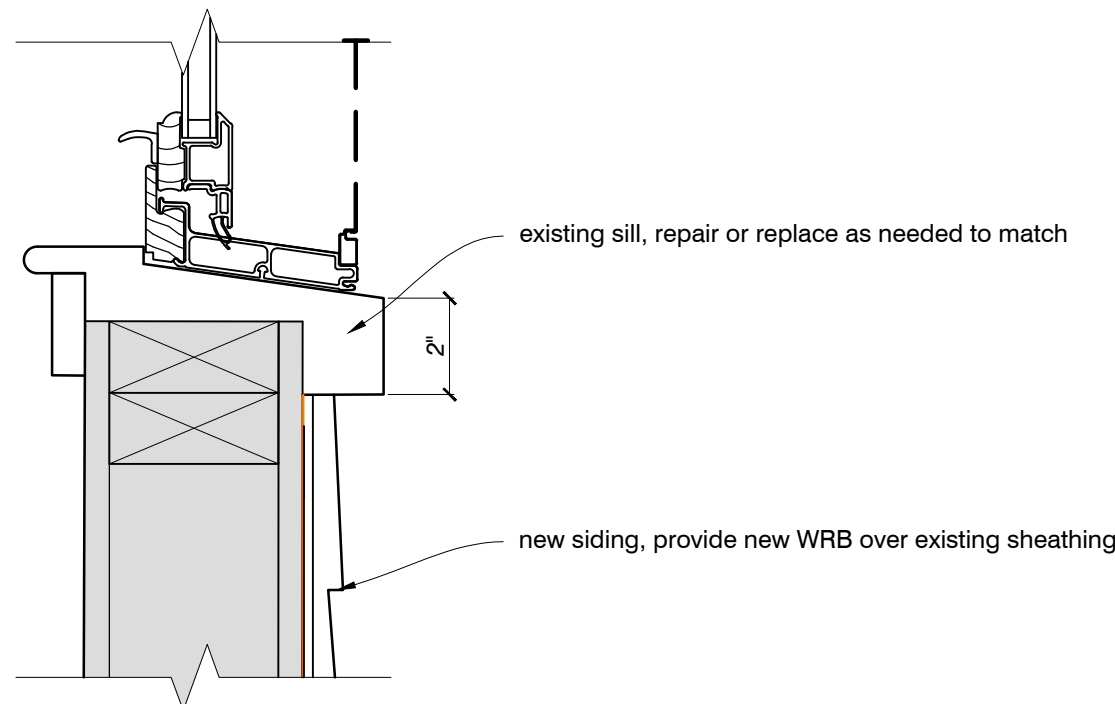
HISTORIC PRESERVATION REVIEW SET

3 - SIDE (NORTH) ELEVATION - OPTION 2

SCALE: 1/4" = 1'-0"

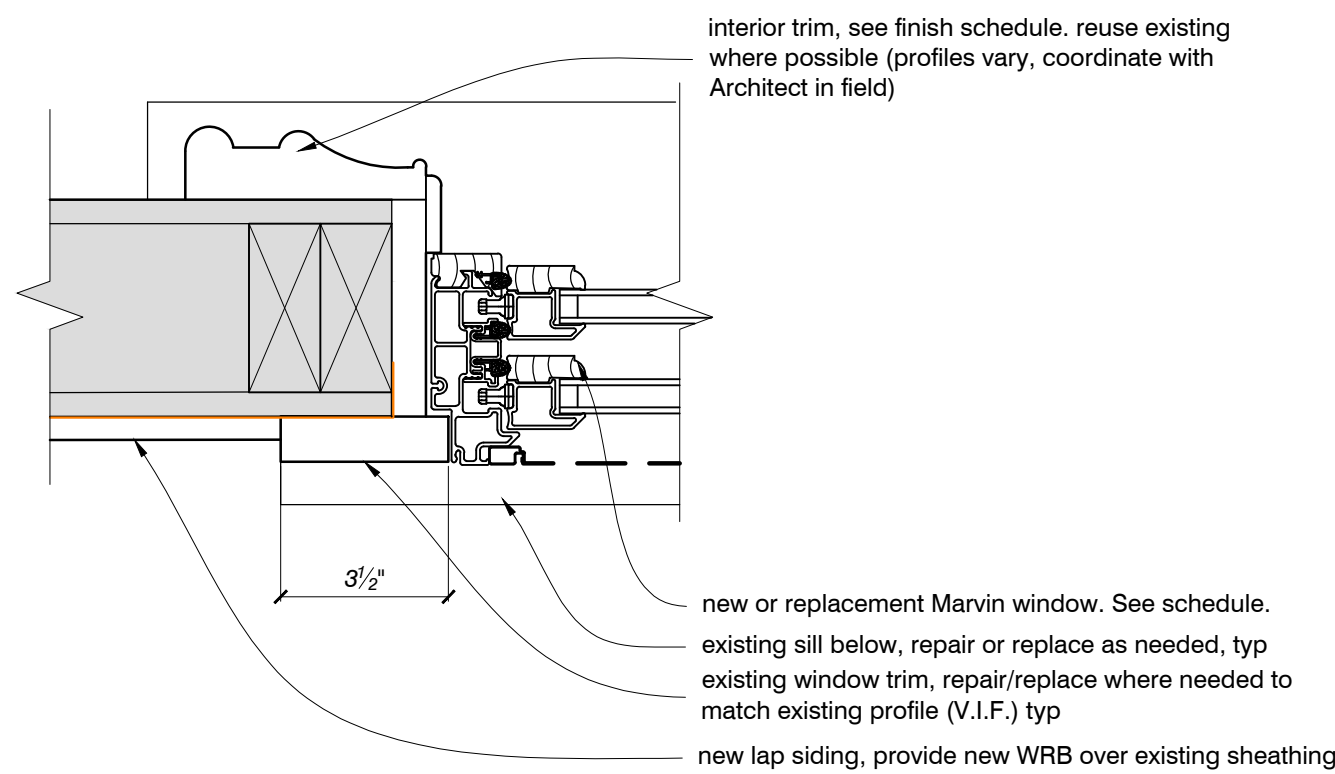
5 - TYP WINDOW SILL DETAIL

SCALE: 3" = 1'-0"



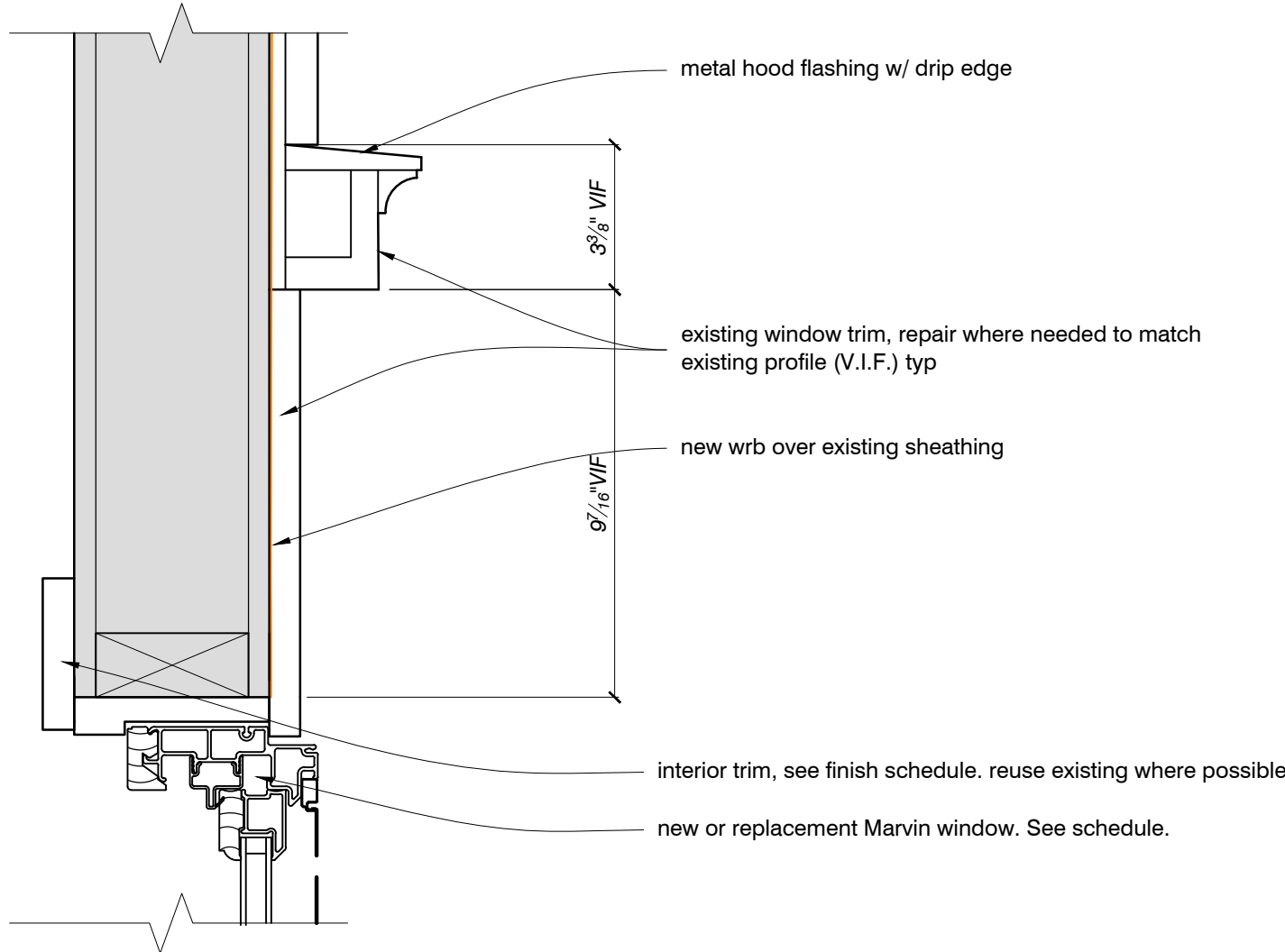
7 - TYP WINDOW HEAD DETAIL

SCALE: 3" = 1'-0"



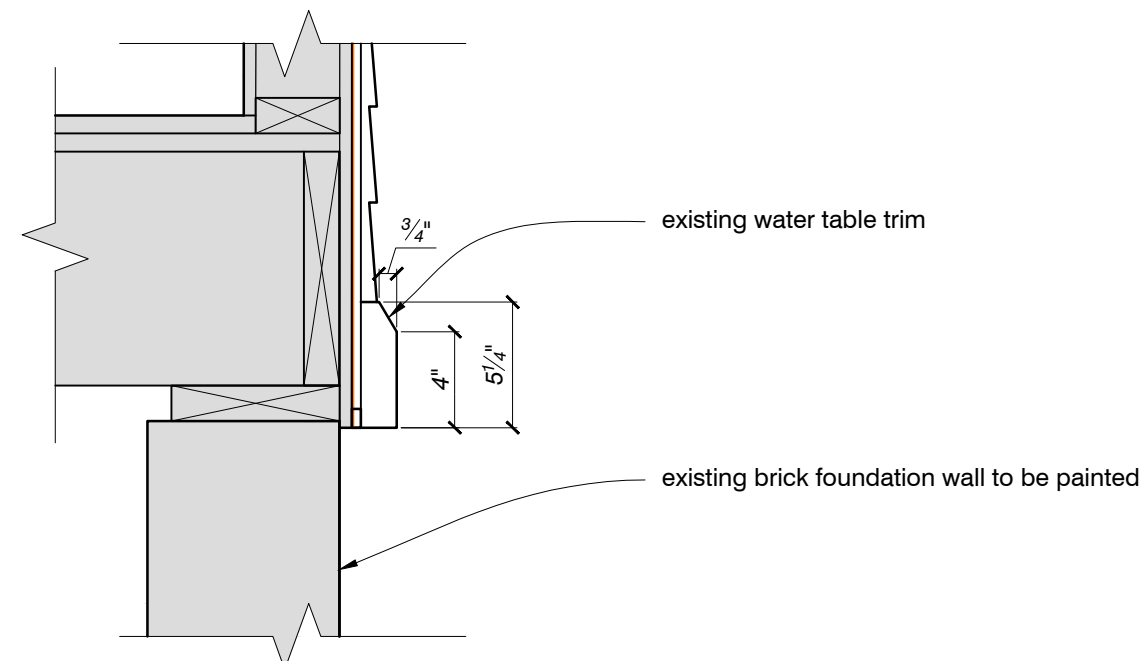
10 - TYP MUNTIN DETAIL

SCALE: 1-1/2" = 1'-0"



