

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD



Penny Pollard, Chair
Robert O'Brien, Vice Chair
Hilary Bassett
Joy Naifeh
Julia Tate
John Turk
Rob Whitten

AGENDA

HISTORIC PRESERVATION BOARD MEETING

The Historic Preservation Board will hold a remote meeting on Wednesday, October 19, 2022 at 5:00 PM. Due to the ongoing procedure of holding meetings remotely, the Historic Preservation Board will conduct this meeting by remote methods/technology at the Zoom link provided on the agenda and in accordance with the requirements of 1 M.R.S. 403-B and the City Council's Remote Participation Policy. Allow your computer to install the free Zoom app to get the best meeting experience.

If you are not able to attend live, a recording will be available following the meeting. For public comment, you will need to use the "raise your hand" feature. To raise your hand via the telephone, please hit *9. You will be unmuted by the host when it is time for public comment. For more information on submitting written public comments and participating in the remote meeting, please refer to the document, A Guide to Public Comment, Remote Mtg. and Public Participation, which can be found at <https://www.portlandmaine.gov/485/Development-Review>. Public comments will be taken for each item on the agenda during the estimated allotted time.

Written Public Comment

Written comments received by email before 12:00PM **the day before** the scheduled meeting date will be included in the agenda backup materials ("agenda packet"). Written comments received **by the aforementioned deadline** will be published in the agenda packet no later than 12:00PM the day of the meeting. Written comments must be submitted to hp@portlandmaine.gov. If you have any questions or feedback regarding this process, please email citymanager@portlandmaine.gov

Please note that the placement of each item on the agenda is subject to change. Please check the Agenda & Minutes Center prior to the meeting for the item start time: <https://www.portlandmaine.gov/602/Agendas-Minutes>.

You are invited to a Zoom webinar.

When: Oct 19, 2022 05:00 PM Eastern Time (US and Canada)

Topic: Historic Preservation Public Hearing and Workshop 10/19/2022

Please click the link below to join the webinar:

<https://portlandmaine-gov.zoom.us/j/85995248570>

Or One tap mobile :

US: +13017158592,,85995248570# or +13092053325,,85995248570#

Or Telephone:

Dial(for higher quality, dial a number based on your current location): US: +1 301 715 8592 or +1 309 205 3325 or +1 312 626 6799 or +1 646 931 3860 or +1 929 205 6099 or +1 253 215 8782 or +1 346 248 7799 or +1 386 347 5053 or +1 564 217 2000 or +1 669 444 9171 or +1 669 900 6833 or +1 719 359 4580

Webinar ID: 859 9524 8570

International numbers available: <https://portlandmaine-gov.zoom.us/j/85995248570>

1. ROLL CALL AND DECLARATION OF QUORUM

- i. Due to the lack of a quorum, the meeting was postponed to a later date.

2. REPORT OF ATTENDANCE AT THE MEETING HELD ON OCTOBER 5, 2022

- i. *O'Brien, Tate, Whitten present; Bassett, Naifeh, Pollard, Turk absent*

3. REPORTS OF DECISIONS AT THE MEETING HELD ON OCTOBER 5, 2022

- i. The meeting was adjourned after roll call due to the lack of a quorum.

4. COMMUNICATION AND REPORTS

5. PUBLIC HEARING

- i. Certificate of Appropriateness for Construction of a New Accessory Structure; 99 CAPISIC STREET; Vana Carmona, Applicant. A project and plan summary are available for viewing on the city's CSS Portal (<https://css.portlandmaine.gov/>) by referencing Plan Number HPBR-002024-2022.
- ii. Certificate of Appropriateness for Proposed New Construction, 63 CHADWICK STREET; Joan & Daniel Amory, Applicants. A project and plan summary are available for viewing on the city's CSS Portal (<https://css.portlandmaine.gov/>) by referencing Plan Number HPBR-002093-2022.

6. WORKSHOP

- i. Preliminary Review of Proposed Alterations and Dormer Additions; 11 O'BRIEN STREET; Mackenzie Arsenault, Applicant. A project and plan summary are available for viewing on the city's CSS Portal (<https://css.portlandmaine.gov/>) by referencing Plan Number HPBR-002110-2022.

7. CONSENT AGENDA

**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Pollard and Members of the Historic Preservation Board
FROM: Rob Wiener, Historic Preservation Compliance Coordinator
DATE: October 14, 2022
RE: 99 Capisic Street, Addition and New Garage / Guest House - PUBLIC HEARING
PROJECT ID: HPBR-002024-2022
MEETING: October 19, 2022

Owner: Vana Carmona
Architect: Margaret Innes, Studio E Architect

A sign announcing the Historic Preservation Board's meeting on October 19, 2022 was posted at the property on 10/6/22. A legal ad was published in the Portland Press Herald on 10/7/22 and 10/8/22, and 37 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

- 1-story rear addition with gabled roof and entry stairs, for mudroom and office space
- 1.5-story detached garage with guest quarters above; gabled roof with shed dormers

Dimensions:

Overall Height: Addition: approx. 14'-5" from grade between house and addition (south elev.)
Barn: 27'-6", incl. cupola
Footprint: Addition: 216 s.f.
Barn: 648 s.f.

Material Specifications:

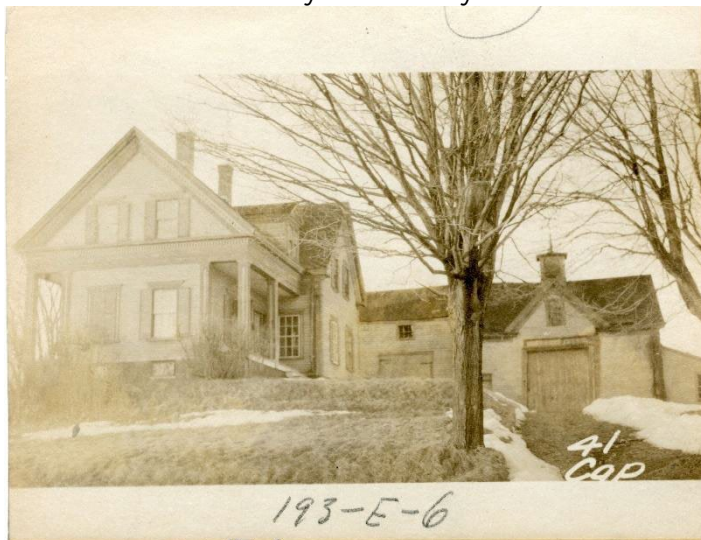
Foundation	Addition: Concrete frost walls with crawl space; Garage: Concrete frost walls & slab
Siding	Rough beveled clapboard, 7" exposure; vertical metal siding on north & east of barn
Trim	Addition: stained wood, matching siding; Barn: white painted composite (Boral)
Roofing	Asphalt
Windows	Andersen E Series, metal clad; double-hung, casement, awning
Doors	Painted / stained wood; painted steel garage door (carriage house series)

SUMMARY OF HISTORIC CONTEXT



Located in a once rural neighborhood on the outskirts of Portland, 99 Capisic Street is a circa 1848 (with later additions) Greek Revival house, rehabilitated by the owner in consultation with historic preservation staff. Following the rehabilitation and the Historic Preservation Board's subsequent unanimous recommendation (after its nomination by the owner) the property was designated as an individual landmark by the Portland City Council on September, 2021.

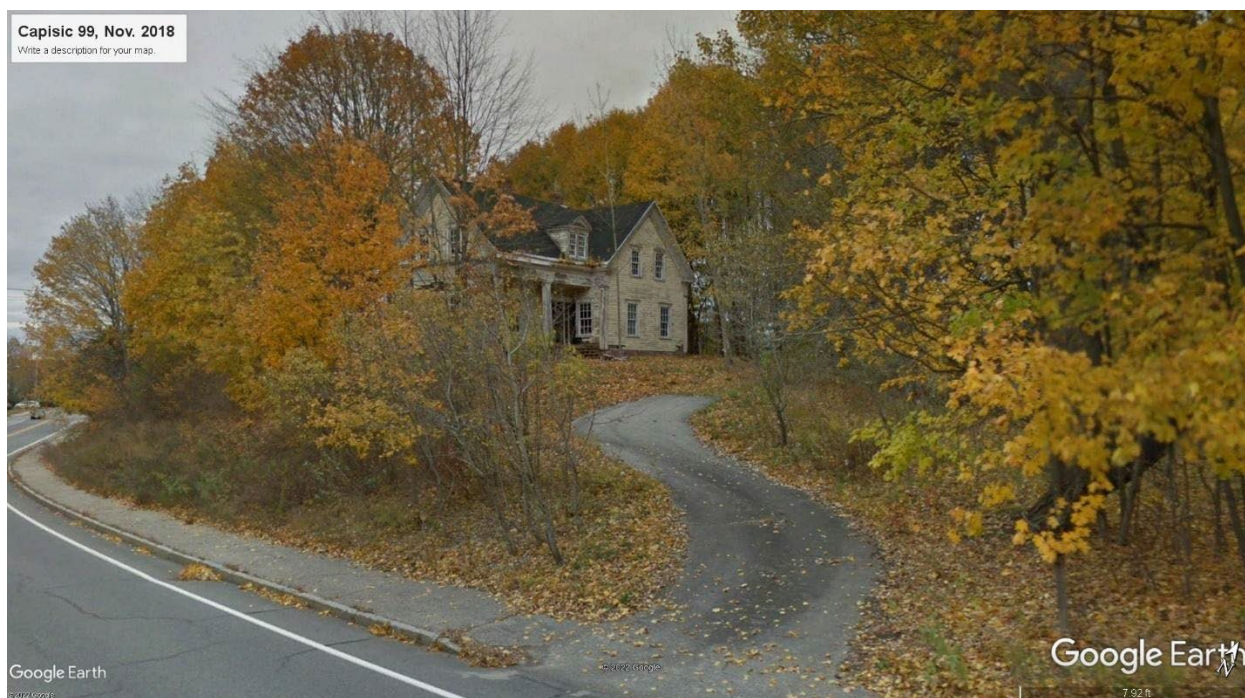
The neighborhood includes a number of outstanding older homes, but the surrounding context is now of a relatively low density neighborhood that was largely built out in the 20th c. The subject property sits on a wooded knoll above Capisic Street, and included an attached barn for many years until the late 20th or early 21st Century.



1924 TAX PHOTO



1962 PHOTO



GOOGLE STREET VIEW, 2018



RECENT PHOTO, SHOWING ONCE AND FUTURE BARN LOCATION

PREVIOUS REVIEW BY HISTORIC PRESERVATION BOARD

Workshop, June 1, 2022

Public Hearing, August 3, 2022:

The public hearing on October 5, 2022 will be a continuation of the August 3 hearing, which was tabled to a future Board meeting by a vote of 6-o (Joy Naifeh, absent.) At the August hearing, members appreciated the design moves that addressed many of the concerns from the June workshop. There were few concerns about the mudroom and office addition to the rear of the house, but the garage and guest house building (a.k.a. the “barn”) generated comments and discussion. While board members were largely positive about both the rear addition and the new garage / guest building, the number of comments about the latter structure and the suggested design changes prompted the Board to table the hearing to allow time to better resolve the open items.

Significant changes noted in the revised August 3 drawings were concentrated in the garage / guest house:

- Elimination of Juliette balconies and French doors (south and east faces)

- Clarification of siding choices: rustic, stained, wide-exposure wood clapboard on two sides (south and west,) and vertical, corrugated metal siding on two sides (north and east)
- Lowering of the garage / guest house at eaves and ridge; now more secondary to the main house, with a similar roof pitch
- Garage doors were centered, resulting in a more balanced, symmetrical primary façade.

Board members acknowledged that the August 3 drawings showed progress toward balancing several principles:

- Compatibility with house and context
- Differentiation: include some clear signals of contemporary origin
- Secondary status to the house, including the location further back than the house
- Simple, unified composition balancing restraint and order with modern elements

Despite indications that the design for the new building was close to meeting the Standards, Board discussion on August 3 made clear that additional study and some relatively minor adjustments would be required before a final approval.

- Overhangs on the east and west eaves were quite deep, resulting in a wider front gable than necessary. Shallower overhangs and a narrower gable would help the barn compete less with the house.
- Board members preferred a simple, consistent soffit treatment with modest returns on all four corners of the building, a complementary approach.
- The asymmetrical mix of wood siding and vertical metal accents on the south wall raised questions among Board members.
- Additional questions were raised about the groupings of windows on the north and east, and it was suggested that consideration be given to patterns in the number of mullied units.
- It was suggested that where possible and visible, the proportions of barn windows should be studied for similarity to window proportions in the house.
- It was pointed out by the applicant that the west and north faces of the proposed barn are minimally visible, and Board members agreed that the south façade is clearly the most important one, with the east less visible than the south, and of secondary importance.

Finally, there was little concern about the mudroom and office addition to the rear of the house, with several comments advising details that would be simpler and potentially somewhat contemporary. Stained, 7" exposure lapped siding is planned for both the addition and the barn, with a rough surface on the siding to contrast with the house. There was some Board discussion on the semi-transparent stain preferred by the applicant, with no clear consensus on the finish.

REVISED SUBMISSION FOR October 19, 2022 PUBLIC HEARING

Historic Preservation staff consulted with the owner and the architect since the August 3 meeting, to review and discuss the Board feedback and clarify the design direction in preparation for a final review. Ms. Innes' changes in the revised drawings include:

- Narrower overhangs and shorter returns on the east and west eaves of the barn, with

traditional, level soffits

- On the south wall of the barn, most of the vertical metal siding has been removed from the drawings, with just the south end wall of the west dormer proposed as metal siding.
- The height of the casement windows in the east dormer was increased, with the grouping reduced to two pairs.
- Ms. Carmona and Ms. Innes have included photographs of the property from a number of vantage points to illustrate which elevations are minimally visible.
- Ms. Innes has clarified the barn trim – all of which is now to be of painted Boral (composite.)

STAFF COMMENTS

Staff believes the final design presented for the October 19 hearing is a more refined, compatible, recessive, and successful design. The applicants met with staff after the August 3 meeting, and have made a number of changes suggested by the Board at the first hearing. On the front (south) façade of the barn, staff notes:

- Lowering the eaves and overall height, and narrowing the overhangs on the barn have all improved the relationship to the primary house.
- Proposed plans show the metal siding on one dormer side (the south end of the west dormer.) The owner would like to add this contemporary accent to the front face, but if the Board finds it looks out of place and undermines the unity, restraint, balance, and quiet of the composition, members could include a condition requiring its elimination.

On the east dormer, staff agrees with the changes to the windows, with two pairs of casements that are taller than before, giving them more vertical proportions. Based on the owner's and the architect's responses to Board concerns, staff is recommending approval of the proposed design on October 19. As a new accessory structure that is located toward the back of the property, staff finds the barn to be appropriately deferential to the historic house and meeting the Standards for New Construction. Staff also believes that the addition to the rear of the house meets the Standards for Alterations.

APPLICABLE REVIEW STANDARDS

Standards for Review of Alterations, 17.8.2:

Standard 1	
Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration to the character defining features of the structure, object, or site and its environment or to use a property for its originally intended purpose.	
Standard Met?	Staff Comments
Yes	An outbuilding is not out of place here; the former barn is not being recreated, but the proposed building is appropriately respectful of the property's history.

Standard 2	
The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.	
Standard Met?	Staff Comments
Yes	Addition is proposed for the rear, where the existing rear ell is of recent construction. Neither the addition nor the garage obscures the historic house.

Standard 3	
All sites, structures, and objects shall be recognized as products of their own time, place, and use. Alterations that have no historical basis or create a false sense of historical development, such as adding conjectural features or elements from other properties, shall be discouraged.	
Standard Met?	Staff Comments
Yes	Barn / garage and rear addition are identifiable as contemporary, with the barn incorporating several pieces of architectural salvage.

Standard 9	
Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural, or archaeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material, and character of the property, neighborhood or environment.	
Standard Met?	Staff Comments
Yes	

Standard 10	
Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.	
Standard Met?	Staff Comments
Yes	

Standards for Review of New Construction, 17.8.3:

Standard A. Scale and Form	
<u>1. Height</u>	
The proposed height shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	More deferential; the garage design has been lowered and narrowed

<u>2. Width</u> The width of a building shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	See comments above regarding height of eaves, depth of overhangs, and location on the property, in respect to width of front gable of barn.
<u>3. Proportion of principal facades</u> The relationship of the width to the height of the principal elevations shall be visually compatible with structures, public ways, and open spaces to which it is visually related.	
Standard Met?	Staff Comments
Yes	
<u>4. Roof shapes</u> The roof shape of a structure shall be visually compatible with the structures to which it is visually related.	
Standard Met?	Staff Comments
Yes	
<u>5. Scale of a structure</u> The size and mass of structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the structures, public ways, and places to which they are visually related.	
Standard Met?	Staff Comments
Yes	

Standard B. Composition of Principle Facades	
<u>1. Proportion of openings</u> The relationship of the width to height of windows and doors shall be visually compatible with structures, public ways, and places to which the building is visually related.	
Standard Met?	Staff Comments
Yes	
<u>2. Rhythm of solids to voids in facades</u> The relationship of solids to voids in the façade of a structure shall be visually compatible with structures, public ways, and places to which it is visually related.	
Standard Met?	Staff Comments
Yes	Where applicable
<u>3. Rhythm of entrance porch and other projections</u> The relationship of entrances and other projections to sidewalks shall be visually compatible with the structures, public ways, and places to which they are visually related.	