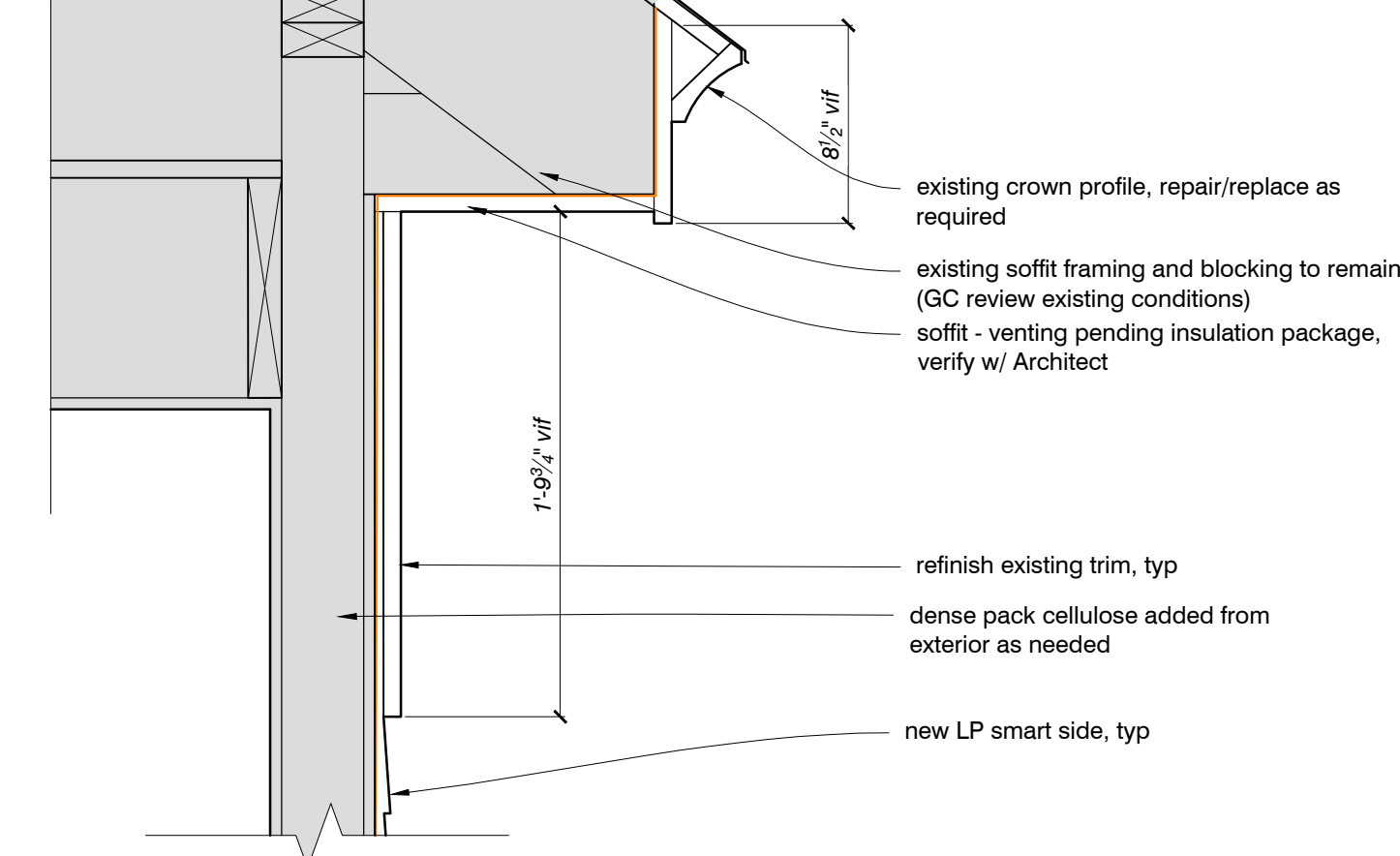
2 - TYP WATER TABLE DETAIL

SCALE: 1-1/2" = 1'-0"



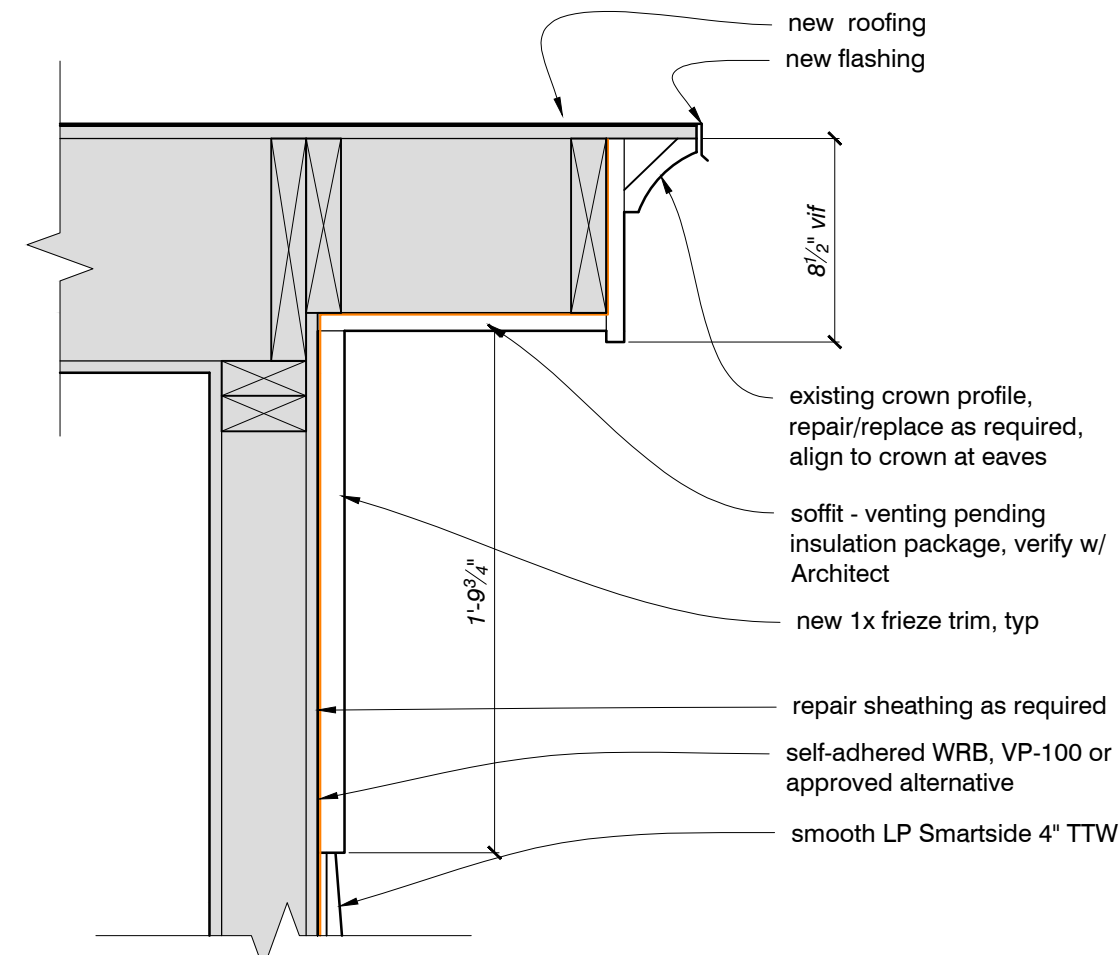
3 - TYP EAVE DETAIL

SCALE: 1-1/2" = 1'-0"



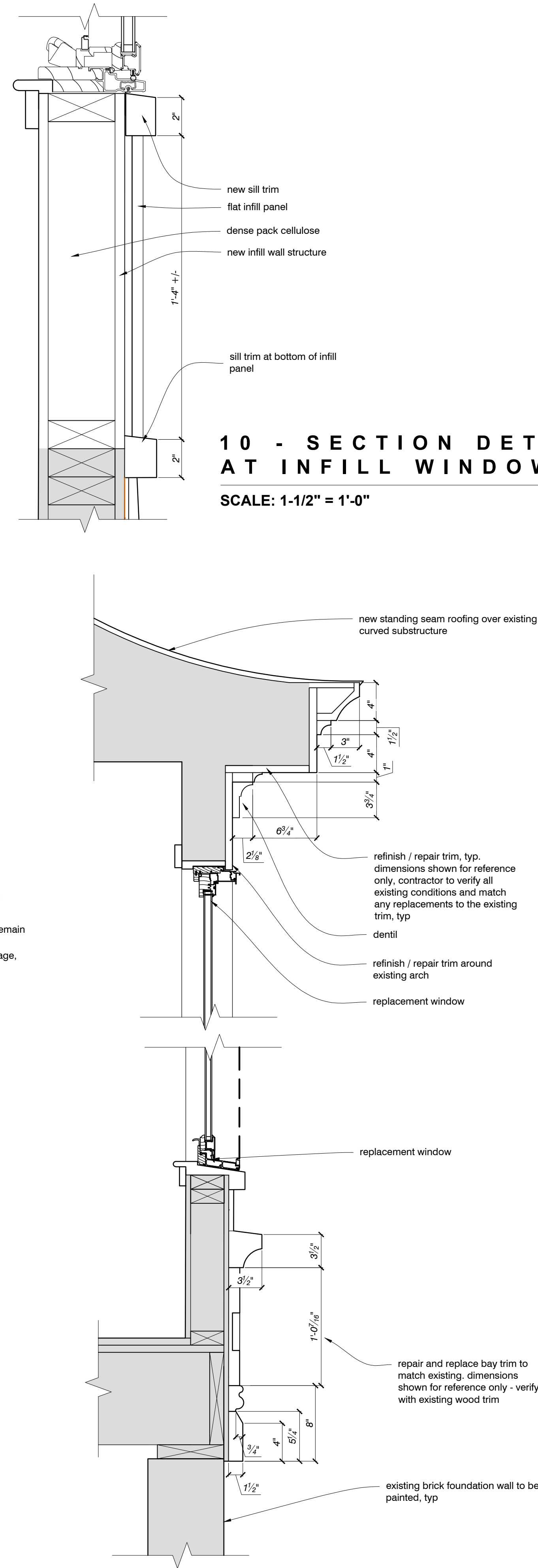
4 - TYP RAKE DETAIL

SCALE: 1-1/2" = 1'-0"