Standard Met?	Staff Comments
Yes	Modest entrances, appropriate for secondary structure and rear entrance
<u>4. Relationship of materials</u> The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in the structures to which they are visually related.	
Standard Met?	Staff Comments
Yes	Materials aid in balancing differentiation, contemporary design, and compatibility. Finishes for the barn are simple and less polished than the house. All barn trim is to be painted Boral (composite.)

Standard C. Relationship to Street	
<u>1. Walls of continuity</u> Facades and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the structures, public ways, and places to which such elements are visually related.	
Standard Met?	Staff Comments
Yes	Though not connected, barn / garage recalls former barn on site, without copying it and remains respectful of the house.
<u>2. Rhythm of spacing and structures on streets</u> The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways, and places to which it is visually related	
Standard Met?	Staff Comments
Yes	See above.
<u>3. Directional expression of principal elevation</u> A structure shall be visually compatible with the structures, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.	
Standard Met?	Staff Comments
Yes	

Standard D. Other Standards	
<u>1. Compatible use</u> Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration to the character defining features of the structure, object, or site and its environment or to use a property for its originally intended purpose.	
Standard Met?	Staff Comments
Yes	

<u>2. Distinguishing original character</u> The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The alteration of any historic material or distinctive architectural features should be avoided when possible.	
Standard Met?	Staff Comments
Yes	Addition is proposed for the rear, where the existing rear ell is of recent construction.
<u>4. Contemporary design</u> Contemporary design for additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural, or archaeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, material, and character of the property, neighborhood and environment.	
Standard Met?	Staff Comments
Yes	
<u>5. Additions</u> Wherever possible, new additions to structures and objects shall be undertaken in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the structure would be unimpaired.	
Standard Met?	Staff Comments
Yes	

MOTION FOR CONSIDERATION

I move to APPROVE application HPBR-002024 for the addition and new construction at 99 Capisic Street on the basis of documentation, plans, and specifications submitted for the August 3, 2022 public hearing; information provided in the staff memo; and findings by the Historic Preservation Board that the project meets Standards for Review of Alterations 17.8.2 and Standards for Review of New Construction 17.8.3 with the following condition:

- 1) Substitute wood siding for the proposed metal siding on the south (front-facing) end of the west dormer.

ATTACHMENTS

1. Architect's Cover Letter
2. Architect's drawings and schedules
3. Materials
4. Applicant's photos of context and subject property
5. Elevations from August 3, 2022 hearing



September 15, 2022

Mr. Evan Schueckler
 Mr. Rob Weiner
 City of Portland Historic Preservation Department
 4th Floor, City Hall
 389 Congress Street
 Portland, ME 04101

Re: Marguerite Emerson House: Back House and Barn Addition

Dear Evan and Rob,

On behalf of Vana Carmona I am pleased to submit drawings and supporting materials for the Public Hearing on October 19, 2022, for the proposed addition to the Marguerite Emerson House at 99 Capisic Street.

The proposed additions are a small back house to the existing Greek Revival original home and a new “barn” that will serve as a 2-car garage with a studio apartment above. This will be our 3rd meeting with the Board. We have included the majority of changes that were suggested at our last meeting. These changes include: removal of the corrugated metal siding from the south façade; decreasing the size of the garage overhangs; decreasing the size of the rake returns on the barn; and, increasing the height of the outswing windows on the South façade in order to approximate the windows on the original house. We are also including some key cut sheets of exterior materials that we propose to use as well as multiple photos of the house from various points in the neighborhood.

Along with this cover letter, the following documents and drawings will be uploaded to the City’s Portal:

Drawings:	Cut Sheets:
Cover Sheet	Corrugated Metal Panels
Foundation Plan	Color selection for Metal Panels
First Floor Plan	Wood Siding
Second Floor Plan	Photos:
Elevations: South and East	Area Site Plan Legend
Elevations: North and East	Photos A-L
Elevations: West and Other	
Details (Miscellaneous)	City of Portland HP Checklist
Schedules: Windows and Doors	

Thank you for your attention to this matter.

Sincerely,

Margaret D. Innes, Maine Licensed Architect
 Principal, Studio E, Inc.

studioe^{architect}.com / p.o. box 1385, westbrook, maine 04098

NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS OR INTENT OF SAME SHALL BE MADE WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION.

ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY THE OTHER.

MINOR DETAILS NOT USUALLY SHOWN NOR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF THEY WERE SPECIFIED OR INDICATED ON THE DRAWINGS.

MANUFACTURER'S STANDARD SPECIFICATIONS AND MATERIALS APPROVED FOR PROJECT USE ARE HEREBY MADE PART OF THE CONTRACT. THE SAME SHALL BE SPECIFIED BY THE LOCAL JURISDICTIONAL AUTHORITIES FOR ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND PROCEDURES.

ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SOLD OR LEASED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SIGN-OFFS FROM THE LOCAL JURISDICTIONAL AUTHORITIES FOR THIS JOB.

ALL WORK SHALL COMPLY WITH THE STATE AND LOCAL FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, AND THE BEST TRADE PRACTICES.

ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTOR SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR REVIEW AND APPROVAL.

CONTRACTOR SHALL REVIEW AND DIRECT ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND SPECIFICATIONS TO ASCERTAIN THE SCOPE OF WORK FOR EACH TRADE PRIOR TO BID. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DRAWINGS AND SPECIFICATIONS. DO NOT SCALE DRAWINGS.

ALL CONTRACTORS SHALL PURCHASE AND CONTINUOUSLY MAINTAIN IN FULL FORCE AND EFFECT BOTH WORKER'S COMPENSATION AND CONTRACTOR GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE PROJECT.

NO SUBSTITUTIONS OF SPECIFIED MATERIALS NOR EQUIPMENT WILL BE ACCEPTED UNLESS APPROVED BY ARCHITECT IN WRITING.

ALL DIMENSIONS ARE FRAMING, UNLESS OTHERWISE NOTED.

ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL PROVIDE FOR THE LOCAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS FROM THE BUILDING AND THE SITE THAT IS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT.

ALL CONSTRUCTION INDICATED SHALL BE NEW, UNLESS OTHERWISE NOTED.

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL AND TELEPHONE ITEMS (INCLUDING PIPING, DUCTWORK, LIGHTING AND/OR CONDUIT) AND, THAT ALL REQUIRED CLEARANCES OR INSTALLATIONS FOR ABOVE-MENTIONED EQUIPMENT ARE PROVIDED. CONSTRUCTION SHALL BE PERFORMED PRIOR TO CONSTRUCTION.

THE CONTRACTOR'S FAILURE TO REPORT TO THE ARCHITECT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS WILL NOT BE GROUNDS FOR ADDITIONAL COSTS NOR CHANGE ORDERS.

1 DETAIL NAME
SCALE

100 DOOR TAG

A WINDOW TAG

ELEVATION

W2 WALL/PARTITION TAG

1
A3-01 BUILDING SECTION

3
6 4 A3-02 INTERIOR ELEVATIONS

CONCRETE		WOOD BLOCKING OR SHIMS	
SAND FILL		RIGID INSULATION	
METALS		INSULATION	
FINISH WOOD		SEALANT	
WOOD SECTION		GYPSUM WALLBOARD	
PLYWOOD		CARPET	

AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GROUND
A/C	AIR CONDITIONING
B.O.	BOTTOM OF
BSMT	BASEMENT
CFM	CUBIC FEET PER MINUTE
CL	CENTER LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DW	DISHWASHER
EL	ELEVATION
EXT	EXTERIOR
EXT'G	EXISTING
FDN	FOUNDATION
FF	FINISHED FLOOR
FL	FLOOR
FTG	FOOTING
GC	GENERAL CONTRACTOR
GWB	GYPSON WALL BOARD
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
INT	INTERIOR
MR	MOISTURE RESISTANT
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
P.E.	PRE-ENGINEERED
PLAM	PLASTIC LAMINATE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
R	RISER; RADIUS
RO	ROUGH OPENING
SC	SOLID CORE
SF	SQUARE FOOT
SQ	SQUARE
SS	STAINLESS STEEL
T	TREAD
TBD	TO BE DETERMINED
TBS	TO BE SELECTED
TO	TOP OF
TTW	TO THE WEATHER
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

OWNER:
VANA CARMONA
99 CAPSIC ST.
PORTLAND, ME 04102
207-420-6962

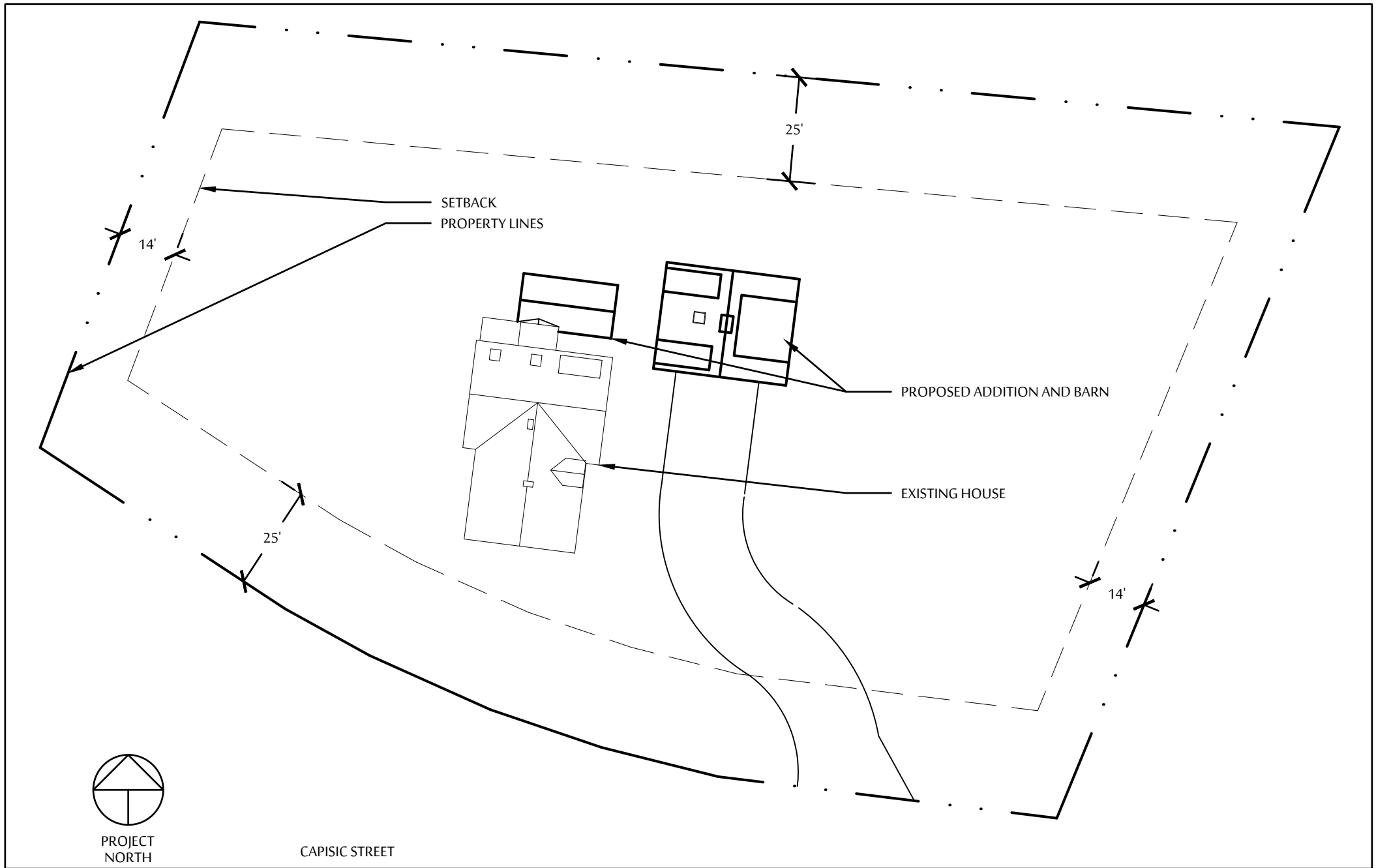
ARCHITECT:
MARGARET INNES,
MAINE LICENSED ARCHITECT
STUDIO E, INC.
P.O. BOX 1385
WESTBROOK, ME 04092
860-874-1033

STRUCTURAL ENGINEER:
AARON JONES, PE,
STRUCTURAL INTEGRITY
46 FOREST AVE.
PORTLAND, ME 04101
207-774-4614

PROJECT DESCRIPTION:
CONSTRUCTION OF A NEW BARN THAT WILL
FUNCTION AS CAR STORAGE ON THE 1ST FLOOR
AND LIVING SPACE ON THE 2ND FLOOR THAT
SHALL INCLUDE (1) FULL BATH AND AN OPEN PLAN
KITCHEN/STUDIO

SHEET NUMBER	SHEET DESCRIPTION	DATE ISSUED:			
		05-10-2022 ISSUED FOR REVIEW	05-10-2022 ISSUED FOR REVIEW	10-19-2022 ISSUED FOR REVIEW	10-19-2022 ISSUED FOR REVIEW
G1-01	COVER SHEET	●	●	●	
A1-00	FOUNDATION PLAN	●	●	●	
A1-01	1ST FLOOR PLAN	●	●	●	
A1-02	2ND FLOOR PLAN	●	●	●	
A1-03	ROOF PLAN	●	●	●	
A2-00	ELEVATIONS - SOUTH & EAST BARN	●	●	●	
A2-01	ELEVATIONS - EAST & NORTH	●	●	●	
A2-02	ELEVATIONS - WEST, WEST BARN AND SOUTH ADDITION ONLY	●	●	●	
A5-01	DETAILS	○	○	●	
A6-01	SCHEDULES	●	●	●	

LEGEND: ○ - NOT ISSUED ⊗ - OUTDATED ● - ISSUED



1 SITE PLAN
SCALE: 1:30

ZONING:
ZONE = RESIDENTIAL 3; SETBACKS SHOWN ABOVE; FRONTAGE 50 FEET MINIMUM; MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES AND ADDITIONS 35 FEET
INDIVIDUALLY DESIGNATED LANDMARK PROPERTY: MARGUERITE EMERSON HOUSE

ISSUED FOR HP BOARD REVIEW
NOT FOR CONSTRUCTION

COVER SHEET

CARMONA BARN

99 CAPIRIC STREET, PORTLAND, ME

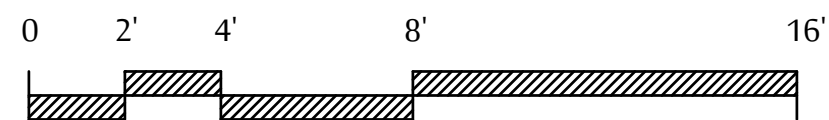
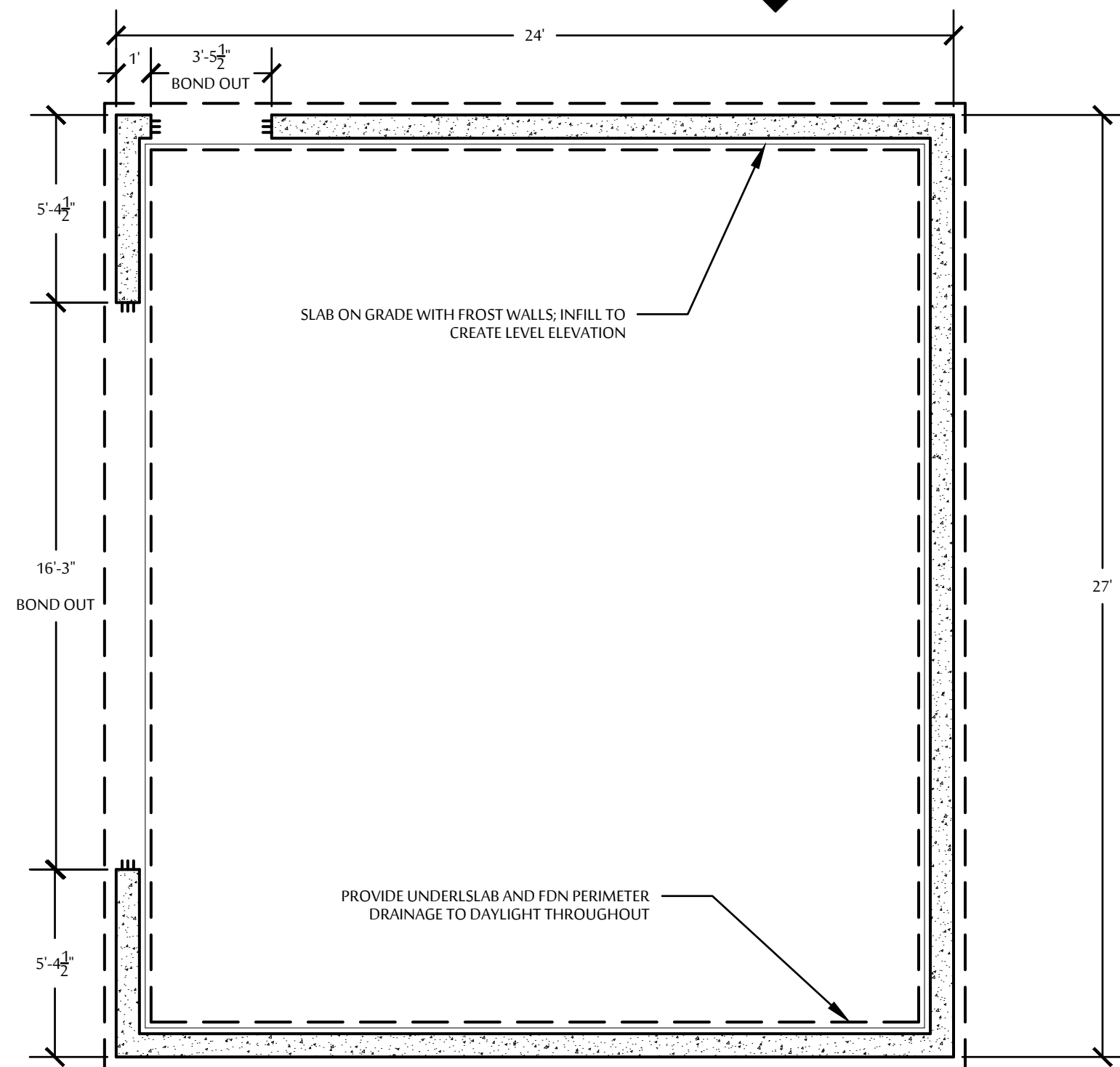
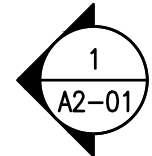
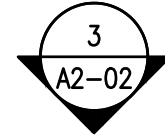
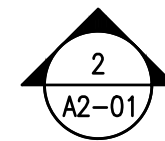
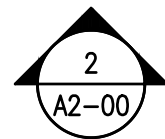
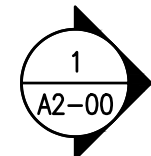
G1-01