1 - SECTION DETAIL AT BAY

SCALE: 1-1/2" = 1'-0"

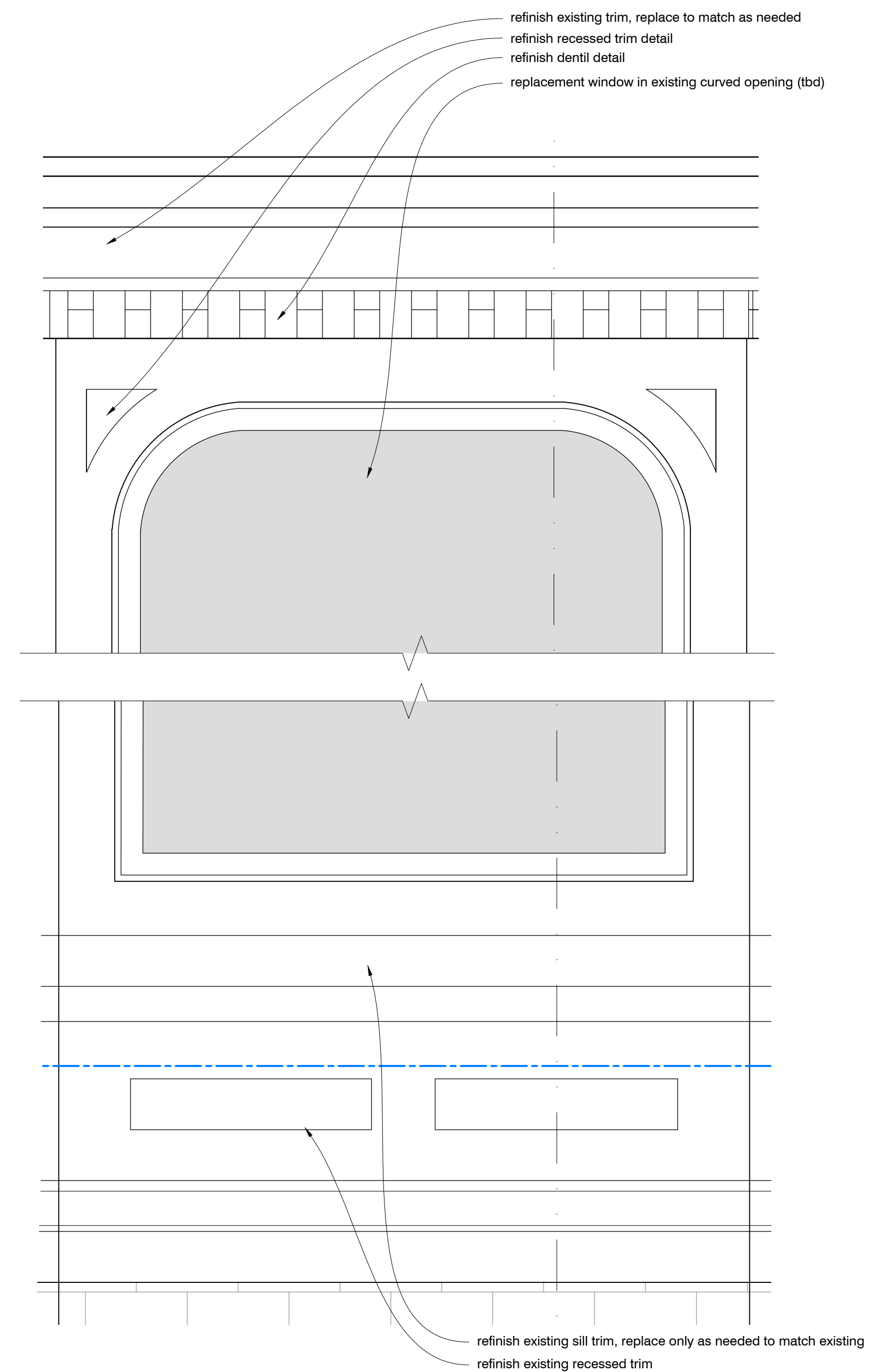


10 - SECTION DETAIL AT INFILL WINDOW

SCALE: 1-1/2" = 1'-0"

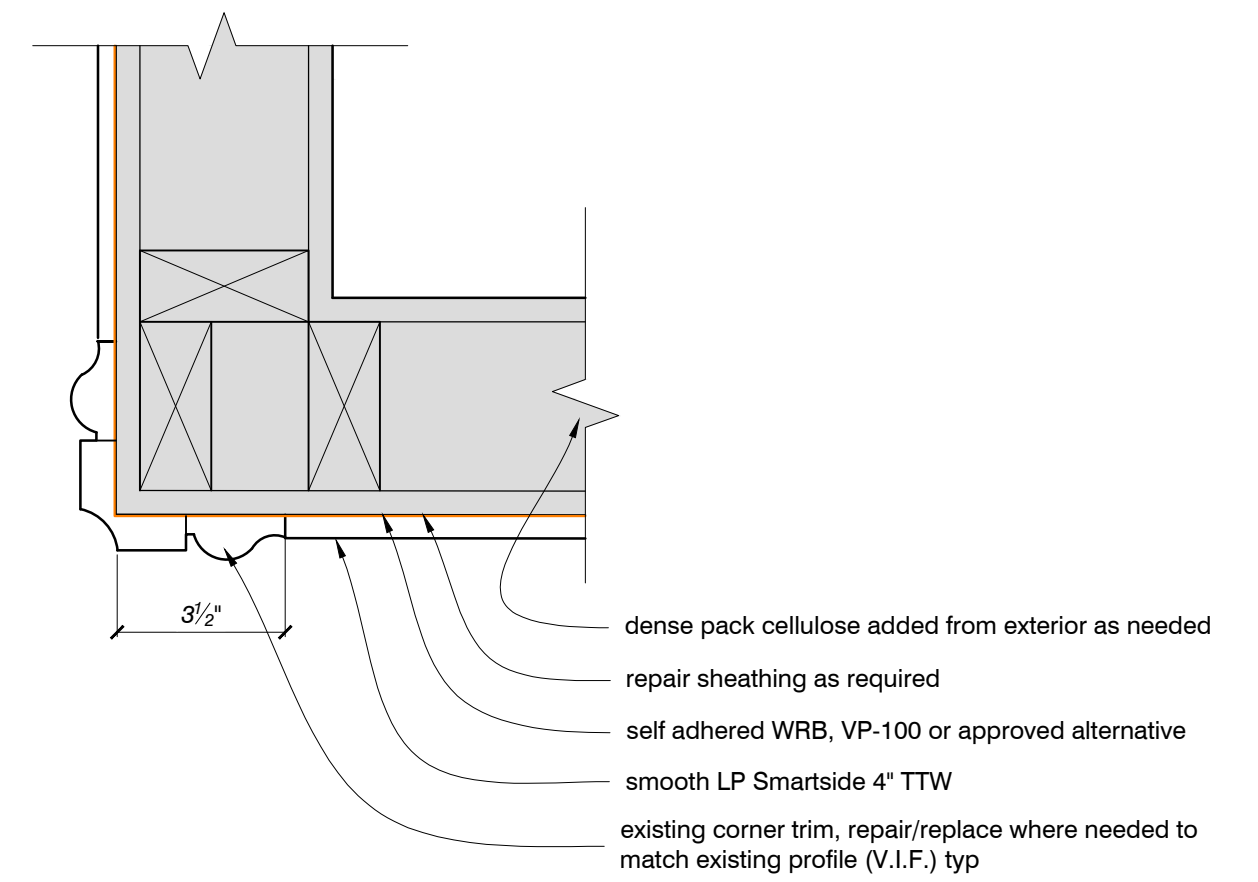
9 - ELEVATION DETAIL AT BAY

SCALE: 1-1/2" = 1'-0"



8 - TYP CORNER TRIM DETAIL

SCALE: 3" = 1'-0"



**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Pollard and Members of the Historic Preservation Board
FROM: Rob Wiener, Historic Preservation Compliance Coordinator
DATE: September 15, 2022
RE: 465 Congress Street – Stair Addition – Preliminary Workshop
PROJECT ID: HPBR-002148-2022
MEETING: September 21, 2022

Owner: CTR Congress LLC
Architect: Katherine Lermond and Bill Hopkins, Archetype Architects

A sign announcing the Historic Preservation Board's meeting on 9/21/22 was posted at the property on 9/12/22. A legal ad was published in the Portland Press Herald on 9/8/22 and 9/9/22, and 25 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

A 10-story rear addition is proposed to provide an enclosed exit stair to satisfy code requirements for adaptive reuse of the building as housing. Tax credits are being sought, which will influence how interior spaces, including historic stairways, might be altered to meet modern life safety codes. On September 21 Katherine Lermond of Archetype Architects will present a concept to build new stairs for exiting all ten floors, in as small an addition as possible at the northeast corner of the building, abutting the Portland Public Library. An existing exterior egress stair, which only extends to the second floor and directly abuts the west wall of the library has a ground floor exit door to the rear plaza. This CMU structure is to be demolished to make room for the proposed stairs.

Dimensions:

Overall Height: 140' - 11 Stories (including base and mezzanine level)
Footprint: 8'-6 1/2" x 18'-11"

Material Specifications:

Foundation	Concrete
Siding	Fiber-cement panels
Trim	Unknown – roof coping?
Roofing	Flat roof
Windows	Aluminum, double-hung (similar to existing)
Door	TBD

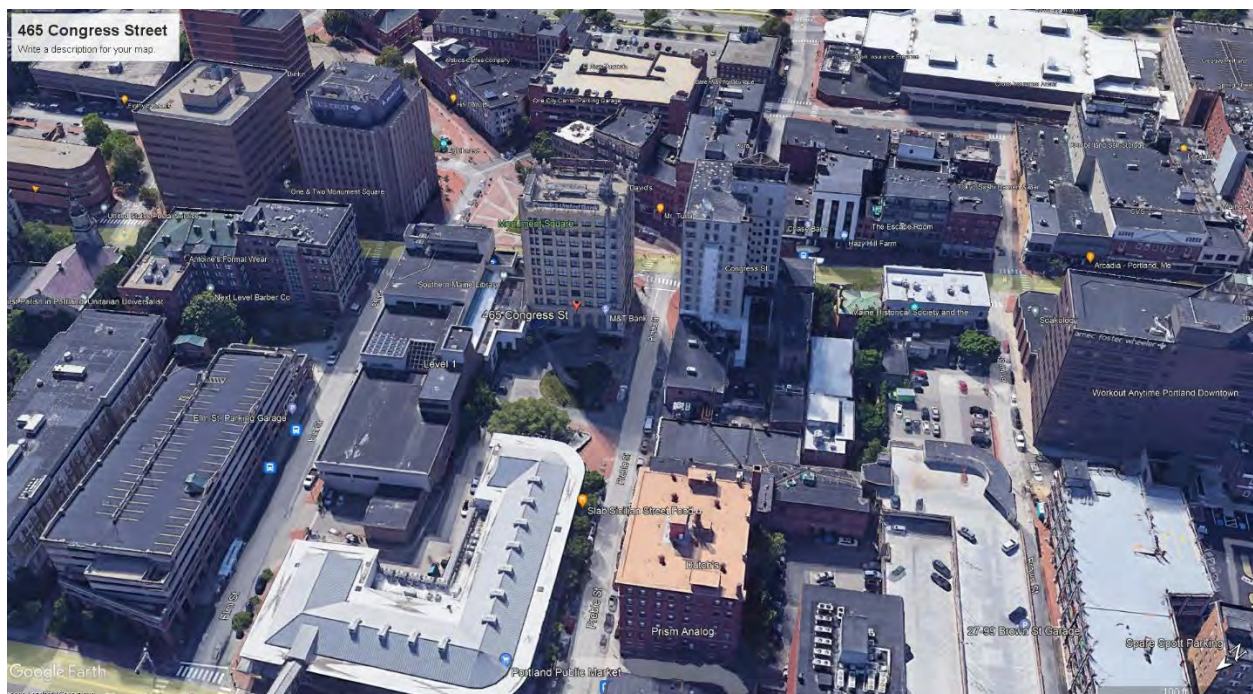
SUMMARY OF HISTORIC CONTEXT

The Fidelity Trust Company Building is an important building with Landmark status in the Congress Street Historic District, facing Monument Square in the center of downtown Portland. Completed in 1910, it is known as Portland's first skyscraper. An ornate bank lobby occupies most of the ground floor, with the primary entrance for the upper floors at the east end of the front façade. Immediately east of the subject property is the International Style public library, erected in the late 1970's. To the west is Preble Street, with another iconic downtown office building on the next corner. The Time and Temperature Building (477 Congress Street) is also going to be rehabbed, for use as a hotel, and a new stair and elevator tower is to be added there as well (reviewed by the Board last year.)



Behind the Fidelity Building is an open car loop and a drive-through window for the current bank tenant, offering clear visibility of the rear façade from Preble Street. Below the open space is the low, modern Portland Public Market Building which fronts onto Cumberland Avenue.

A former modern canopy over the rear building entrance has already been removed, but ramps, stairs, and the drive-through remain.



PREVIOUS REVIEWS BY HISTORIC PRESERVATION STAFF

In 2019 the current owners applied for a building permit to add an enlarged elevator overrun on the roof, replace all of the existing aluminum windows on upper floors, and prepare for renovations by conducting selective interior demolition. This application was also submitted to Maine Historic Preservation Commission and the National Park Service for tax credit purposes. The local review was handled administratively by HP staff. At the time there was not an anticipated change of use from offices to residences, so the consideration of life safety issues was not as complicated. Ms. Lermond has learned from Ducas Construction (the contractor) that the intention is to follow through with the approved plans for the rooftop and windows.

STAFF COMMENTS

Historic Preservation staff members have discussed this application with the architects and with Portland code and life safety reviewers. It has been explained to staff that adaptive reuse of the upper floors for residential use is now the most viable path for the owners, and discussions with the architects and code reviewers have clarified why exterior stairs are needed. (Even with the proposed stair addition, the change to residential use will require an interpretation by life safety officials that codes will allow the proposed exit plans because the plans make it possible to preserve historic elements that must be saved to qualify for federal tax credits.) It appears that facilitating the adaptive reuse and the granting of tax credits would be in the best interest of the Fidelity Building, and the proposed interventions will have the benefit of both state and national preservation reviews, in addition to this Board's local review.

Staff concurs with the project architects that the location proposed for the stair tower is the only appropriate one, and a quiet, minimal structure can be accommodated on this secondary facade without serious imposition on the historic appearance of the landmark. The rear elevation is faced with tan brick instead of the much more ornately treated limestone of the Preble Street and Congress Street facades. Although the footprint of the new stairs is as minimal as possible to avoid interference with the original block and respect the property boundary, interior constraints necessitate a bump out on the second and third floors only, which interrupts the otherwise simple geometry.

Among the important items for Board consideration are the exterior finishes on the stair tower; the fiber-cement panels are proposed to closely match the brick color, but staff recommends that the patterning and sizing of the panels should be considered carefully in addition to color and texture, to lend the skin quiet compatibility with the layout of the historic façade.

ANALYSIS OF APPLICABLE REVIEW STANDARDS

Standards for Review of Alterations, 17.8.2:

Standard 1	
Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration to the character defining features of the structure, object, or site and its environment or to use a property for its originally intended purpose.	
Standard Met?	Staff Comments
Yes	Although the original use was commercial, facilitating the adaptive reuse of the building is warranted, and the location and treatment of the stairs promise to minimize the changes to the appearance.

Standard 2	
The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.	
Standard Met?	Staff Comments
Yes	Minimal size of addition and little disruption to original features. Two windows are proposed to be removed for stair bump out (2 nd & 3 rd floors)

Standard 3	
All sites, structures, and objects shall be recognized as products of their own time, place, and use. Alterations that have no historical basis or create a false sense of historical development, such as adding conjectural features or elements from other properties, shall be discouraged.	
Standard Met?	Staff Comments
Yes	Proposed addition does not imitate the historic building, and would communicate its modern origins.

Standard 4	
Changes which may have taken place in the course of time are evidence of the history and development of a structure, object, or site and its environment. Changes that have acquired significance in their own right shall not be destroyed.	
Standard Met?	Staff Comments
Yes	The existing egress stair addition (to be removed) has no acquired architectural significance.

Standard 5	
Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize a structure, object, or site shall be treated with sensitivity.	
Standard Met?	Staff Comments
Yes	

Standard 7	
The surface cleaning of structures and objects, if appropriate, shall be undertaken with the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be undertaken.	
Standard Met?	Staff Comments
Possible condition	Staff suggests a condition requiring any cleaning of exterior brick or stone to be reviewed by HP staff. Alternatively, the applicant can specify cleaning treatment details at the public hearing, but since this may be difficult to anticipate in advance, a condition would ensure that future cleaning treatments would be reviewed for consistency with this standard.

Standard 9	
Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural, or archaeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material, and character of the property, neighborhood or environment.	
Standard Met?	Staff Comments
Yes – Board discussion:	Should stair tower windows be differentiated from the new windows to be installed in original building?

Standard 10	
Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.	
Standard Met?	Staff Comments
Board discussion:	What if any measures might be taken to address reversibility?

Standards for Review of New Construction, 17.8.3:

Standard A. Scale and Form	
<u>1. Height</u>	
The proposed height shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	
<u>2. Width</u>	
The width of a building shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	

<u>3. Proportion of principal facades</u>	
The relationship of the width to the height of the principal elevations shall be visually compatible with structures, public ways, and open spaces to which it is visually related.	
Standard Met?	Staff Comments
Yes	
<u>4. Roof shapes</u>	
The roof shape of a structure shall be visually compatible with the structures to which it is visually related.	
Standard Met?	Staff Comments
Yes	A flat roof will match the roof type of the original building and many nearby; it will have a low profile and low visibility.
<u>5. Scale of a structure</u>	
The size and mass of structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the structures, public ways, and places to which they are visually related.	
Standard Met?	Staff Comments
Yes	
<u>6. Applicability to Congress Street Historic District</u>	
In the Congress Street Historic District, for new construction within the B3 zone, the Historic Preservation Board shall not impose conditions more restrictive than the dimensional requirements of the B-3 zone.	
Standard Met?	Staff Comments
Yes	

Standard B. Composition of Principle Facades	
<u>1. Proportion of openings</u>	
The relationship of the width to height of windows and doors shall be visually compatible with structures, public ways, and places to which the building is visually related.	
Standard Met?	Staff Comments
Yes	Some constraints on windows in the new stair tower
<u>2. Rhythm of solids to voids in facades</u>	
The relationship of solids to voids in the façade of a structure shall be visually compatible with structures, public ways, and places to which it is visually related.	
Standard Met?	Staff Comments
Yes	Some constraints because of the function.
<u>4. Relationship of materials</u>	
The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in the structures to which they are visually related.	
Standard Met?	Staff Comments
To Be Discussed	Staff recommends recessive treatment of the wall finishes, and consideration of the layout of siding to assure compatibility with rear façade.

ATTACHMENTS

1. Architects' project description
2. Drawings, renderings, and product information
3. Staff photos
4. Architectural description of property

August 18, 2022

City of Portland Historic Preservation Board
City Hall
389 Congress Street Portland, ME 04101

Project Summary

The project address is 465 Congress Street. It is a 10-story steel frame building, built in 1909 as an office use. The current 1st floor is occupied by a bank. The upper floors are partially occupied by office tenants.

The current proposal includes changing the floors 2 thru 10 to residential use, interior renovation of the residential floors, and the addition of the exterior exit stairs.

It is important to explain the reasoning behind the addition of the new exterior stairs and the explanation includes multiple factors. The voices in the discussion include building inspections, life safety, NPS and the Historic Board.

The explanation begins with the change of use from business to residential which, in the IBC, is a change in use to a higher hazard category which immediately triggers an investigation into life safety. In this case we had egress scenarios that did not meet code in terms of egress separation, continuously enclosed egresses and dimensional requirements. The lack of code compliance led to the design of the new stair with appropriate distance from the existing center stair and that is fully enclosed on all stories. As to where the new stair went, we were guided by both code requirements and our preservation consultant for our NPS submission, Chris Beard.

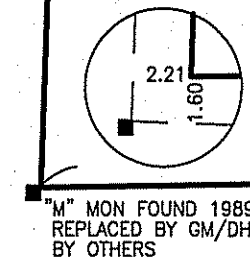
Along with the change of use constraints, the buildings is also categorized as a high rise by code and when the diagram is drawing for egress separation it limits where the second means of egress can go per IBC. Then with Chris' guidance we were told that we could not alter or eliminate the interior historic elements of the building. Between these two constraints the new stair was pushed to the exterior and the location is it shown in feels the most appropriate to not interfere with the interior layouts and the historic façade. Chris agreed with reasoning behind this placement.

In terms of the look of the new stair – we are open to the discussion, but our initial move is to keep it as visually quiet as possible. We are limited by the property lines and the existing windows in how wide the stair can be and the dimension is tight enough that the wall thickness will have to remain thin. This is with a 36" wide stair which is the minimum we are allowed by code. We are open on the discussion of material but at this point we have proposed a Cembrit fiber cement panel that would be a color to match as closely to the historic façade as possible.

We look forward to working with the Board to further the design and we will continue to update Chris the design evolves.