1

FOUNDATION PLAN

1/4" = 1'-0"



PROVIDE UNDERSLAB AND FDN PERIMETER DRAINAGE TO DAYLIGHT THROUGHOUT

1ST FLOOR FRAMING: WIDE PINE FLOORING ON 2" ADVANTECH SUBFLOOR ON 2X8 FLOOR JOISTS @ 16" O.C.; BOLT 2X8 RIM JOISTS TO CONCRETE FDN WALLS AND USE SIMPSON METAL JOIST HANGERS AT SHARED WALL AND BEAR JOISTS ON FDN WALL AT OTHER PLACES

FDN WALL ASSEMBLY: 16" X 8" FOOTING W/ (2) #4 CONT. 8" WALLS W/ #4 HOOKED DOWEL @ 32" O.C.; 4" HORIZ @ 16" O.C. AND #4 VERT. 24" O.C.; 2" RIGID INSULATION FOR R-10; PROVIDE UNDERSLAB R-10 INSULATION AT GRADE

COVER ALL EXPOSED EARTH WITH CONTINUOUS CLASS 1 VAPOR RETARDER; EXTEND 6" OR MORE UP THE STEM WALL; ATTACH AND SEAL TO STEM WALL OR INSULATION

PROVIDE 18" X 24" ACCESS TO UNDER-FLOOR SPACE EXISTING FDN WALL; CONTRACTOR TO LOCATE WHERE MOST CONVENIENT

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FOUNDATION

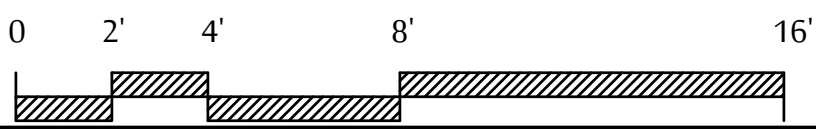
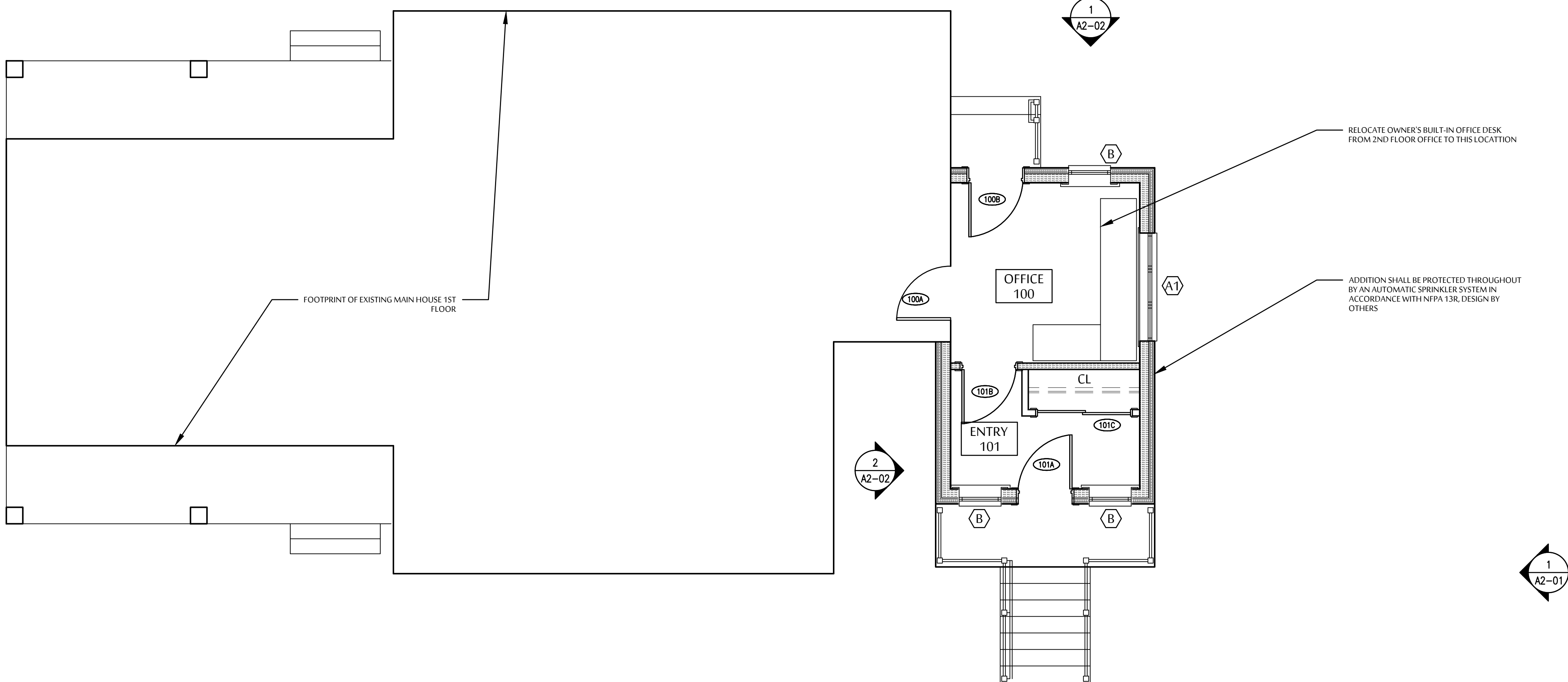
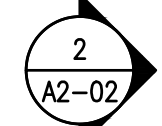
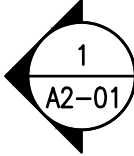
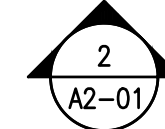
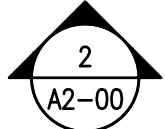
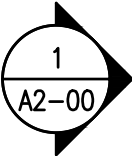
CARMONA BARN

A1-00

99 CAPISIC STREET, PORTLAND, ME



1 FIRST FLOOR PLAN
3/4" = 1'-0"

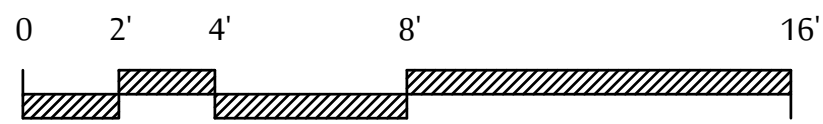
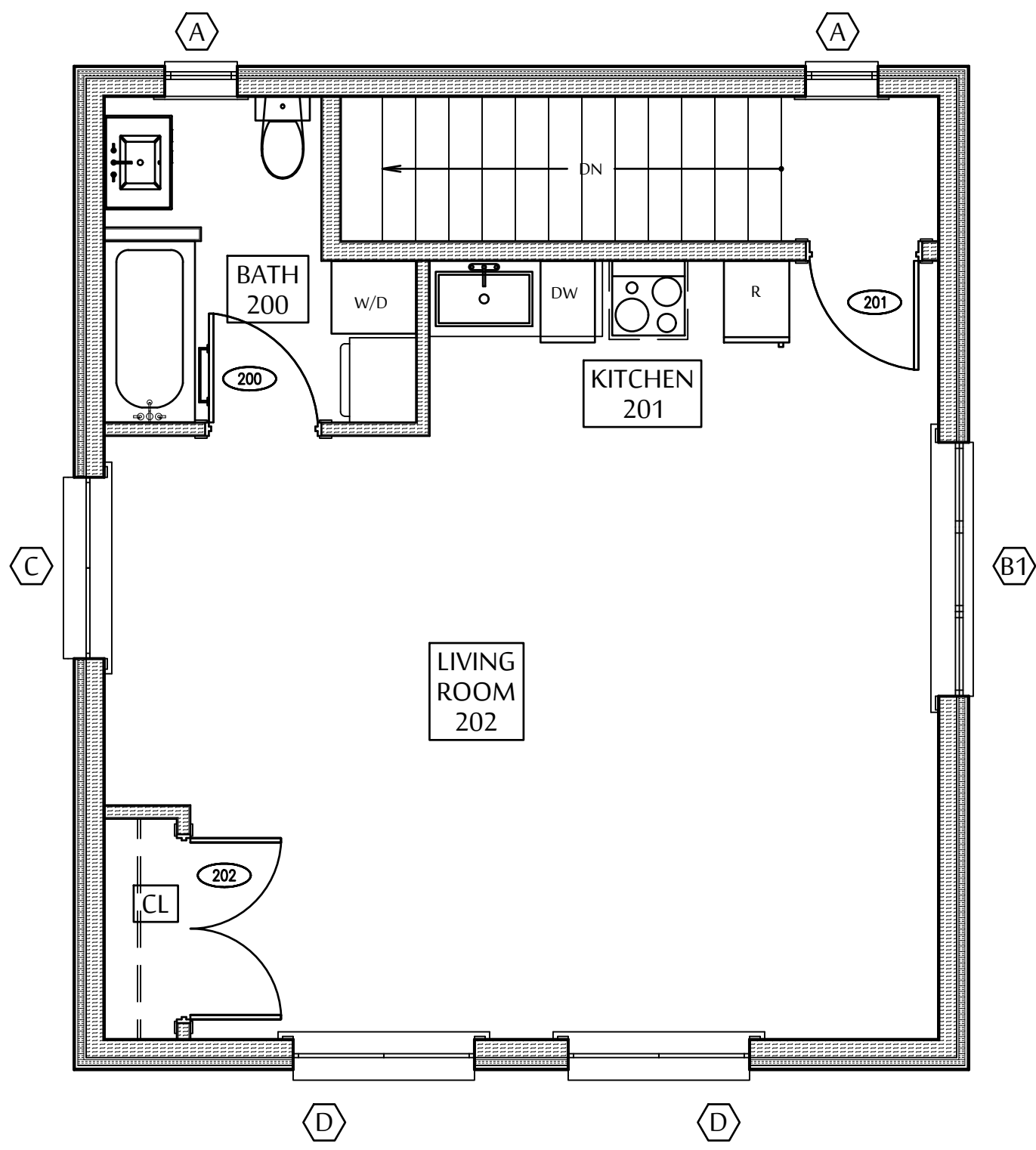
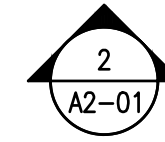
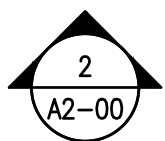
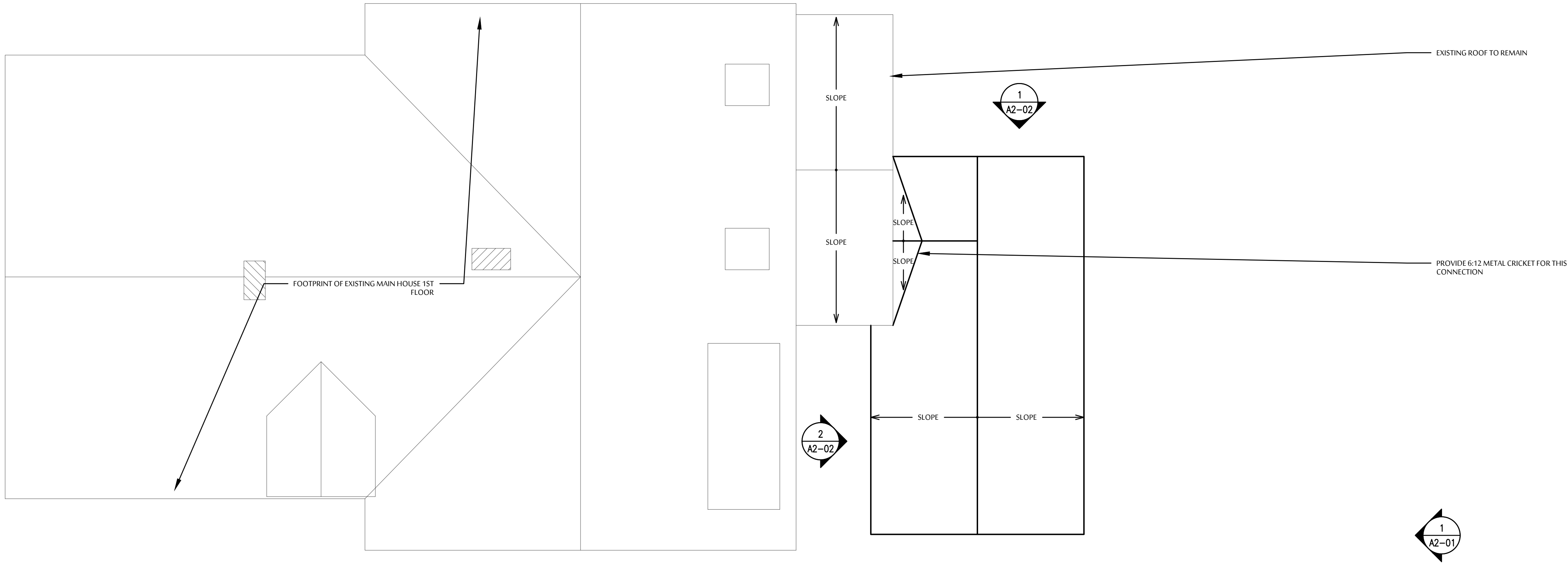


A1-01	1ST FLOOR	ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION	99 CAPIRIC STREET, PORTLAND, ME	OCTOBER 19, 2022	STUDIO E ARCHITECTS 850-874-1033 PORTLAND, ME 04103
	CARMONA BARN				

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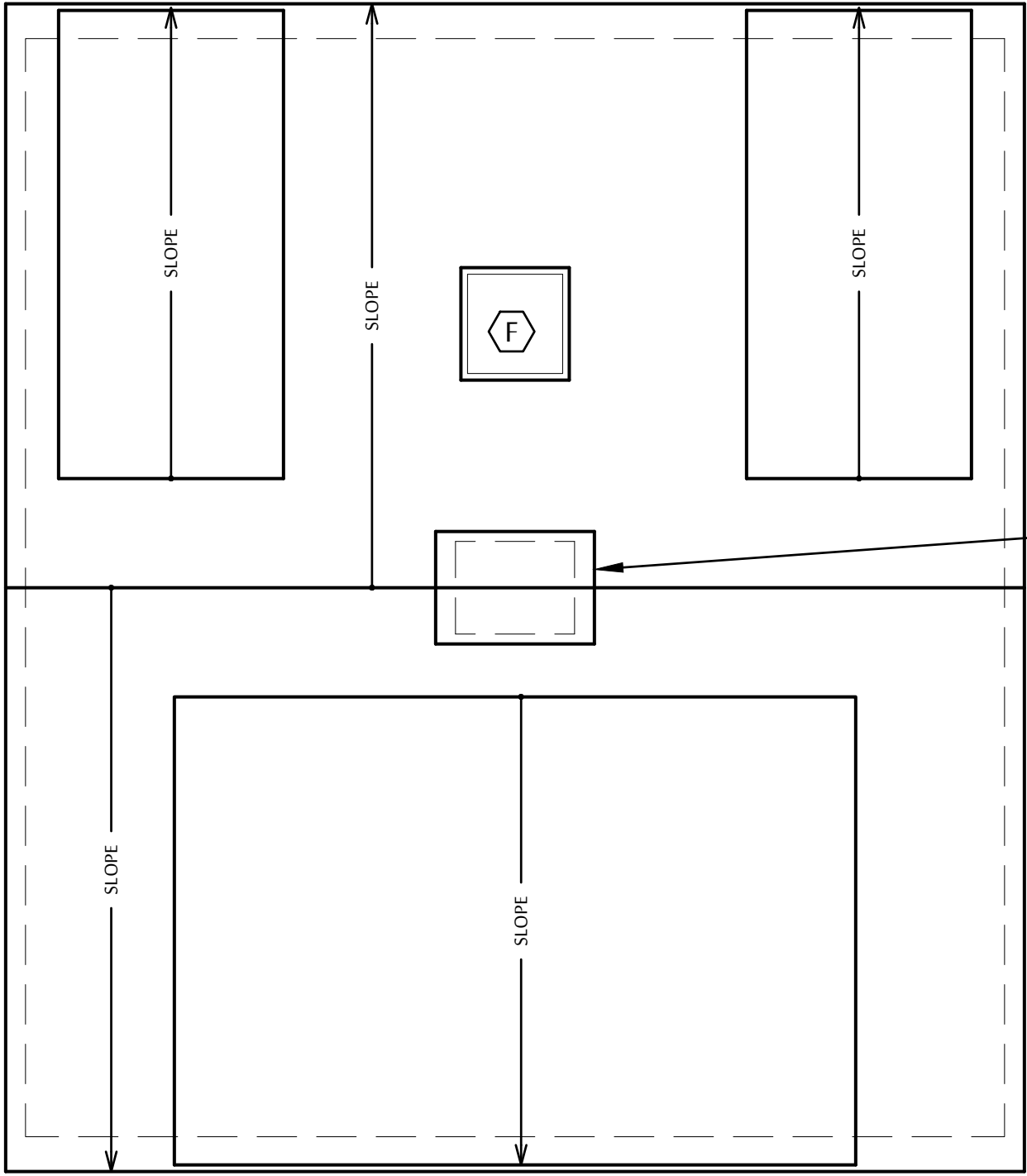
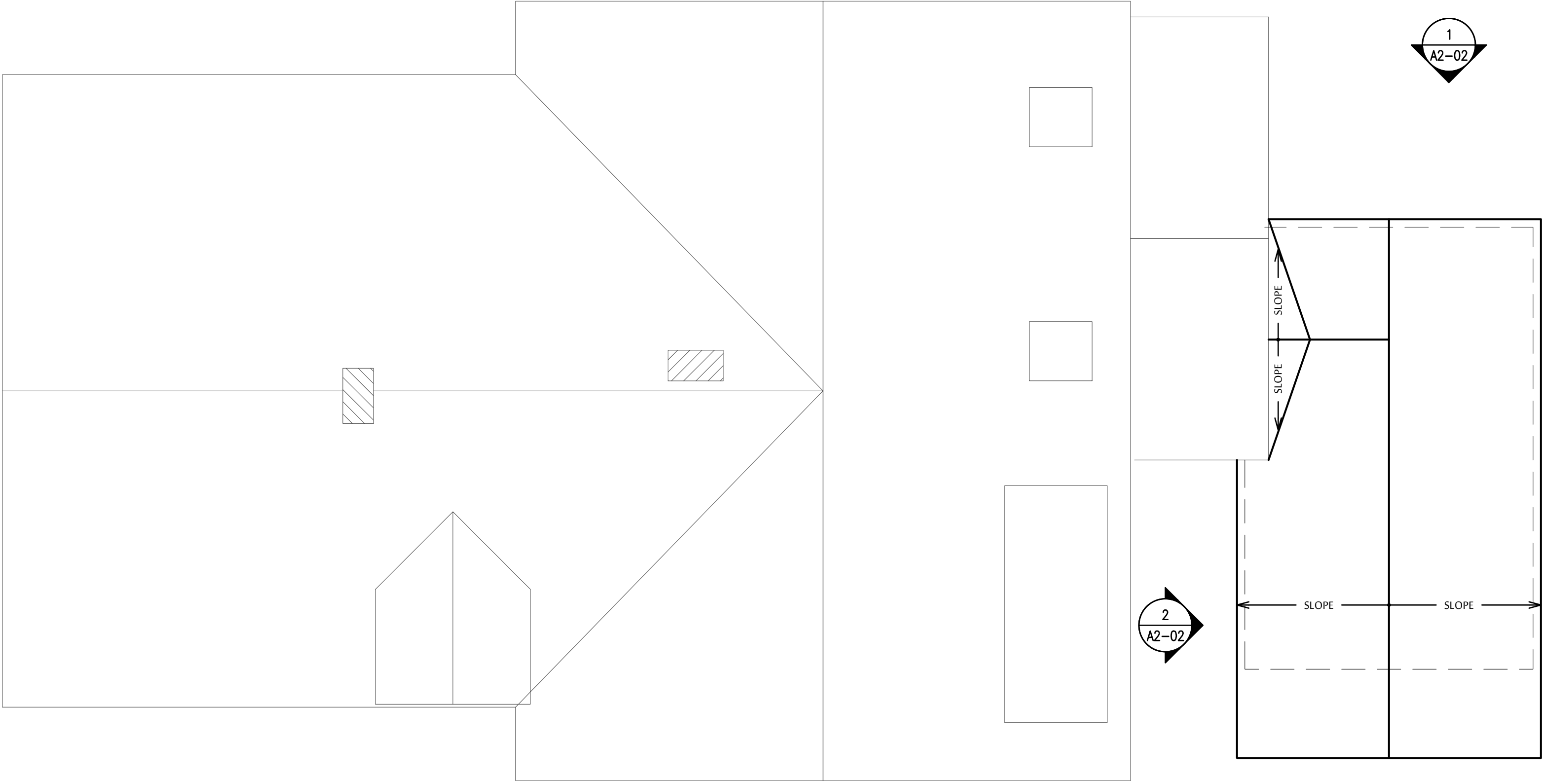
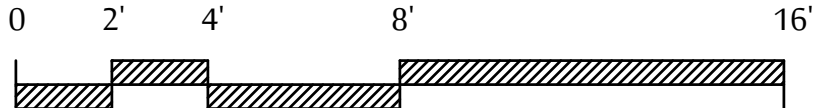
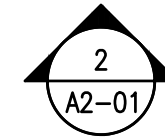
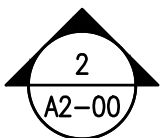
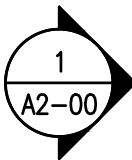
1 SECOND FLOOR PLAN
3/4" = 1'-0"



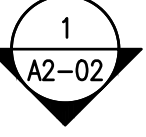
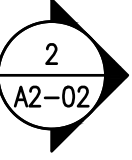
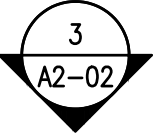
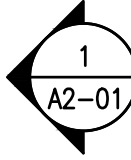
E2- Copyright 2022 STUDIO E				
A1-02	2ND FLOOR	ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION	OCTOBER 19, 2022	STUDIO E P O B O X 1 3 8 5 WESTBROOK, ME 04098 8 6 0 - 8 7 4 - 1 0 3 3
	CARMONA BARN			
99 CAPISIC STREET, PORTLAND, ME				



1 ROOF PLAN
1/4" = 1'-0"



INSTALL SALVAGED CUPOLA PROVIDED BY OWNER

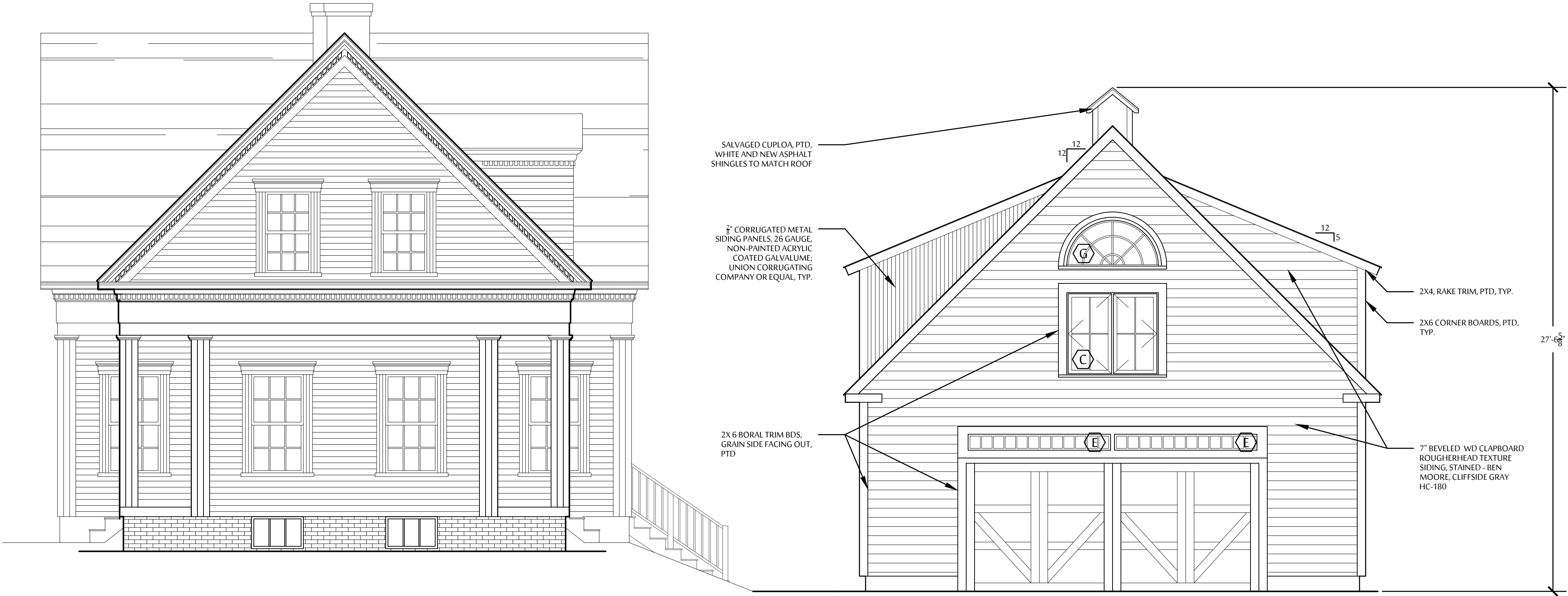


A1-03	ROOF PLAN	ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION	99 CAPISIC STREET, PORTLAND, ME	OCTOBER 19, 2022	STUDIO E ARCHITECTS 1335 WILSON AVENUE PORTLAND, ME 04103 850-874-1033

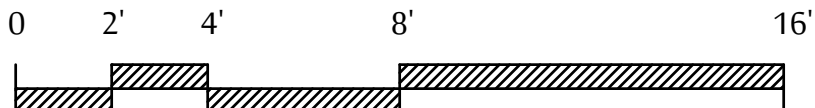
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2 EAST ELEVATION (BARN SIDE)
3/4" = 1'-0"



1 SOUTH ELEVATION
3/4" = 1'-0"

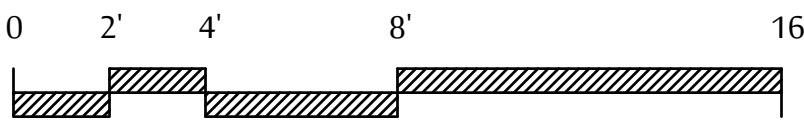
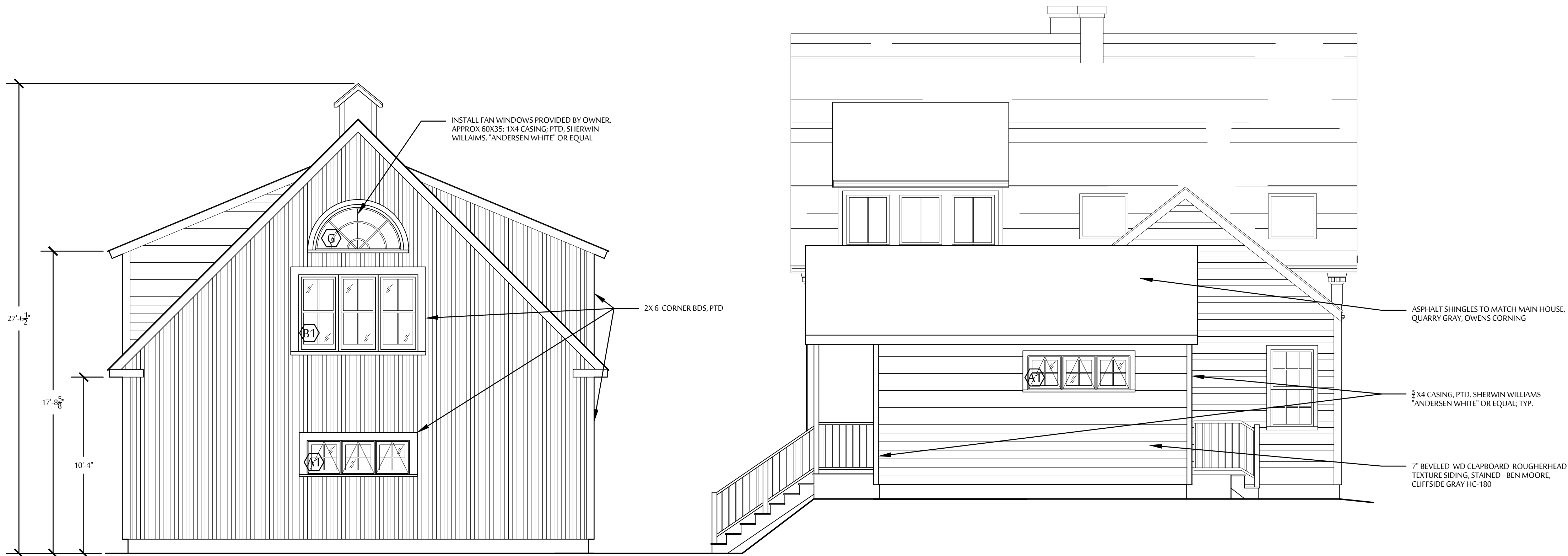


A2-00	EXTERIOR ELEVATIONS: SOUTH		ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION	OCTOBER 19, 2022	STUDIO E P. O. B. O. X. 1 3 2 8 5 WESTBROOK, ME 04098 9 0 6 - 6 7 4 - 1 0 3 3
	CARMONA BARN				
	99 CAPISIC STREET, PORTLAND, ME				

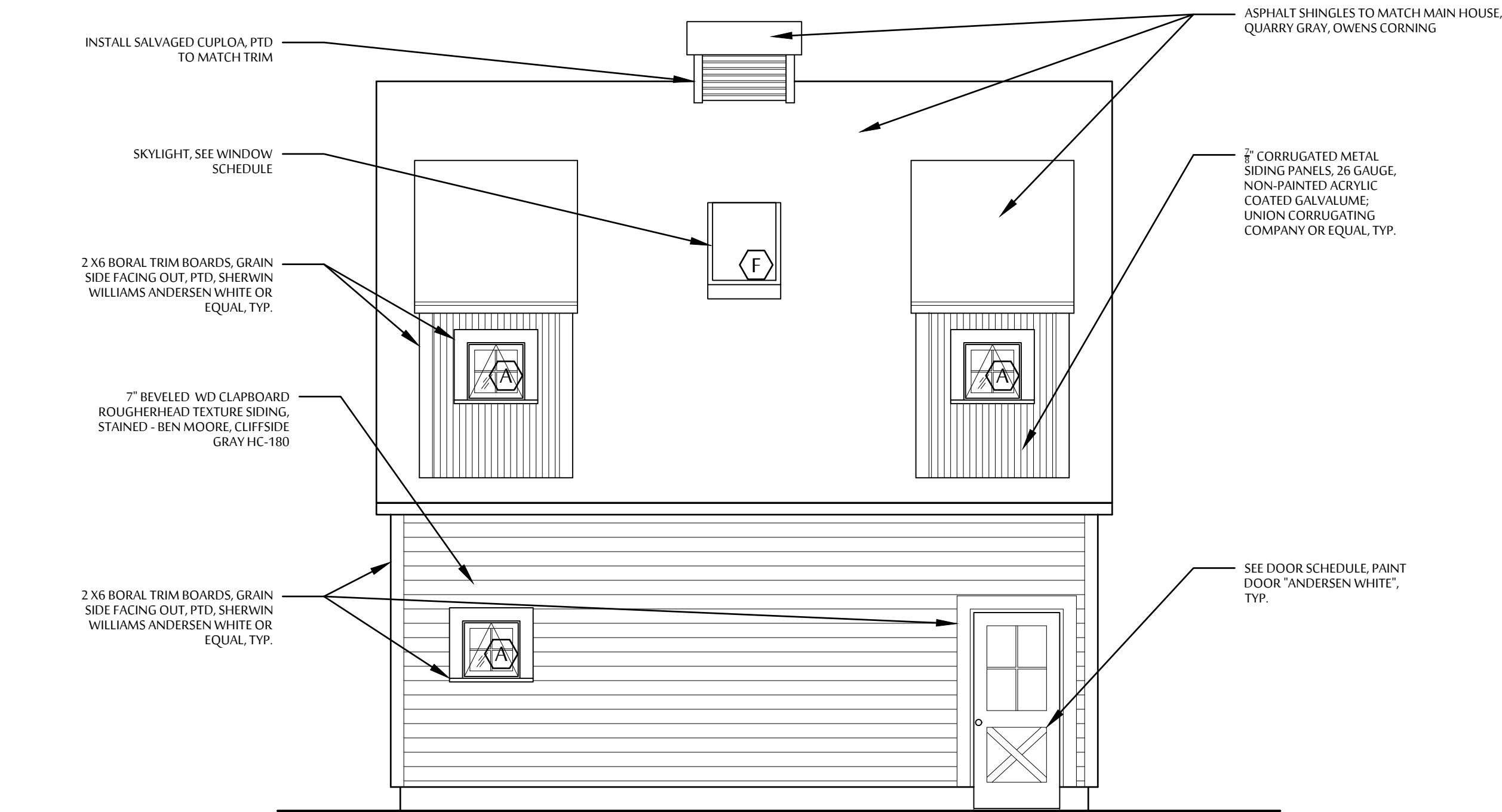
2 EAST ELEVATION (BETWEEN BARN AND HOUSE)
1/4" = 1'-0"