Regards,

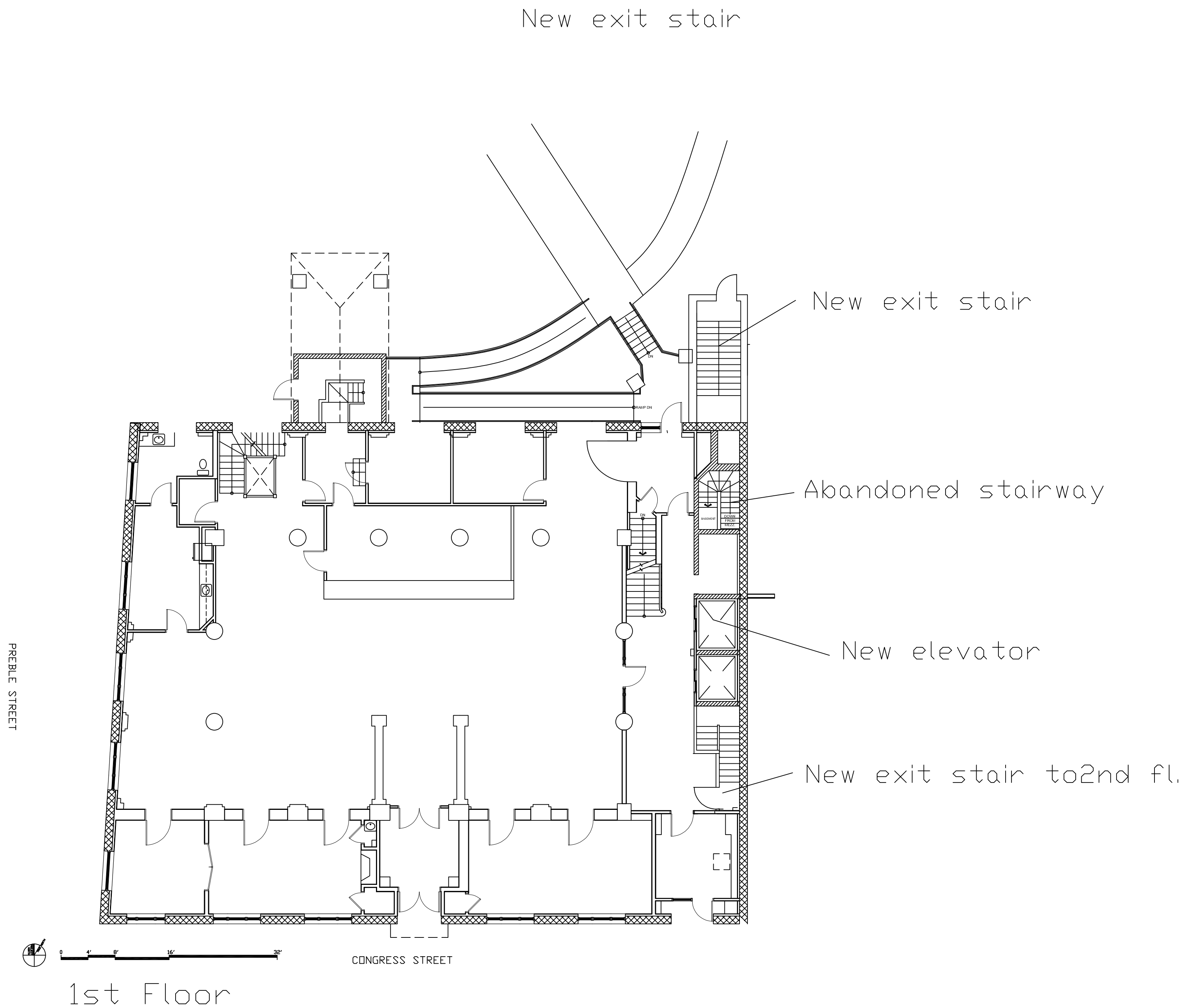
Katherine Lermond
Archetype Architects
P 207.772.6022 | C 207.329.0651
katherine@archetypepa.com



SCALE : 1" = 20'

A horizontal graphic scale bar with alternating black and white segments. It is marked with '0'', '10'', '20'', and '40'' at the ends and midpoints.

DRAWN BY: JCS / JLW	FIELD BOOK: FILE	JOB NO. 2019-003
CHECKED BY: JCS	SCALE: 1" = 20'	DRWG. NO. 1



IEBC

Overview
The building is 10 story steel frame, built in 1909 as an office use. The the current 1st floor is occupied by a bank. The upper floors are partially occupied by office tenants. The current proposal would change the floors 2 thru 10 to residential use.
The building finance will be by historic tax credits and thus the design will be reviewed by the State of Maine Historic Preservation Commission and the US National Park service.
The building is currently sprinklered. Existing columns were rated to 2 hours under most recent permit. The existing circular stair is rated 2 hours under a previous permit.
Occupant load per floor is 35

Chap. 10 Change of use

1007 Structural Current use office Current structural load office -50 lbs/ft
Proposed residential- 40lbs/ft

1007.3.1 Seismic loads
Goto IBC 1604.5
No change in risk category

T1012.4 Means of egress hazard increase
Business relative hazard =4
Residential relative hazard =3 (higher)

T1012.5 Height and Area hazard increase
Business relative hazard =4
Residential relative hazard = 3 (higher)

1012.5.1 Change to higher category to comply with IBC chap 5

IBC Chap 5
T504.4 Type 1B
Allowable stories= 12
Existing stories=10

Allowable area =UL
Existing area=6950+/-sf
Proposed addition=180+/- sf

Chapter 9 Alterations Level 3

902.1.2 Elevators
A new elevator is proposed

IBC High rise requirements Sec .403
Scope of proposed building improvements

.2.1-type 1B construction can go to 2A w/ sprinkler control valves equipped w/ initiating devices at every floor .
Yes

.2.1.2 (excluding MOE stairs and elevator) Shafts can go to 1 hour w/ sprinkler at top of shaft and at alternating floors

.2.3.1- wall assembly for interior MOE stairs and elevator shaft to meet soft body i9mpact class 2 2.3- SFRM bond strength got 430 PSF from 150
In new stairwell only

.3.3 2nd on site water supply / 30 min sprinkler and hose use for seismic c,d,e,
Building is class "B"

.4.1- smoke detection per 907 .2 .13.1
Yes

.4.2-Fire alarm per 907.2.13
Yes

.4.3 -standpipesclass 1 905.3.1
In new stairwell only

4.4 - emer. voice /alarm communication per 5.2.2(notify fire dept.- sound only in fire area
yes

.4.5- emergency responder radio coverage
yes

.4.6- fire command center per sec 911
There is an existing command center

4.7 smoke removal for post fire - can be manual window operation
Windows are operable on floors 2 thru 10

4.8 standby power per 4.8.3 for fire command, ventilation and auto fire detection equip. for smokeproof enclosures-emergency power-exit signs and lites, elev. Car lites,emer/ voice / alarm com systems, fire alarm systems, fire pumps
Yes

4.8.2- 1 hour fire protection of generator fuel lines pumps
Yes

5.1- core layout for remoteness - 30 ' separation or ¼ diagonal
Yes

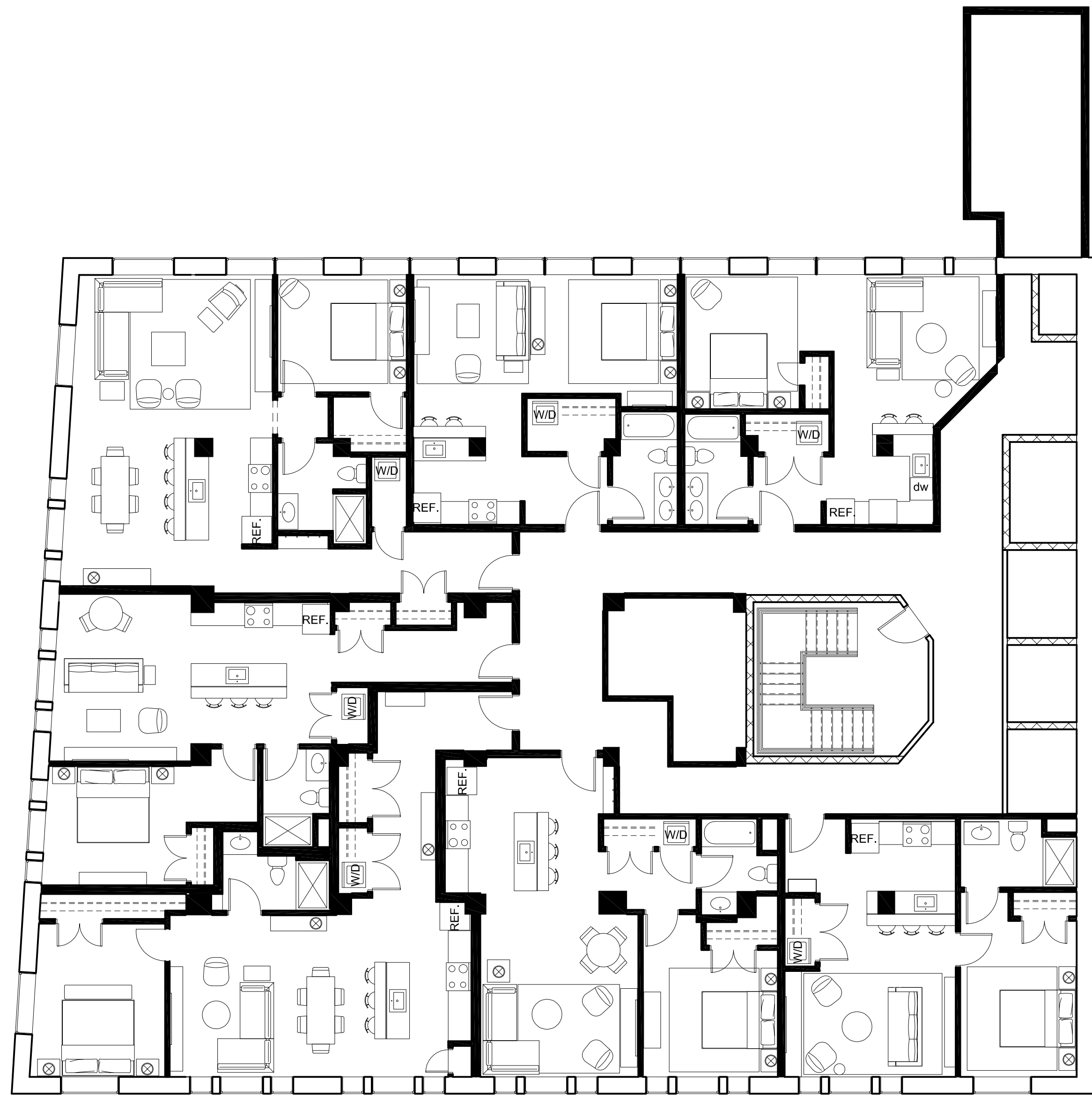
5.3- stairway door operation- operable both sides by fire command
In new stairway only -existing door to be reused