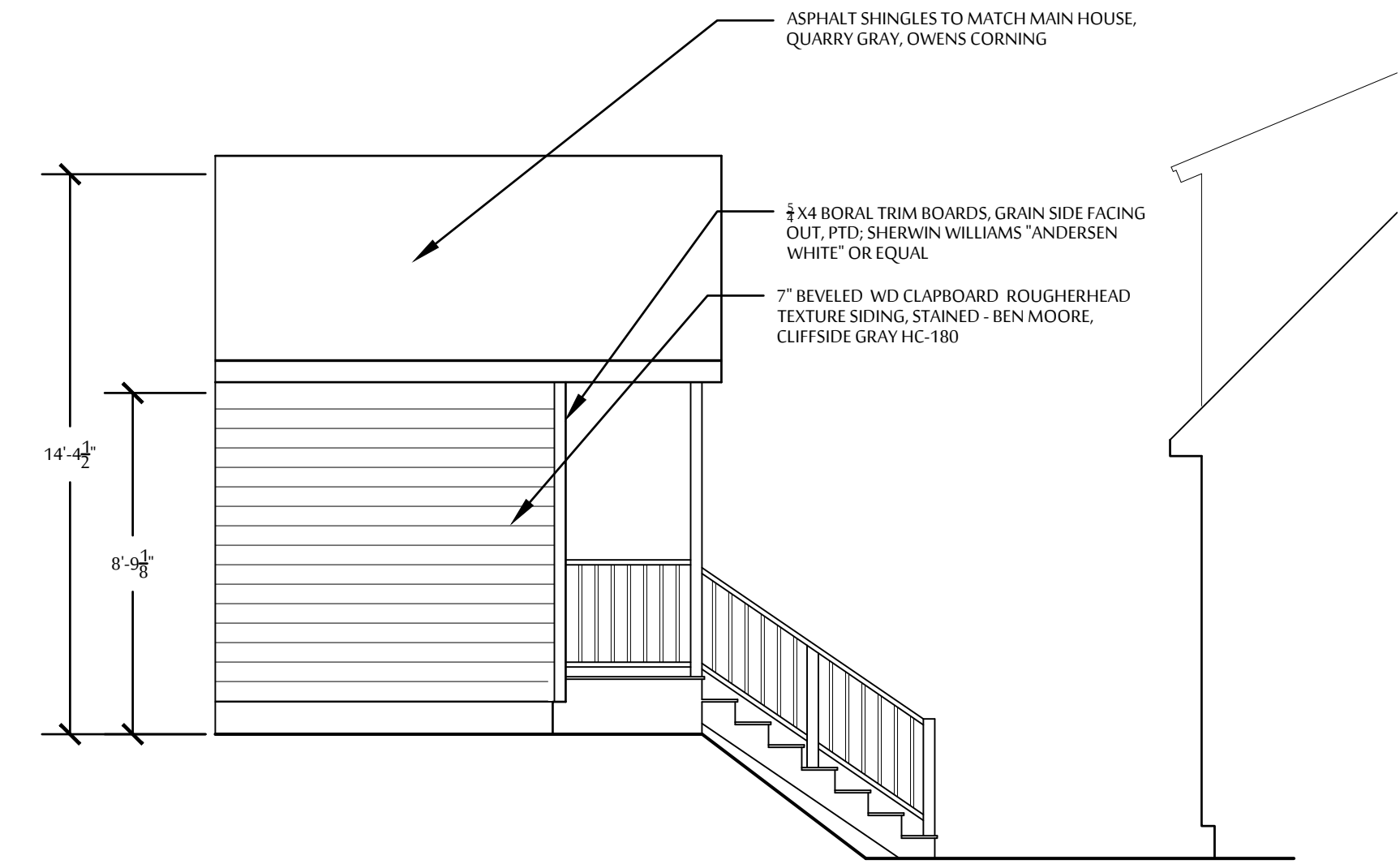
1 NORTH ELEVATION
1/4" = 1'-0"



A2-01		EXTERIOR ELEVATIONS: EAST & WEST		ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION		STUDIO E P. O. B O X. 1 2 8 5 WESTBROOK, ME 04098 6 0 3 - 6 7 4 - 1 2 8 5	
		CARMONA BARN		99 CAPISEC STREET, PORTLAND, ME			



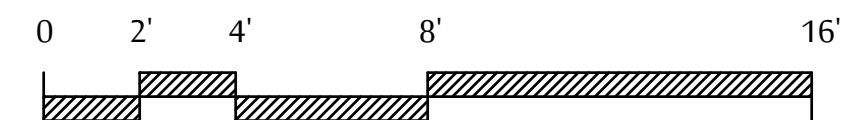
3 WEST ELEVATION (BARN ONLY)
 $\frac{3}{4}" = 1'-0"$



2 SOUTH ELEVATION (ADDITION ONLY)
 $\frac{3}{4}" = 1'-0"$

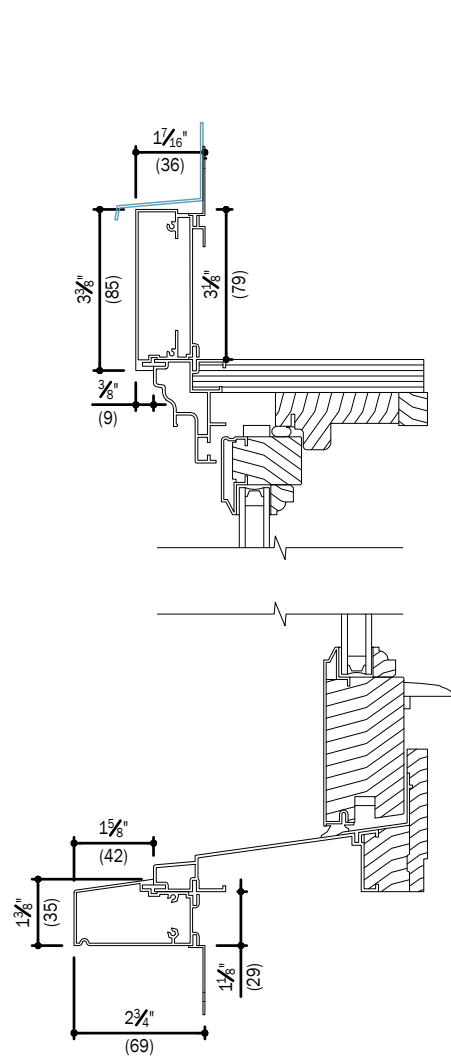


1 WEST ELEVATION
 $\frac{3}{4}" = 1'-0"$

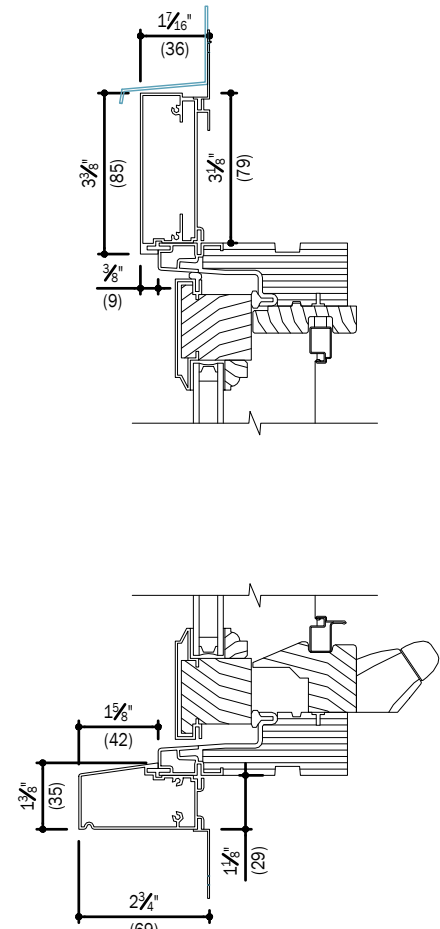


A2-02	EXTERIOR ELEVATIONS: NORTH	ISSUED FOR HP BOARD REVIEW NOT FOR CONSTRUCTION	STUDIO E P. O. B. O. X. 1385 WESTBROOK, ME 04098 860-874-1033
	CARMONA BARN		
	99 CAPISIC STREET, PORTLAND, ME	OCTOBER 19, 2022	

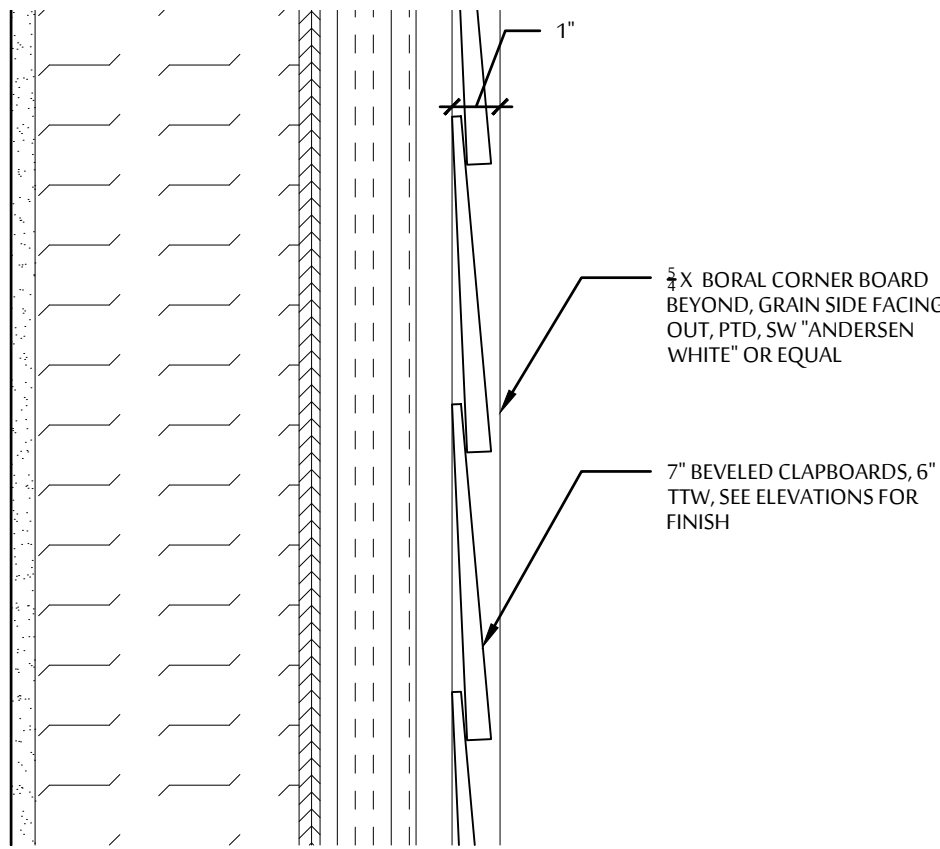
4 BACK HOUSE DOUBLE HUNG WINDOW SILL DETAIL AND 3 1/2" FLAT CASING DETAIL
3" = 1'-0"



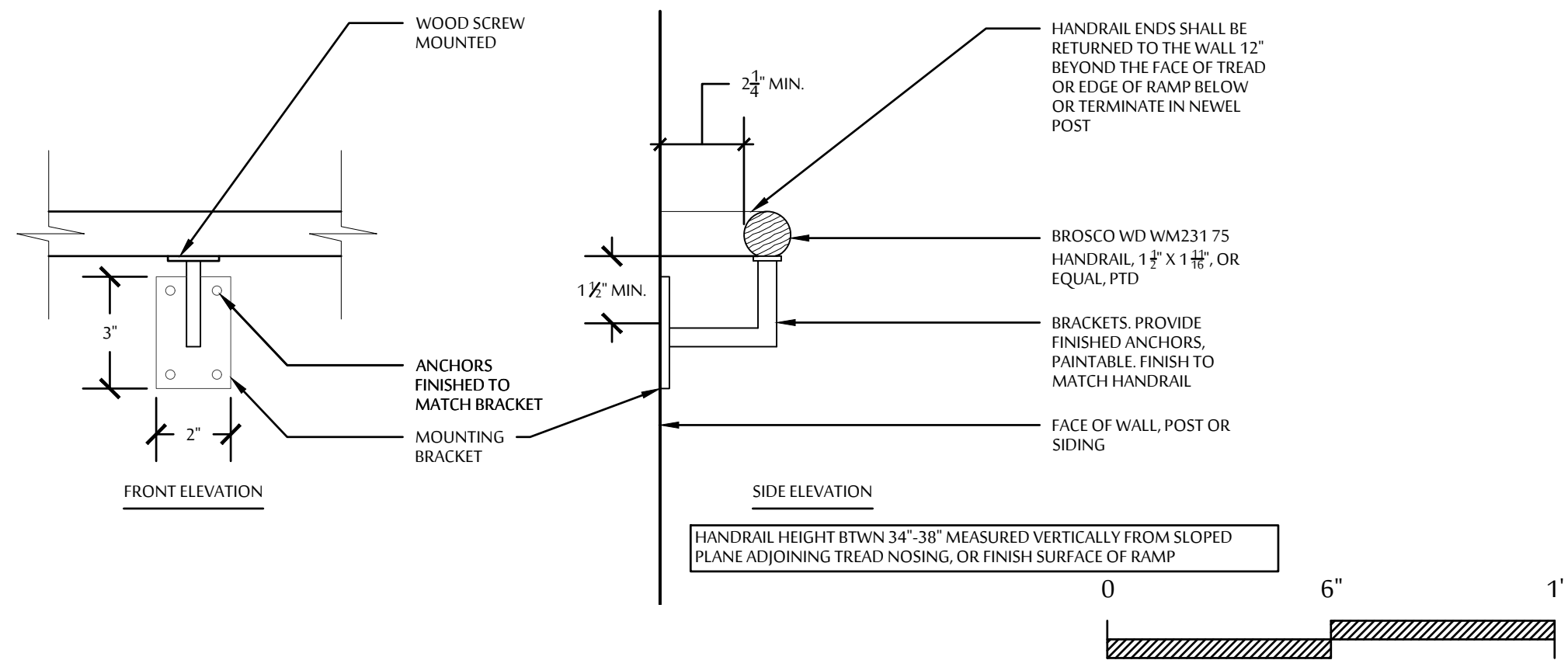
3 BACK HOUSE AWNING WINDOW SILL DETAIL AND 3 1/2" FLAT CASING DETAIL
3" = 1'-0"



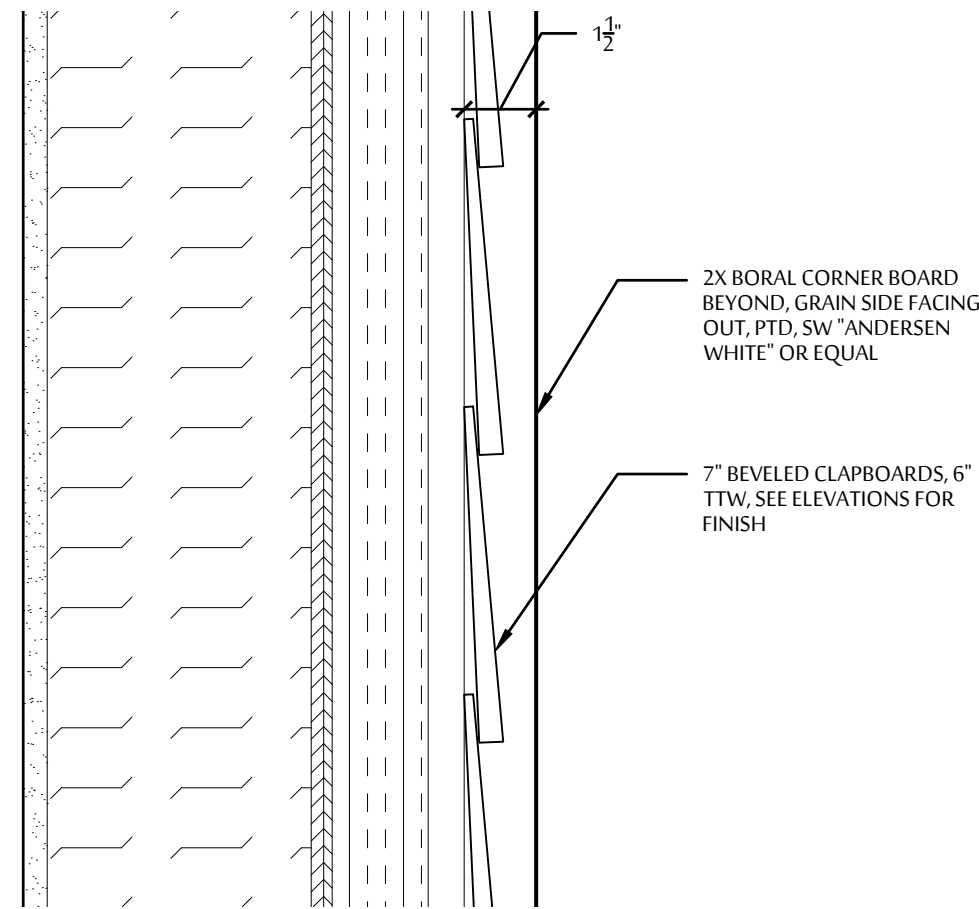
2 BEVELED SIDING DETAIL AT CORNER BOARD AT BACK HOUSE
3" = 1'-0"



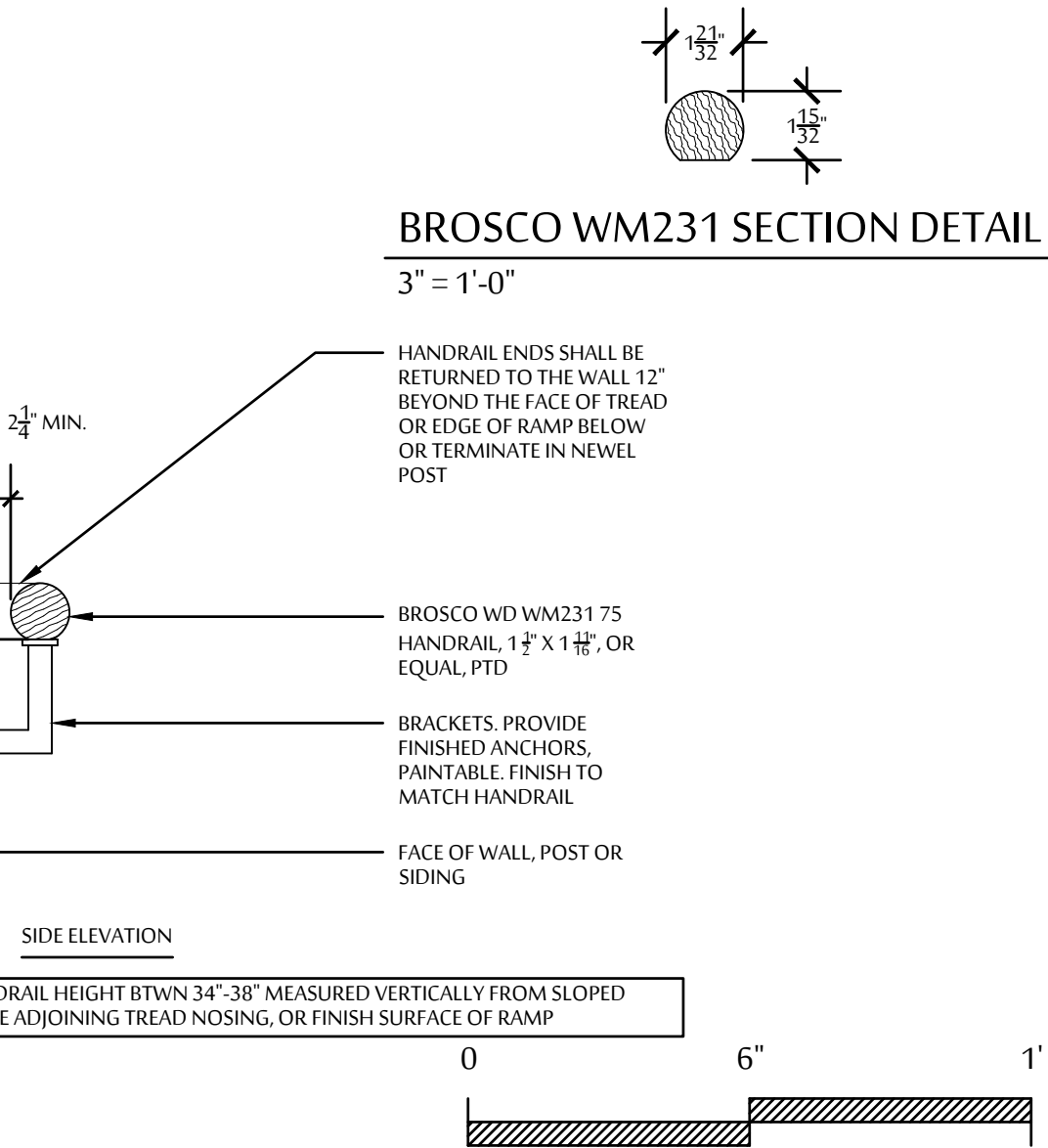
1 HANDRAIL MOUNTING DETAILS
3" = 1'-0"



6 BEVELED SIDING DETAIL AT CORNER BOARD
3" = 1'-0"



5 CORRUGATED METAL SIDING DETAIL @ CORNER BOARD
3" = 1'-0"



8 ASPHALT SHINGLE COLOR
NTS



ROOF COLORS: QUARRY GRAY, OWENS CORNING

7 SIDING COLOR DETAIL
NTS



COLOR SAMPLE OF WOOD SIDING: BEN MOORE, CLIFFSIDE GRAY

DETAILS

A5-00

CARMONA BARN

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DOOR SCHEDULE

NO.	LOCATION	MANUFACTURER	MODEL/ID	DOOR TYPE	FRAME TYPE	DOOR FINISH	RATING	ROUGH OPENING		DOOR SIZE			CLOSER	HARDWARE SET	ELECTRIC FUNTION	NOTES
								WIDTH	HEIGHT	WIDTH	HEIGHT	THICKNESS				
100A	OFFICE	SIMPSON	F-744	4-PANEL	WOOD	PAINTED	-	38.5"	80"	36"	80"	1-3/8"	-	PASSAGE	N/A	
100B	OFFICE	SALVAGED	EXISTING	DUTCH	WOOD	PAINTED	-	V.I.F.	V.I.F.	36"	80"	1-3/4"	-	EXISTING	N/A	G.C. TO INSTALL DOOR AND PROVIDE FRAME FOR OWNER-RESTORED DUTCH DOOR
101A	ENTRY	SALVAGED	-	-	WOOD	PAINTED	-	38.5"	80"	36"	80"	1-3/4"	-	EXISTING	N/A	SALVAGE EXISTING BACK KITCHEN DOOR AND FRAME AND REINSTALL AT ENTRY
101B	ENTRY	SIMPSON	F-744	4-PANEL	WOOD	PAINTED	-	38.5"	80"	36"	80"	1-3/8"	-	PASSAGE	N/A	
101C	CLOSET	SIMPSON	F-744	4-PANEL	WOOD	PAINTED	-	66.5"	80"	32"	80"	1-3/8"	-	CLOSET	N/A	PAIR OF SLIDING DOORS
102A	EXTERIOR	SIMPSON	F-418	1/2 VIEW; 4-LIGHT	WOOD	PAINTED	-	38.5"	80"	36"	80"	1-3/4"	-	ENTRANCE	N/A	SOLID BAR TRUE DIVIDED LIGHTS, 4 1/2" STYLES, SINGLE PANE GLASS, FIR
102B	HALL	SIMPSON	F-9344	4-PANEL	WOOD	PAINTED	20 MIN	38.5"	80"	36"	80"	1-3/8"	TYPE 1	ENTRANCE	N/A	
103A	GARAGE	OVERHEAD DOOR	304	SQUARED	STEEL	FACTORY WHITE	-	16'-3"	7'-1 1/2"	16'-0"	7'-0"	1-1/16"	-	-	GARAGE	CARRIAGE HOUSE COLLECTION, V-SHAPED OVERLAY, NO GLASS; R-10
200	BATH	SIMPSON	F-744	4-PANEL	WOOD	PAINTED	-	38.5"	80"	36"	80"	1-3/8"	-	PRIVACY	N/A	
201	KITCHEN	SIMPSON	F-9344	4-PANEL	WOOD	PAINTED	20 MIN	38.5"	80"	36"	80"	1-3/8"	TYPE 1	ENTRANCE	N/A	
202	LIVING ROOM CLOSET	SIMPSON	F-744	4-PANEL	WOOD	PAINTED	-	38.5"	80"	30"	80"	1-3/8"	-	CLOSET	N/A	PAIR OF CLOSET DOORS
NOTES FOR DOOR HARDWARE SETS																
GENERAL DESCRIPTION		SCHLAGE HARDWARE: ANDOVER KNOB WITH ADDISON TRIM; ANTIQUE BRASS; OR EQUAL*														
ENTRANCE:		SCHLAGE F51 AND 609 ADD; ANTIQUE BRASS; ALL DOORS TO BE KEYED ALIKE; OR EQUAL*														
PRIVACY:		SCHLAGE F40 AND 609 ADD, ANTIQUE BRASS; OR EQUAL*														
PASSAGE:		SCHLAGE F10 AND 609 ADD, ANTIQUE BRASS; OR EQUAL*														
CLOSET		RECESSEDPULLS, EMTEK, SATIN BRASS; EMTEK, 2213 US7, FRENCH ANTIQUE FINISH, OR EQUAL*														
		* ANY HARDWARE PROPOSED AS A SUBSTITUTION FOR "OR EQUAL" MUST BE APPROVED BY OWNER BEFORE PURCHASING														
CLOSERS																
TYPE 1		DORMA 8600 SERIES, SURFACE MOUNTED HYDRAULIC CLOSER														
ELECTRIC FUNCTION																
GARAGE DOOR		OVERHEAD DOOR, DESTINY 1500, MODEL 8060H-B; WITH BATTERY BACKUP; WITH ACCOMPANYING CAR OPENERS														
GENERAL DOOR NOTES																
1)	ALL DOORS SHALL BE PROVIDED WITH 3 HINGES (OTHER THAN GARAGE DOORS)															
2)	SEE FLOOR PLANS FOR HANDING															
3)	ALL EXTERIOR DOORS TO BE KEYED ALIKE															
4)	PROVIDE ALL DOORS WITH A WALL-BUMPER WHERE SWINGING INTO A WALL, OR FLOOR BUMPER WHERE A WALL BUMPER IS NOT POSSIBLE; PROVIDE IN-WALL BLOCKING BEHIND ALL WALL-BUMPERS															

WINDOW SCHEDULE

ID	MANUFACTURER	TYPE	MODEL	ROUGH OPENING		FRAME SIZE		ADDITIONAL DETAILS			
				WIDTH	HEIGHT	WIDTH	HEIGHT	U-FACTOR	SHGC	VLT	EGRESS
A	ANDERSEN	AWNING	AWN2020	2'-0 1/2"	2'-0 1/2"	2'-0"	2'-0"	0.3	0.26	0.72	NO
A1	ANDERSEN	AWNING	AWN2020 (3 WIDE)	6'-0 1/2"	2'-0 1/2"	6'-0"	2'-0 1/2"	0.3	0.26	0.72	NO
B	ANDERSEN	DOUBLE HUNG	DHG2446	2'-4 1/2"	4'-6 1/2"	2'-4"	4'-6"	0.3	0.27	0.72	NO
B1	ANDERSEN	DOUBLE HUNG	DHG2446 (3 WIDE)	7'-0 1/2"	4'-6 1/2"	7'-0"	4'-6 1/2"	0.3	0.27	0.72	NO
C	ANDERSEN	FRENCH CASEMENT (INSWING)	FCMT5040	5'-0 1/2"	4'-0 1/2"	5'-0"	4'-0"	0.3	0.26	0.72	YES
D	ANDERSEN	FRENCH CASEMENT (OUTSWING)	FCMT5046	5'-0 1/2"	4'-6 1/2"	5'-0"	4'-6"	0.3	0.26	0.72	YES
E	BROSCO	GARAGE TRANSOM	8'-0" (12-LIGHT)	8'-2"	1'-2"	8'-1 1/2"	1'-1 1/2"	-	-	0.74	NO
F	VELUX	SKYLIGHT	FS-M06	30-1/16"	45-3/4"	30-9/16"	46-1/4"	0.41	0.26	0.6	NO
G	EXISTING	FAN	SALVAGED	60 -1/2"	35 1/2"	60"	35"	-	-	-	NO
NOTES:											
1)	FOR ALL ANDERSEN WINDOWS:										
a)	E-SERIES; WHITE ALUMINUM EXTERIOR, PINE INTERIOR										
b)	SEE ELEVATIONS FOR 5/8" COLONIAL PROFILE, CLASSIC DIVIDED LIGHT (CDL) GRILL CONFIGURATIONS, WHITE SPACER										
c)	LOW-E4 2.2 mm (ANNEALED) DUAL PANE GLASS										
d)	PROVIDE FULL TRUSCENE INSECT SCREENS FOR ALL WINDOWS, MATCH COLOR OF FRAME										
e)	HARDWARE: 1) AWNING: STANDARD LOCK HANDLE & INSECT SCREEN PULL, ANTIQUE BRASS; 2) DOUBLE-HUNG SASH LOCK, ANTIQUE BRASS; 3) CASEMENTS: CRANK HANDLE & OPERATOR CASE AND SASH LOCKS IN ANTIQUE BRASS										
2)	EXTERIOR TRIM AT BACK HOUSE BUILDING (ONLY) - 3 1/2" FLAT CASING WITH 1 1/2" DEEP SILL NOSE, WHITE; SEE ELEVATIONS FOR WINDOW TRIM AT BARN										
3)	WHERE TOP OF OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" AFF OR GREATER THAN 72" ABOVE FINISHED GRADE THEN WINDOW SHALL HAVE A FALL PROTECTION THAT COMPLIES WITH IRC R312.2.1; PROVIDE ANDERSEN WINDOW OPENING CONTROL DEVICE KITS IN STONE										
4)	ALL BATHROOM WINDOWS MUST BE TEMPERED GLASS										
5)	SKYLIGHT: DECK-MOUNTED, FIXED; IMPACT GLAZING, PROVIDE VELUX FLASHING KIT FOR NO LEAK WARRANTY.										

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A6-01

SCHEDULES

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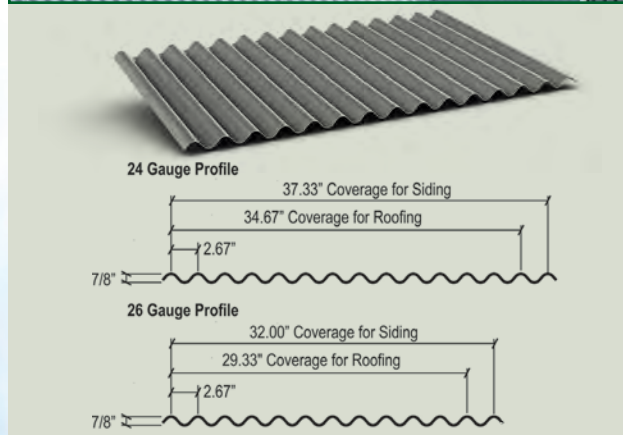
Page 23

7/8" Corrugated

Designed for commercial, industrial, residential, and steel-framed building applications, the 7/8" Corrugated Panel provides architects and designers a corrugated profile option which can be installed as both a roof and a wall panel. The 7/8" corrugation height creates the structural integrity required to allow installation over a solid substrate or open framing.

Substrates and Coatings:

- 26 or 24 (standard)
- 22 gauge (optional)
- Anti-corrosion AZ50 Galvalume® coating for painted and AZ55 for unpainted steel
- 26 ga available in Siliconized Modified Polyester Paint Systems
- 24 and 22 ga available in PVDF (Kynar 500 or Hylar 5000) Paint System Modified Polyester Paint Systems.



Union Rib

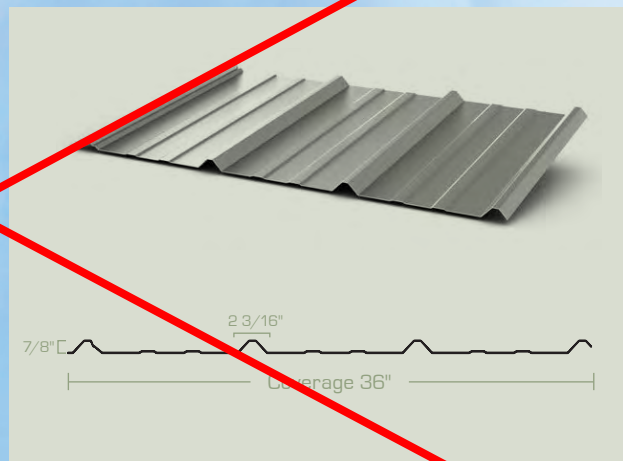
Union Rib is a low profile panel used for agricultural/residential applications only.

Specifications:

- 36" wide coverage.
- 7/8" high ribs spaced 12" on center.

Substrates and Coatings:

- 26 or 29 gauge.
- Painted grades and Galvalume®
- 45 year warranty.