5.3.1 stairway phones on 5th floor
Yes

5.4 stairs to be smokeproof per 1023.11 pressurizedand 909.20
Yes

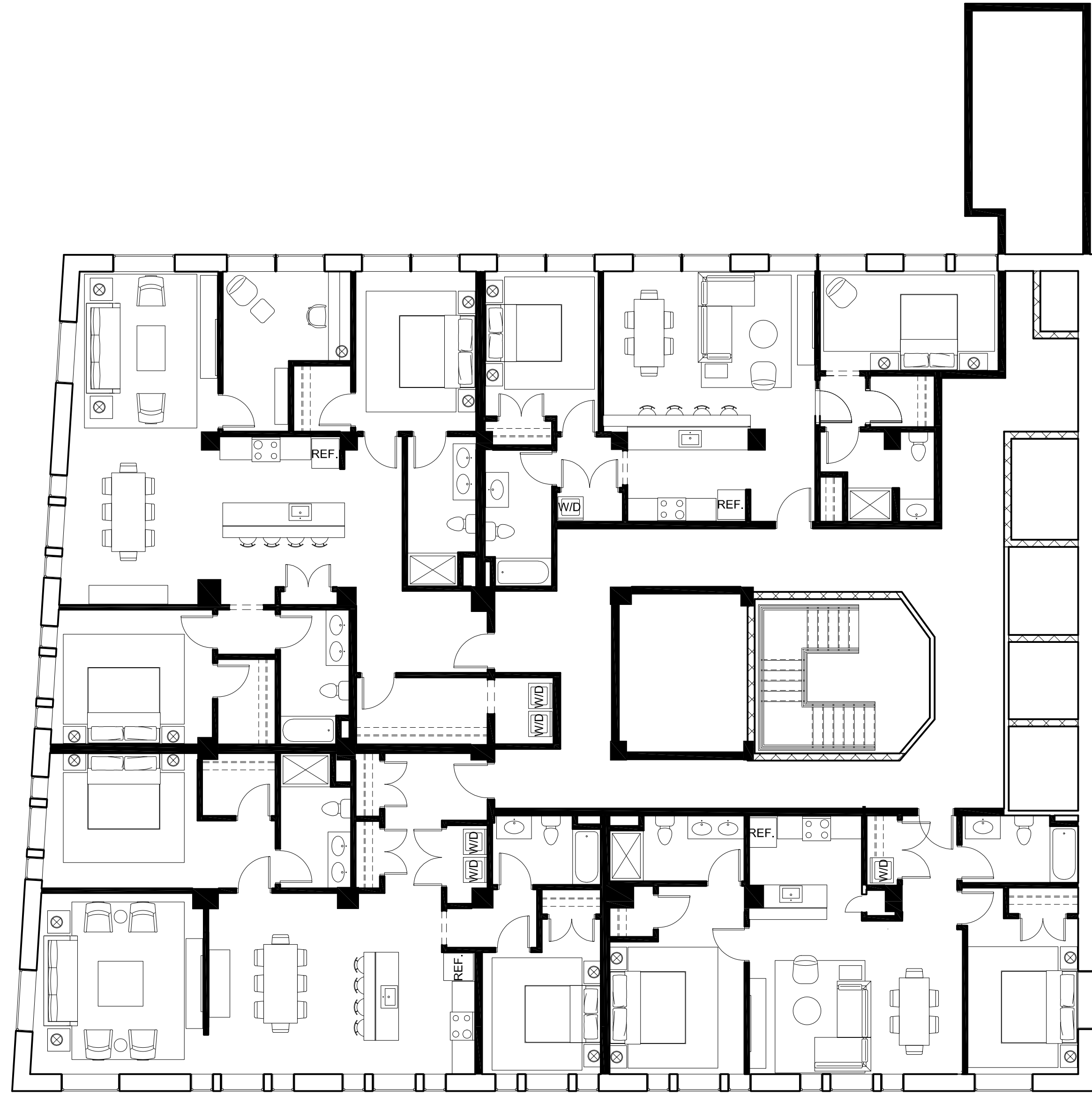
5.5 luminous egress paths per 1025
Yes

6 elevators for fire department use - chap 30
A new elevator is proposed



1 | 3rd - 8th FLOOR PLAN
1/8" = 1'-0"

- 2nd
 - most likely 6 units
 - 5 one bedrooms
 - 1 two bedroom
- 3rd - 8th
 - (7) one bedrooms per floor
 - 42 one bedrooms
- 9th-10th
 - (4) two bedrooms per floor
 - 8 two bedrooms
- Total
 - 47 one bedrooms
 - 9 two bedrooms
 - 56 units



2 | 9th - 10th FLOOR PLAN
1/8" = 1'-0"

Date: 6-29-2022

Revisions:

Project:

465 CONGRESS STREET
PORTLAND, MAINE

Architect:

ARCHETYPE
a r c h i t e c t s
48 Union Wharf Portland, Maine 04101
(207) 772-6022 ARCHETYPE@ARCHETYPEPA.COM

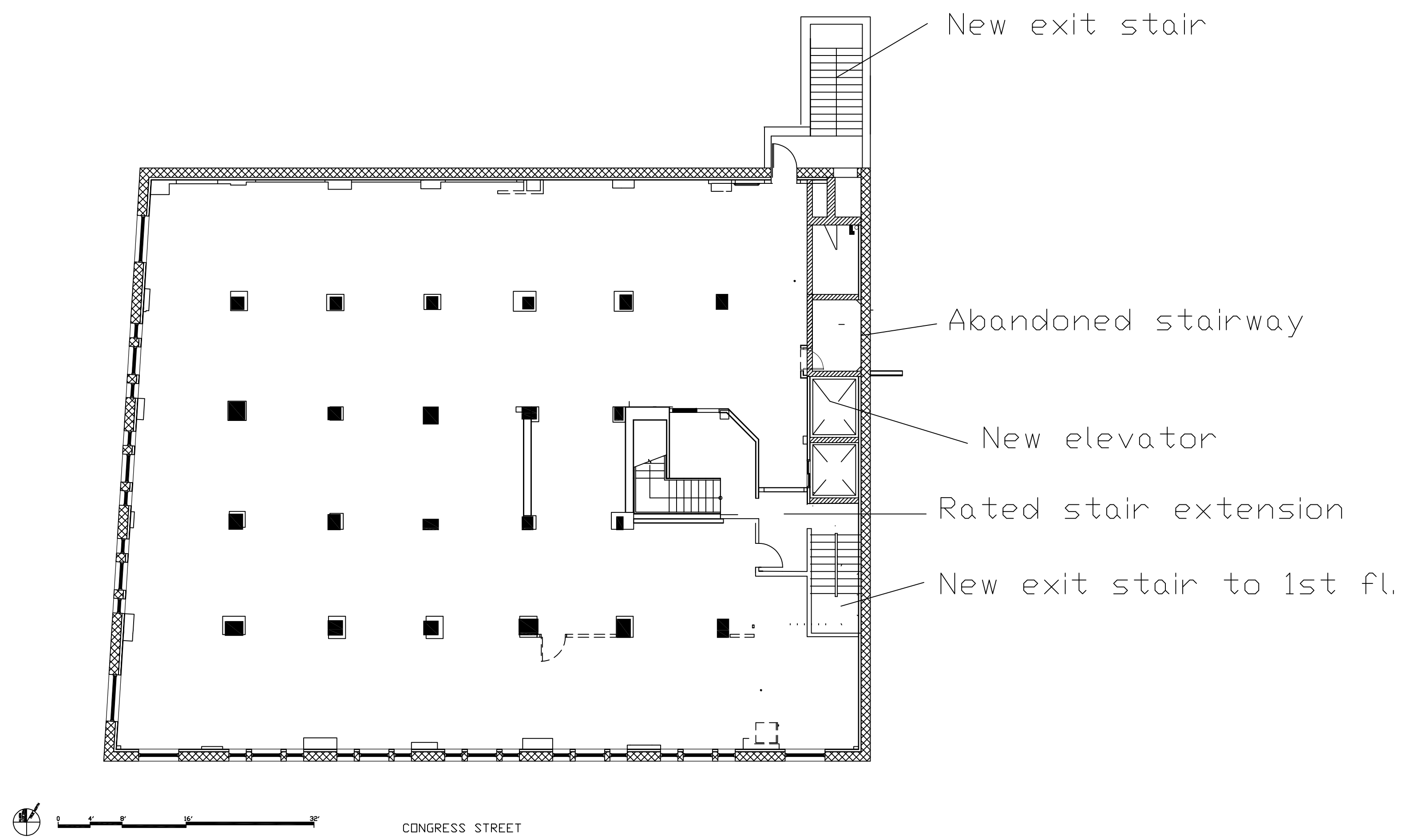
Consultant:

Prepared For:

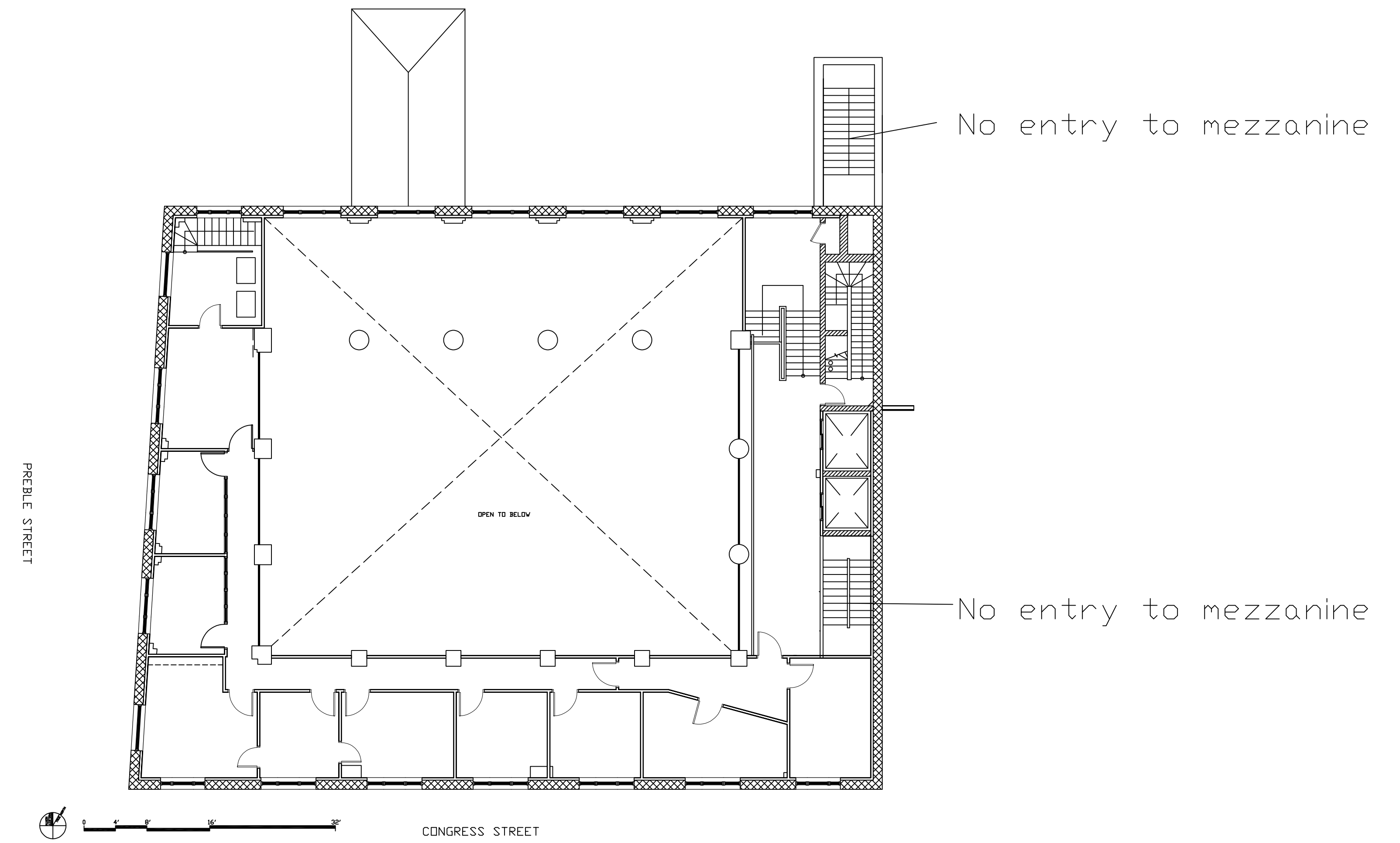
Connecticut River
Capital LLC
Address
City, State