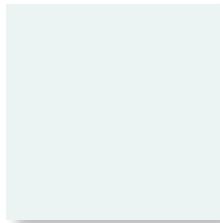
Union Rib is available pending location. Please work with your Union Representative for additional details



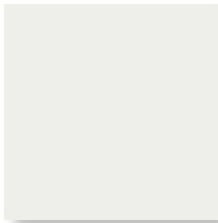
Your Roof. For Life!
On Time and Complete!™

Residential/Post Frame Color Chart

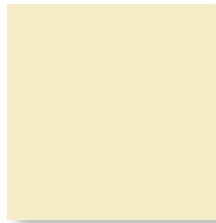
- SMP[✓] Paint System
- 29 & 26 Gauge Galvalume[®] Steel Substrate
- 45-Year Industry Leading, Written Warranty on Painted Products with No Coastal Set Back



Arctic White*
TSR[†] = 63%



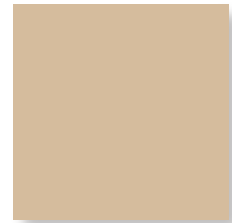
White
TSR = 46%



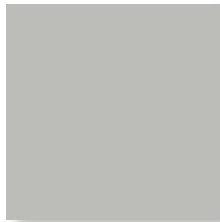
Ivory
TSR = 58%



Light Stone
TSR = 51%



Sahara Tan
TSR = 36%



Pearl Gray
TSR = 35%



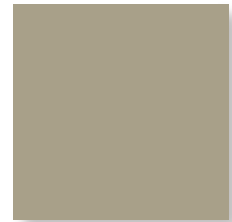
Cocoa Brown
TSR = 29%



Burnished Slate
TSR = 32%



Light Brown
TSR = 36%



Clay
TSR = 32%



Charcoal Gray
TSR = 31%



Black
TSR = 25%



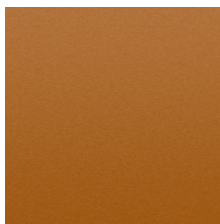
Patriot Red
TSR = 36%



Barn Red
TSR = 32%



Burgundy
TSR = 25%



Copper Metallic‡
TSR = 46%



Gallery Blue
TSR = 25%



Royal Blue
TSR = 31%



Evergreen
TSR = 26%



Marine Green
TSR = 30%

Non-Painted



Acrylic Coated Galvalume
TSR = 55%



Denotes Energy Star[™] certified high reflectance color which can reduce cooling costs.



Union utilizes the most advanced Siliconized Modified Polyester paint system in the industry, based on Akzo Nobel's Ceram-A-Star 1050 technology.

Note: Colors shown have been matched as accurately as possible to actual finish. For exact color match, please request a metal color sample. Availability of colors and materials is subject to change. Most panels are available in bare galvanized or bare galvalume.

† TSR = Total Solar Reflectance. An Energy Star[™] certified color must meet the following TSR requirements: 25% initial, 15% after 3 years of exposure testing.

‡ Premium color. To ensure proper color match, orders for metallic colors should be placed so that they come from the same batch.

Bevel Siding (Clapboard)



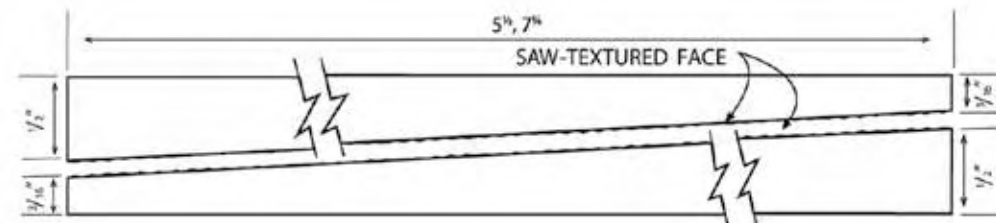
REVERSIBLE



PRIMED



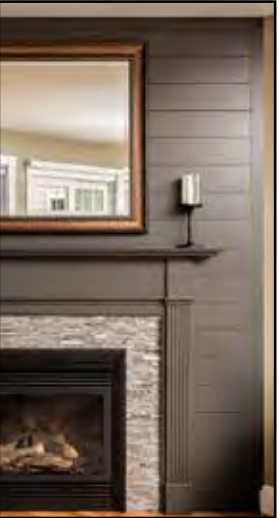
EASED EDGE



Textures



Textures





























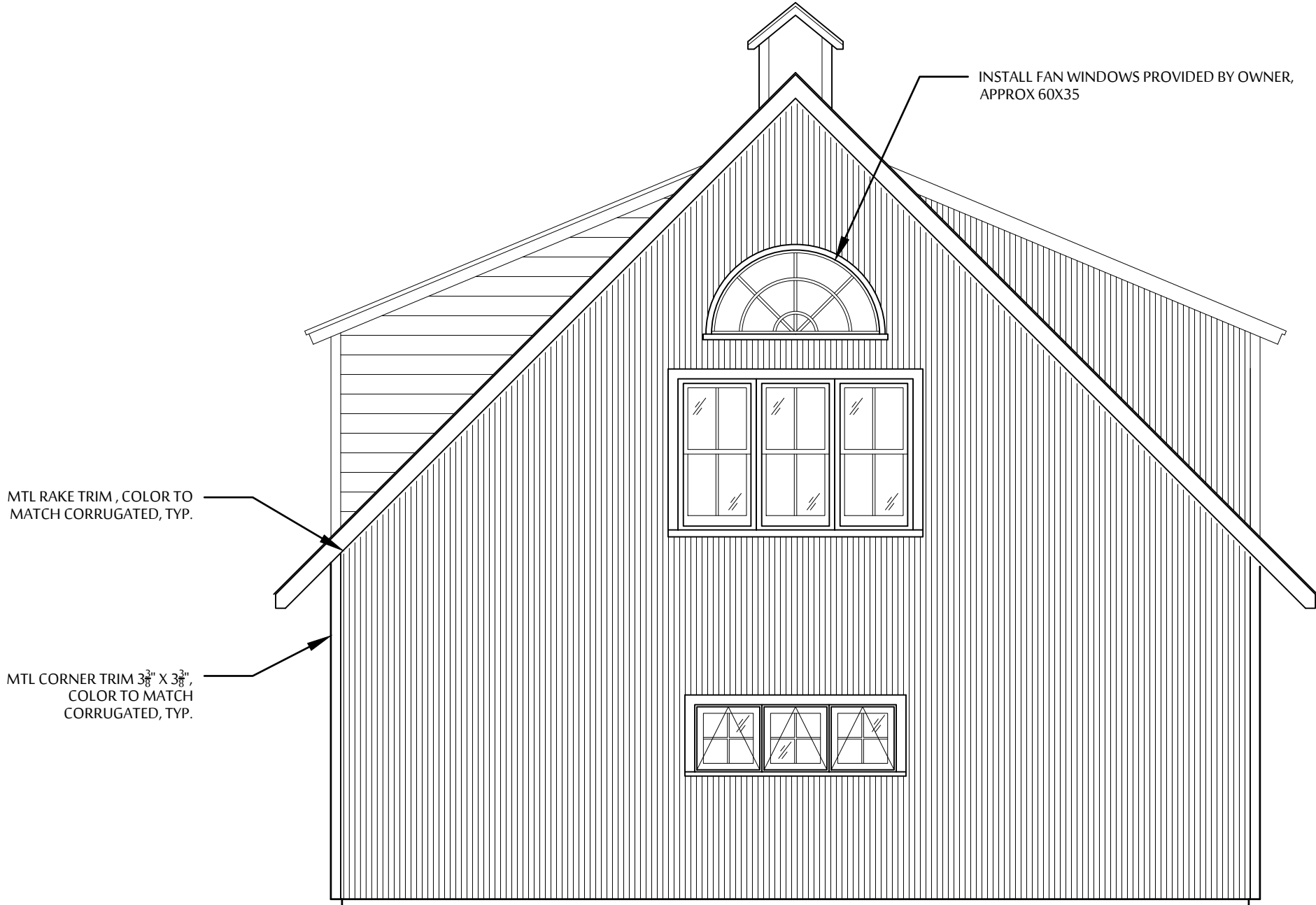
ROOF COLORS: QUARRY GRAY, OWENS CORNING



COLOR SAMPLE OF WOOD SIDING: BEN MOORE,CLIFFSIDE GRAY



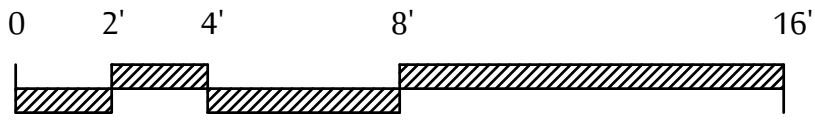
TEXTURE SAMPLE OF CLAPBOARDS



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



Att. 5

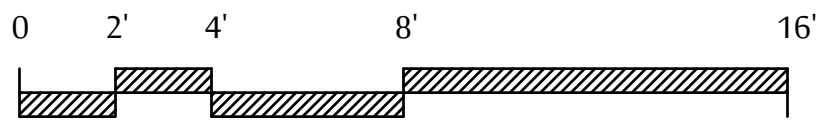
STUDIO E ARCHITECTS 860-874-1033 www.studioe.com		ISSUED FOR HP BOARD APPROVAL NOT FOR CONSTRUCTION		JULY 22, 2022	
A2-00		EXTERIOR ELEVATIONS: SOUTH		99 CAPISIC STREET, PORTLAND, ME	
				CARMONA BARN	

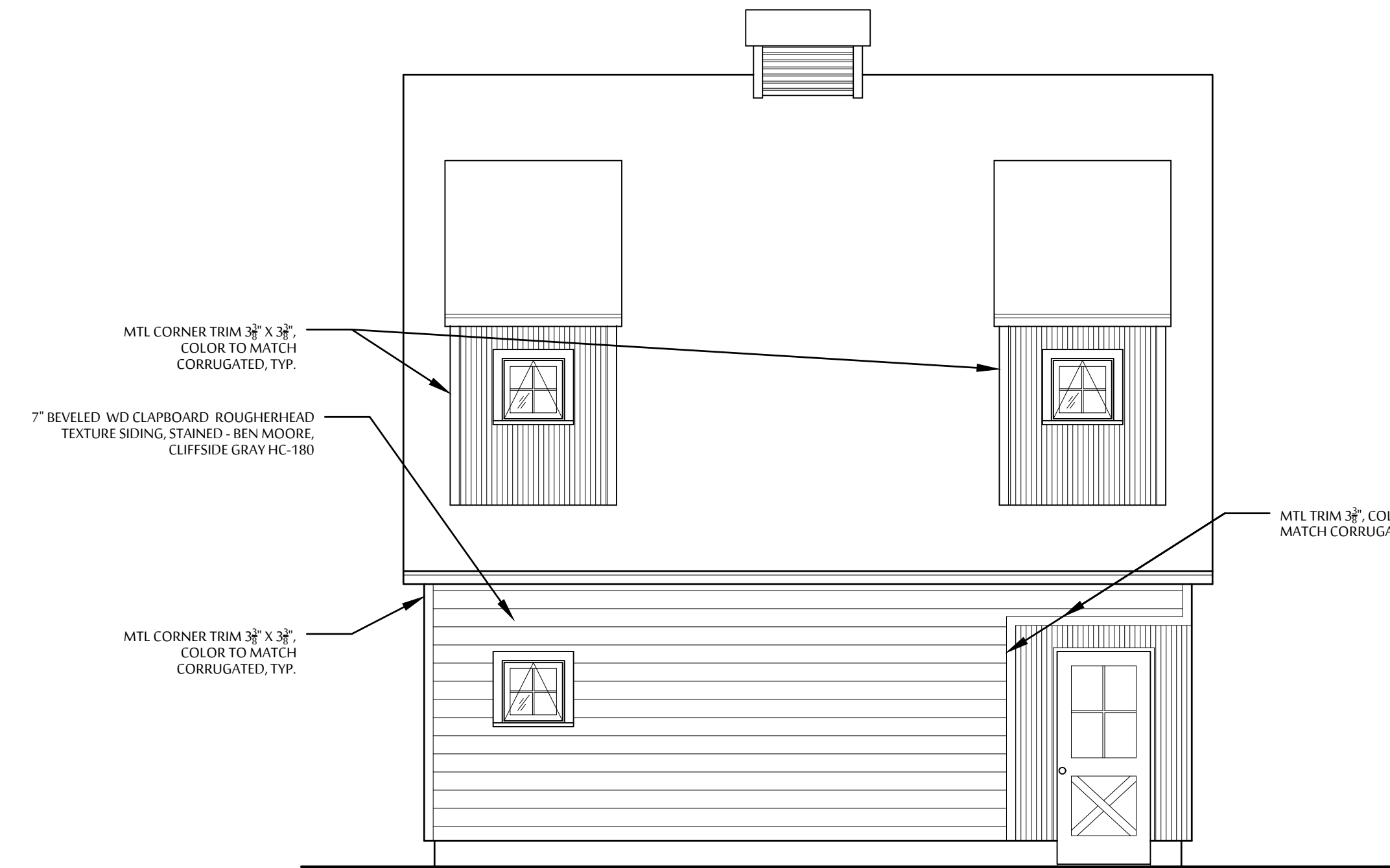


2 EAST ELEVATION (BETWEEN BARN AND HOUSE)
1/4" = 1'-0"

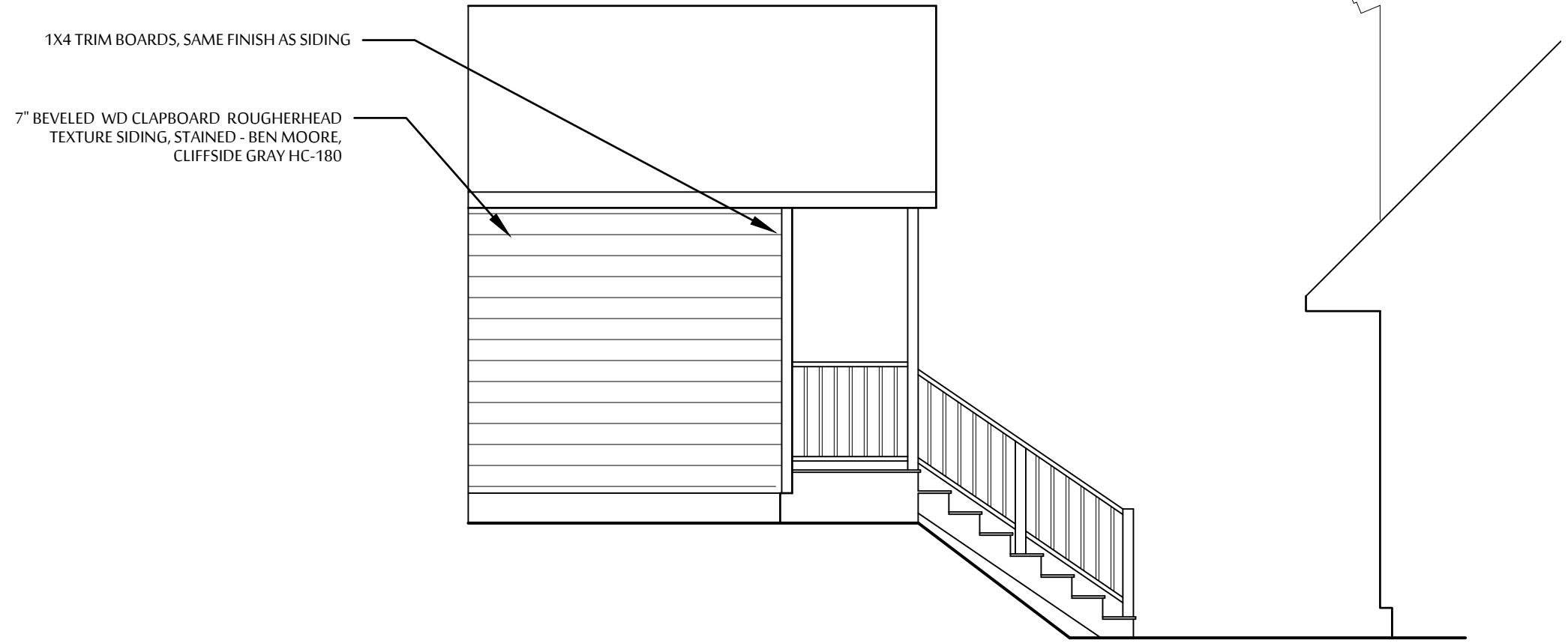


1 EAST ELEVATION (BARN SIDE)
1/4" = 1'-0"





3 WEST ELEVATION (BARN ONLY)
3/4" = 1'-0"



2 SOUTH ELEVATION (ADDITION ONLY)
3/4" = 1'-0"



1 WEST ELEVATION
3/4" = 1'-0"

E2-02		EXTERIOR ELEVATIONS: NORTH		ISSUED FOR HP BOARD APPROVAL NOT FOR CONSTRUCTION	JULY 22, 2022	STUDIO E P. O. B O X 1 3 8 5 WESTBROOK, ME 04098 6 0 3 - 6 7 4 - 1 0 3 3
CARMONA BARN		99 CAPISIC STREET, PORTLAND, ME				

Greater Portland Landmarks comment on 99 Capisic Street for 8/3 public hearing

Subscribe ☐

0 views

**Ian Stevenson** <istevenson@portlandlandmarks.org>

2:32 PM (2 hours ago)

to hp@portlandmaine.gov, Evan Schueckler, rwi...@portlandmaine.gov, Sarah Hansen

Dear HP Board:

Please find attached a letter with comments regarding 99 Capisic Street on the August 3, 2022 agenda (tomorrow).