Scale: 1/8" = 1'-0"
FLOOR PLANS B

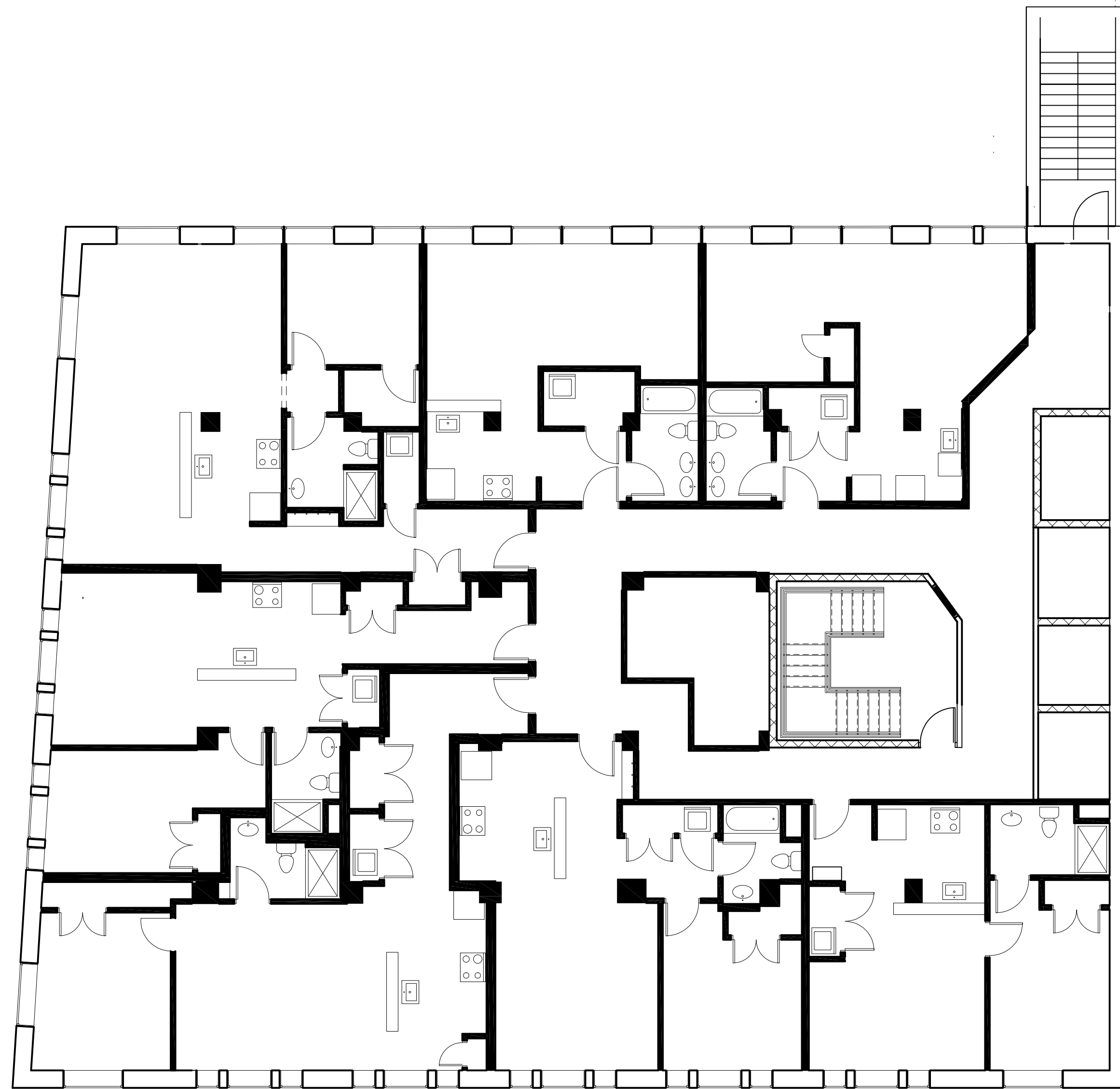
A1.01



2nd floor



Mezzanine



Concept layout with 7 units per floor

Floors 3 thru 10

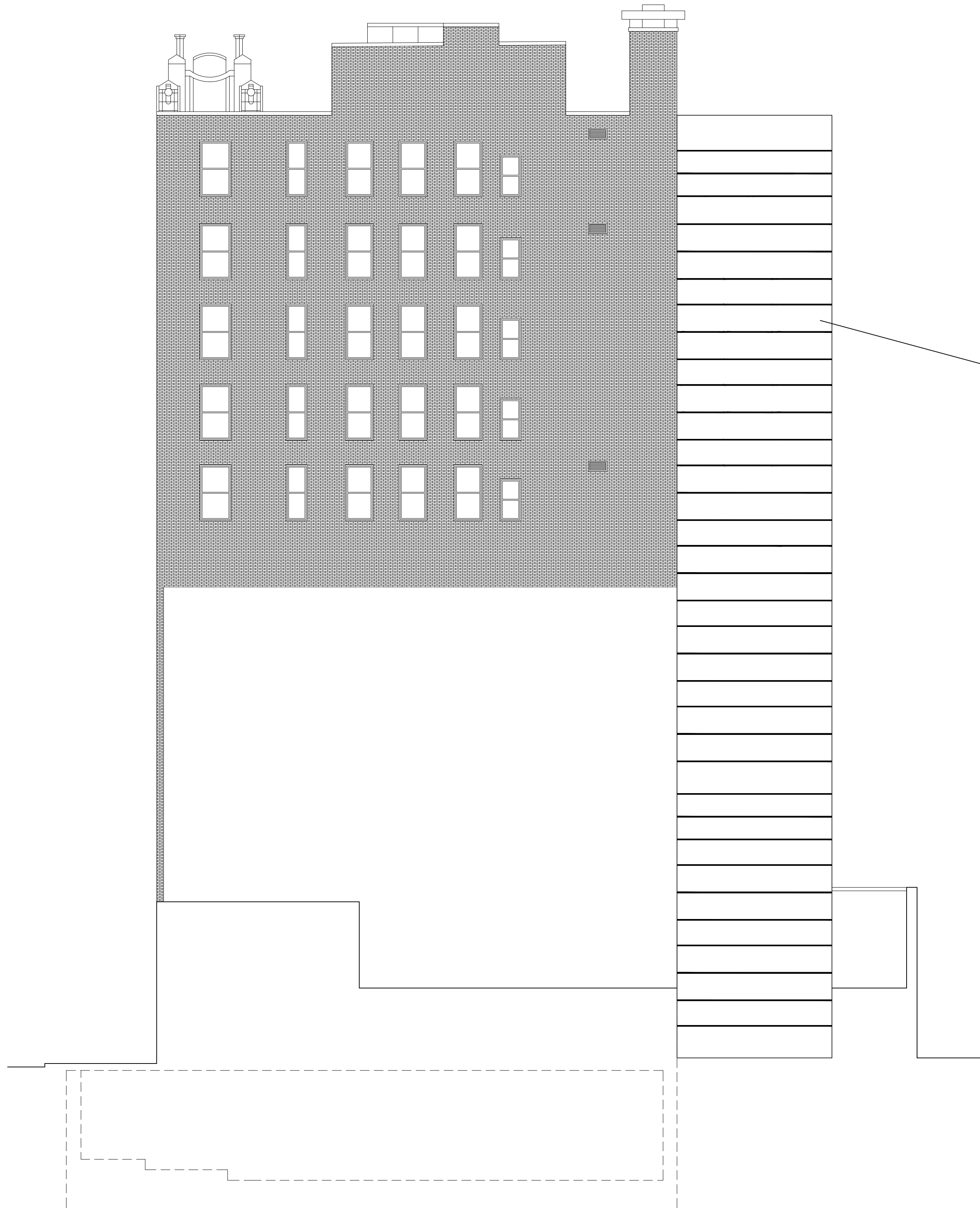


Concept layout with 4 units per floor

FLOORS 3 THRU 10

465 CONGRESS ST.
PORTLAND, ME

**EXISTING ELEVATIONS &
PROPOSED STAIRS**



EAST ELEVATION

PROPOSED STAIRS,
CEMBRIT



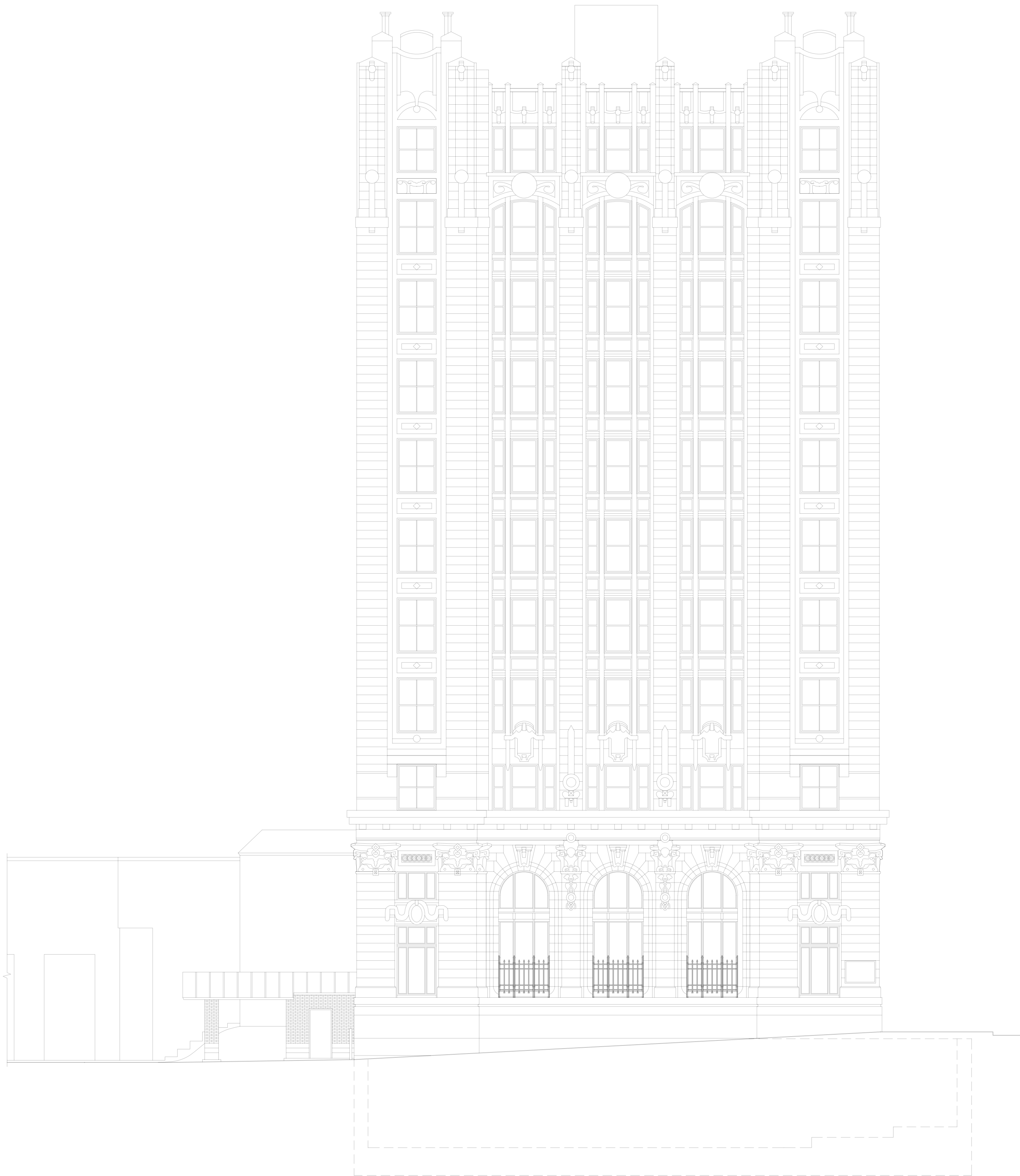
NORTH ELEVATION



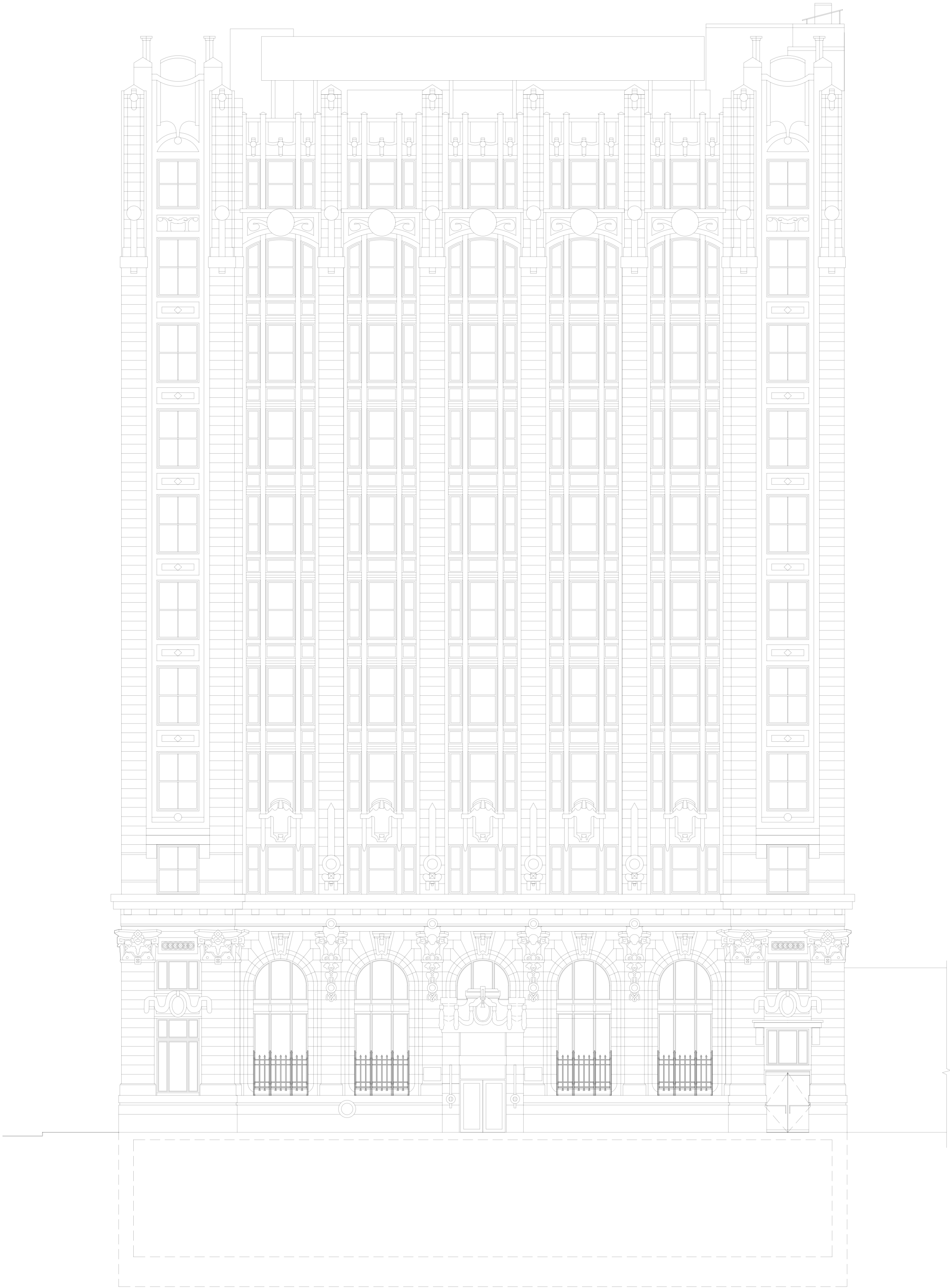
$3/32'' = 1' - 0''$

465 CONGRESS ST.
PORTLAND, ME

EXISTING ELEVATIONS



WEST ELEVATION



SOUTH ELEVATION



$3/32'' = 1' - 0''$

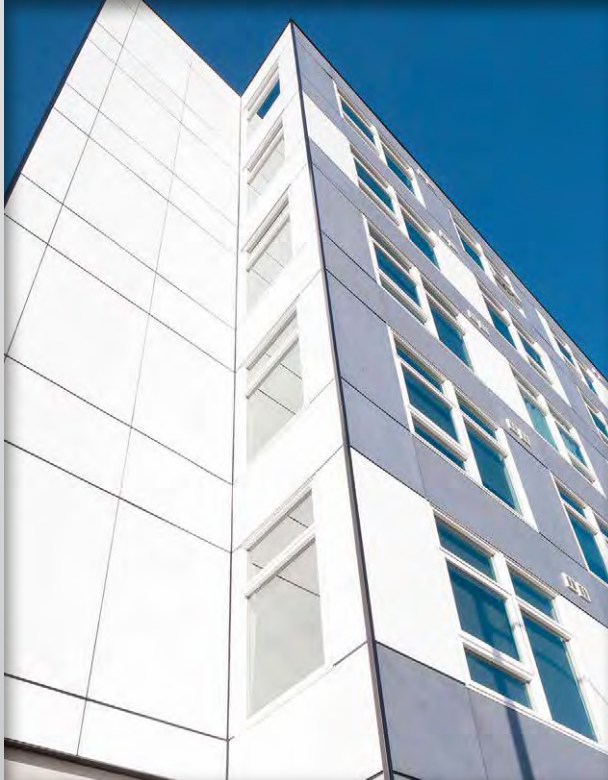
Existing



Proposed







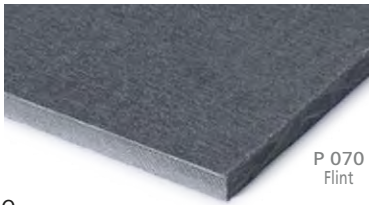
**American Fiber
Cement Corporation**

CENIBRIT
Building Better Days



Cembrit **Patina**

Cembrit Patina has a natural, textured surface. You can see the fiber and natural characteristics of the raw materials, and you can see and feel the sanding lines on the surface. As the seasons change and the years pass, the natural aging of the fiber cement leaves subtle traces on the surface, and the façade will gradually acquire a distinctive patina.



P 020
Granite



P 050
Graphite



P 070
Flint

Grays



P 222
Pearl

Whites



P 313
Tufa



P 323
Magma



P 333
Adobe

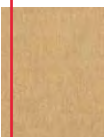


P 343
Ruby

Reds



P 545
Sand



P 565
Amber

Yellows



P 626
Emerald

Greens



465 Congress Street

Write a description for your map.





M&T Bank

Welcome



Portland Historic Resources Inventory

Property Address: 465-467 Congress Street

CSHD Map Key #22

District: Congress Street

Local Rating: Landmark (Contributing)

Date of Placement: Local 4/15/09

Architectural Description/Historic Significance:

Fidelity Building

1910

The Fidelity Trust Company Building at 467 Congress was Portland's first true "skyscraper". Designed by G. Henry Desmond of Boston in an interesting "Gothic-Beaux Arts" style and completed in 1910, the building is of steel frame construction faced with Indiana Bedford limestone.

The building shows the classic three-part composition of tall buildings of the time. A massive two-story base anchors the tower to the street. Eight pilasters with ornate capitals rest on base courses of finished stone. The corner bay at Preble Street has a large, rectangular, multi-pane window topped by a transom window; the two are separated by a spandrel decorated with a medallion and garlands. At the opposite end is the main building entrance. The doorway is essentially the same as the Preble Street bay. Between the two end bays are five two-story-high arched openings. The center bay contains the entrance to the main banking hall. Above the door is a more elaborate spandrel panel with a shield and garland motif. Above this is a three-part, arched window opening into the mezzanine. The other four bays have full-height windows divided into lower units, transom windows, and decorative metal spandrels covering the mezzanine floor structure. Intricate wrought-iron grilles provide security at the lower half of these windows. Above the windows and pilaster capitals is a bold cornice.

The shaft of the building is comprised of the next eight stories. The seven bays of the base continue to be defined by soaring pilasters. The outer two bays are distinguished from the center bays by their window treatment. Simple corrugated spandrel panels separate the floors vertically.

Between the ninth and tenth floor is the break between the shaft and the cornice. The ninth floor window groups in the center five bays have arched tops with huge, abstracted Gothic keystones that extend upward, creating a strong horizontal pattern at the cornice. Stone scrollwork between the arches and the cornice further define the cornice line. The outer two bays are not interrupted by the cornice and thus form continuous vertical towers that emphasize the building's height.

The tenth floor serves as an elaborate cap for the middle bays, with Gothic-inspired, vertical piers between window groups and forceful, garland-like forms above each sash. The overall impression of the building is one of height and strength; its intriguing decoration recalls Gothic, Mayan, Egyptian, and even Viennese stylistic elements.

In 1909 when Charles Sumner Cook, organizer of the Fidelity Trust Company leased this piece of land there was standing on it Deering Hall, an Italianate structure, built in 1853. The lower level contained shops, the upper two stories were combined by tall arched openings, alternating with paneled pilasters and covered by a hipped roof. The building was razed and the Boston architect G. Henri Desmond designed the present “skyscraper” which was Maine’s tallest building. Fidelity remained a tenant of the State Loan Company until 1993 when the property was acquired by the National Bank of Commerce and the building was referred to as the Commerce Building. Over the years the main floor has been occupied by various banks.

G. Henri Desmond formed his own architectural practice in 1907, shortly before the commission for this building. He also maintained a Portland office from 1909-1911 and from 1916-1921 in order to supervise not only this project, but the expansion of the capitol building in Augusta, the chapel in Poland Spring, as well as the Portland Theater on Preble Street behind the Fidelity Building, the original part of the Guy Gannett building and work on Portland High School with the firm of Miller and Mayo. In addition to work in Maine, Desmond and Lord, as the firm became, was well known in New England.

The challenge in designing the early “skyscrapers” was sheer size; it was the problem of creating a compelling visual message and a coherent, “readable” design at a hitherto unknown scale. In this instance Desmond paid close attention to divisions, to framing elements and to transitions. The first and second story openings demonstrate his ability; the eight two-story arched openings are punctuated by different fenestration at the three corners and this motif is repeated in the principal entrance to the banking hall, in the center of the Congress Street façade. On the upper nine stories the corner the windows are visually stronger and more vertical than the tripartite window banks they frame. Desmond also used obviously sculptural decorative cast stone motifs to effect transitions; from below and above the second story cornice line and in a similar arrangement between the ninth and tenth stories. The decorative vocabulary is Beaux-Arts, i.e. the use of classical arches, pilasters, panels and swags, but simplified into a more modern idiom.

The importance of this building rests not only on its original novelty, but on the excellence of Desmond’s design; it is still an important feature of the Portland skyline and a key visual anchor of Monument Square; and it records the commercial history of the city.

The building was purchased in the 1990s by Elizabeth Noyce’s October Corporation along with numerous other large downtown properties. Maine Savings Bank, founded by Noyce, located its headquarters in the building. The “Maine Savings Bank” sign on the roof was installed at this time. In 2005-2007 the limestone exterior was cleaned and restored, with the stone veneer blocks reattached to the underlying steel framework. The original dark green color was restored to the painted window metalwork and grilles in 2007.

The lot behind the building, now occupied by the driveway and drive up teller window was the site of the *Portland* theater.