Sincerely,

Ian

C. Ian Stevenson

Director of Advocacy

Greater Portland Landmarks

93 High Street, Portland, ME 04101

207.774.5561 | istevenson@portlandlandmarks.orgportlandlandmarks.orgFind us on [Facebook](#) and [Instagram](#)

August 1, 2022

Chair Pollard and members of the Historic Preservation Board:

Founded in 1964, Greater Portland Landmarks is a non-profit advocacy organization that works toward the preservation and revitalization of greater Portland's built environment. Our goal is to save greater Portland's historic places through preservation and adaptive use while promoting creative new architecture that enhances historic neighborhoods.

Thank you for the opportunity to comment on the revised design for proposed new construction of the garage and addition to 99 Capisic Street. Greater Portland Landmarks helped the owner apply for local landmark status and has particular interest in the project and appreciates the owner's efforts at preservation of this important property.

Landmarks appreciates staff's comments and agrees that the revised design is much more compatible with the existing house and that complements it well as a modern intervention that is not attempting to present itself as historic. We also agree with staff that the varied use of metal on the front elevation of the barn creates confusion and that a simpler use of a singular material will be more successful. Therefore, we support staff's recommendation to approve this application, with the condition to switch the metal siding on the front façade with wood to match the rest of that exterior.

Sincerely,



C. Ian Stevenson
Director of Advocacy

October 12, 2022

Chair Pollard and members of the Historic Preservation Board:

Founded in 1964, Greater Portland Landmarks is a non-profit advocacy organization that works toward the preservation and revitalization of greater Portland's built environment. Our goal is to save greater Portland's historic places through preservation and adaptive use while promoting creative new architecture that enhances historic neighborhoods. We appreciate the opportunity to comment on projects that impact the historic character of the city.

We are writing in support of the revised design for proposed new construction of the garage and addition to 99 Capisic Street and to sincerely encourage the board to approve this application. Greater Portland Landmarks helped the owner apply for local landmark status and has particular interest in the project and appreciates the owner's efforts at preservation of this important property. As we indicated at the August public hearing, the applicant has been extremely responsive to board and staff suggestions at workshops earlier this year as well as at the August public hearing.

In addition to the applicant's responsiveness, the most recent design effectively synergizes new elements with the existing historic building. Both the garage and house addition evoke the former connected farm building, yet they are of their time with regard to materials. The garage successfully incorporates whimsical, recycled architectural elements juxtaposed with obviously modern finishes. Both are diminutive with respect to the primary house, so that neither overshadows the historic resource.

For all these reasons—the improved design itself, the applicant's gracious responsiveness to board comments, and the applicant's willingness to work directly with interested parties like the city's HP staff and Greater Portland Landmarks—we strongly urge the board to approve this application and encourage future applicants to follow suit.

Sincerely,



C. Ian Stevenson, PhD
Director of Advocacy

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Sincerely,



C. Ian Stevenson, PhD
Director of Advocacy

**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Pollard and Members of the Historic Preservation Board
FROM: Evan R. Schueckler, Historic Preservation Program Manager
DATE: October 14, 2022
RE: 63 Chadwick – Public Hearing – New Construction
PROJECT ID: HPBR-002093-2022
MEETING: October 19, 2022

Owner: Joan & Daniel Amory
Architect: Samuel Day & Chris Briley, Briburn Architecture

A sign announcing the Historic Preservation Board’s meeting on October 19, 2022 was posted at the property on October 6, 2022. A legal ad was published in the Portland Press Herald on October 7, 2022 and October 8, 2022, and 34 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

The applicant is proposing to construct a new two-story single-family house. Structure is to have a hipped roof at primary two-story mass, one-story side wing with flat roof and roof deck, and flat-roofed entry porch facing the street. Structure to be clad in lapped wood siding with exposed vertical battens at the primary mass, vertically-oriented wood siding at the side mass, and a partial stone-clad porch base.

The applicant is proposing to construct a new single-width curb cut at Chadwick Street with a partial hardscape driveway/tandem parking area. Additionally, the applicant is showing a wooden front-yard fence with stone piers.

SUMMARY OF HISTORIC CONTEXT

63 Chadwick is located one house off of Pine Street on the east side of Chadwick Street. To the rear of the lot is a semi-public alley which extends from Pine to Carroll Streets. The lot is currently landscaped as a garden associated with 188 Pine, which is the current residence of the owners. 188 Pine is half of a contributing John Calvin Stevens-designed duplex, constructed in 1896. At present the site is covered by a dense tree canopy and plantings, with a white wood picket fence running along the brick sidewalk. Towards the rear of 63 Chadwick, there are several non-historic garden structures including a stone wall and wooden shed. Based on a review of historic fire insurance

maps, 63 Chadwick has always been an undeveloped lot/garden.

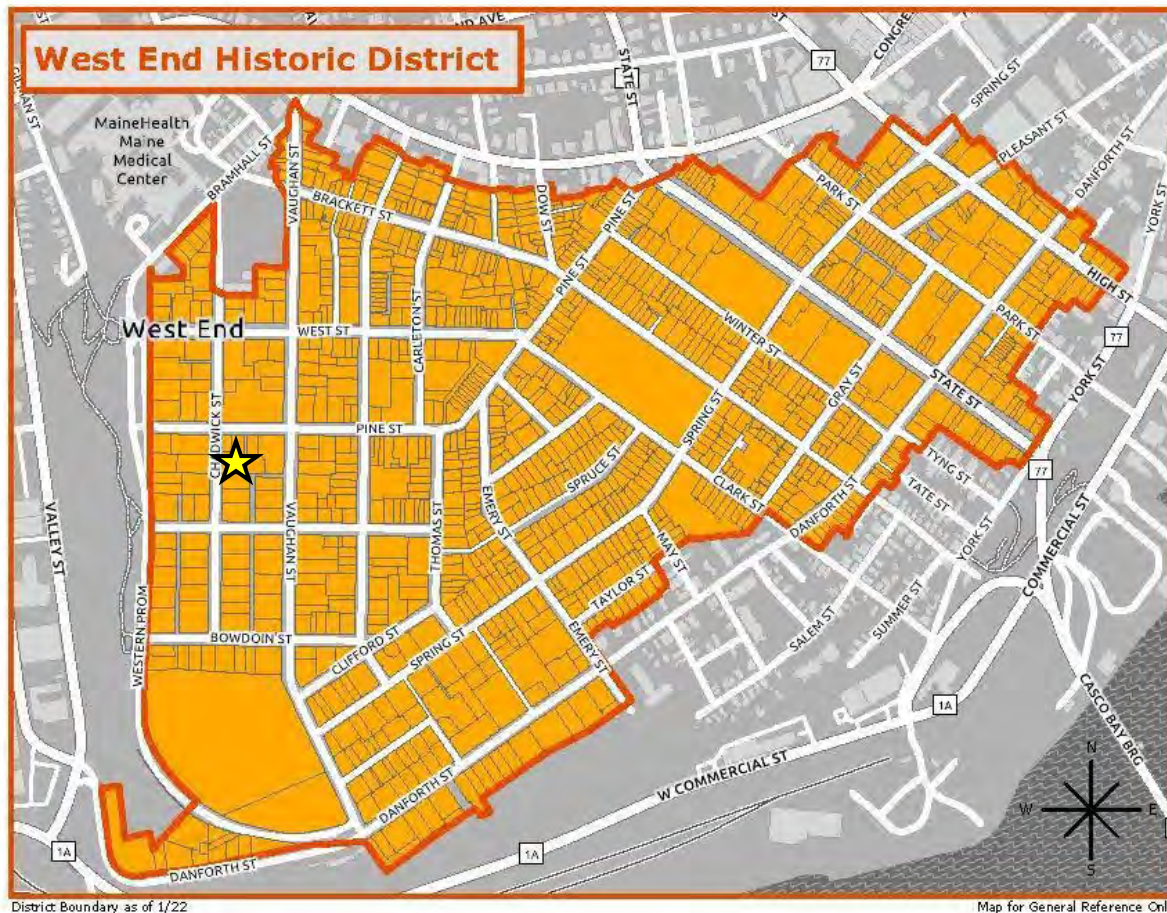


Figure 1: Map of West End Historic District showing location of 63 Chadwick Street with star.

The western blocks of the West End are dominated by grand nineteenth and early twentieth century single-family homes and duplexes in the Colonial Revival, Italianate, Second Empire, Queen Anne, Shingle, and Tudor Revival styles. There are a number of outlier structures including a French Provincial style house at 59 Chadwick, the neo-classical five-story apartment block at 197 Pine, the two mid-century ranches at 58 and 66 Chadwick (non-contributing), and the 1960s wood-framed colonial revival house at 196 Pine Street (non-contributing). Additionally, across the alley at the rear of the 63 Chadwick lot is a large Italianate brick and stone carriage house which is the last remnant of the Brown Estate, known as Bramhall, constructed in 1856 and torn down in 1915.

Contributing structures within the West End exhibit a great variety of building massings and roof forms. Most structures feature a substantial primary mass, with shorter or narrower secondary masses to the rear or sides. Gable, hip, gambrel, and mansard roofs are all found in large quantities with dormers and cross gables/hips being common. Windows are primarily punched openings with a vertical orientation. They are typically arranged very regularly, or around the interior program with a sense of balance at the exterior. Wall-to-window ratios favor solid to void. Paired or grouped windows are common, but used

sparingly on individual buildings. Most homes in the West End feature raised foundations, with entry porches of varying sizes.

PREVIOUS REVIEW BY HISTORIC PRESERVATION BOARD

August 3, 2022, Second Workshop:



Figure 2: Rendering of the design presented at the August 3 Workshop

During the second workshop, most Board members continued to express a generally favorable view of the project. The applicant presented additional analysis of the surrounding context showing the variety of structures in the West End Historic District and argued that the proposed structure had enough of the features found throughout the district to be compatible, while being clearly modern in its detailing, form, and materials. While a few Board members expressed concern that the proposed building could be more contextual and have a stronger relationship to the district, the Board generally agreed with the applicant's analysis.

The Board did ask about several of the key design elements such as the deep, overhanging roof and window banding at the second story, the general patterning of fenestration, the porch, and the design of the front fence.

Regarding the overhanging roof, the applicant described it as a reference to the idea of a “cap over a mass.” This arrangement is found on many structures within the district including the adjacent

historic structure at 188-190 Pine Street where the prominent gable caps the main mass and articulations such as the corner bays. Many large Italianates and colonial revivals also feature these hipped roofs with deep eaves. The applicant also expressed that the banding of windows, while less common, is a feature found on some historic structures throughout the district, in particular at bays and where windows are placed close together such that they join trim or are provided a differentiated wall treatment. This type of feature is again found on the structure at 188-190 Pine at the corner bays and third floor gable.

Regarding the patterning of fenestration, the Board generally found that the arrangement of the windows was appropriate, though the degree of horizontality is atypical of the district and additional verticality at the windows would benefit the design. In response, the applicant said that they would consider further study of the window proportions.

Regarding the porch, there was some question of whether the porch framing could be simplified or made more contextual, noting that the proposed design was somewhat craftsman in nature, and there were also questions about whether the porch could be made more prominent on the façade. The applicant agreed to further study of the porch framing, but noted that there were size limitations for the porch roof given its location within the setback.

Regarding the fence and masonry at the porch, staff had commented that the fieldstone shown in the presentation was atypical of the west end. The Board generally agreed and the applicant showed a variation using more substantial granite blocks at the fence and porch, which the Board found to be more appropriate.

Several Board members also expressed reservation on the proposed color and finish of the exterior, noting that unpainted wood is uncommon in the West End Historic District.

STAFF COMMENTS



Figure 3: Rendering of the design presented for review at the October 19 Public Hearing.

Since the August 3 workshop, the applicant has revised proportions for the windows, eliminated the side entrance, provided new details at the porch, and changed the granite at the fence and porch base to a more solid articulation.

The revised proportions of the windows are the most significant change in the design. The first floor, southernmost window on the west elevation has been given a much more vertical orientation and has been reduced to covering only two bays of the exterior as opposed to three. This gives the window a more balanced relationship with the porch. The windows at the one-story north wing have also been altered to have more vertical proportions. Additionally, the second story windows have been redesigned such that each unit is taller than it is wide, whereas they were originally proposed to be wider than they were tall. Generally, these revised window proportions are more compatible with the typical window proportions found in the West End Historic District.

Related to this, at the first floor, south elevation, the second entrance off of the driveway has been eliminated and the window closer to the southwest corner has been revised to match the adjacent window on the west elevation. The door has been replaced with a single width window with the same sill and head height. While the Board had not previously expressed opposition to the side door, its elimination does help to generally make the primary entry more prominent as the only way into the building from Chadwick Street.

The front porch has also been redesigned to have a more symmetrical appearance and simplified support system reminiscent of the many classically inspired porches found throughout the district. The more complicated exposed structural members presented at the second workshop have been eliminated in favor of matching wood posts with metal offset caps and bases that support a simplified entablature with frieze and fascia. The posts rest on granite bases with granite caps. The applicant has also added some small cubbies, a seat, and a trellis to the porch. These elements do add some additional complexity to the porch, but this will not be readily perceptible given they are scaled comfortably to the porch and sit within its footprint, aligning with the piers and columns.

The final design change of note is the use of more solid granite at the front yard fence and porch. The use of more substantial granite at these locations is more in keeping with the character of site features in the West End Historic District.

The applicant is still proposing to construct the building out of stained wood. While this may be an uncommon feature of the historic district, paint and paint colors are not subject to Historic Preservation Review (see Standard for New Construction B.4). This aspect of the building design is not a basis for the Board's decision, as it does not have purview over the color and finish applied to the wood.

The proposed revisions have addressed all of the comments by the Board to date, therefore staff have provided a motion for approval for consideration by the Board.

ANALYSIS OF APPLICABLE REVIEW STANDARDS

Standards for Review of New Construction, 17.8.3:

Standard A. Scale and Form	
<u>1. Height</u> The proposed height shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	The structure is slightly shorter than may be typical of contributing buildings in the historic district; however, the size is not out of place, in particular given this location on one of the north-south streets, where houses tend to be more modest.

2. Width The width of a building shall be visually compatible with surrounding structures when viewed from any street or open space and in compliance with any design guidelines.	
Standard Met?	Staff Comments
Yes	The structure, at least at its primary mass, is narrower than may be typical of contributing buildings in the district. While wide fronts are more common, buildings presenting a narrower face to the street are not unheard of.
3. Proportion of principal facades The relationship of the width to the height of the principal elevations shall be visually compatible with structures, public ways, and open spaces to which it is visually related.	
Standard Met?	Staff Comments
Yes	The principal facade of the primary mass is relatively tall and narrow in appearance. A more horizontally oriented proportion is more common in the district; however, more vertical facades are not unheard of.
4. Roof shapes The roof shape of a structure shall be visually compatible with the structures to which it is visually related.	
Standard Met?	Staff Comments
Yes	The proposed low-slope hipped roof is a common feature of the district, though perhaps lower in slope than most.
5. Scale of a structure The size and mass of structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the structures, public ways, and places to which they are visually related.	
Standard Met?	Staff Comments
Yes	The scale of the structure is quite modest for the western part of the West End Historic District; however, its relationship to open space patterns is highly appropriate, leaving ample room for site around the structure. The proposed scale and arrangement of windows on the structure is compatible with the district.

Standard B. Composition of Principle Facades	
1. Proportion of openings The relationship of the width to height of windows and doors shall be visually compatible with structures, public ways, and places to which the building is visually related.	
Standard Met?	Staff Comments
Yes	The proposed windows generally have vertical proportions like those typical of structures in the West End Historic District.
2. Rhythm of solids to voids in facades The relationship of solids to voids in the façade of a structure shall be visually compatible with structures, public ways, and places to which it is visually related.	
Standard Met?	Staff Comments
Yes	The proposed structure has a similar ratio of solid to void as contributing structures in the district, and a rhythm and placement also in keeping with the district.
3. Rhythm of entrance porch and other projections The relationship of entrances and other projections to sidewalks shall be visually compatible with the structures, public ways, and places to which they are visually related.	
Standard Met?	Staff Comments
Yes	The proposed front entrance has a typical relationship to the street, with a direct walkway from the sidewalk. As well, the partial-width covered porch is highly typical in its proportions and placement, reinforcing district norms.
4. Relationship of materials The relationship of the color and texture of materials (other than paint color) of the facade shall be visually compatible with the predominant materials used in the structures to which they are visually related.	
Standard Met?	Staff Comments
Yes	The applicant has proposed to clad the new structure in stained wood in a configuration that will add texture and visual interest. While an arrangement not typical of the district, it follows the norm of creating visual interest through textured wall surfaces.

Standard C. Relationship to Street	
1. Walls of continuity Facades and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the structures, public ways, and places to which such elements are visually related.	
Standard Met?	Staff Comments
Yes	The West End Historic District generally lacks a cohesive wall of enclosure along the street. Houses are typically set back, on wide lots with open, landscaped front yards. Where fences or site walls exist, they are generally low, extremely open, and clean in their detailing. The proposed house will be set-back in an ample yard. The proposed fence features substantial granite elements and open rails that suit the character of site features found in the historic district.
2. Rhythm of spacing and structures on streets The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways, and places to which it is visually related	
Standard Met?	Staff Comments
Yes	Large lots with the structures situated to allow for ample side, front, and rear yards are the norm of the district and the proposed structure reinforces that pattern.
3. Directional expression of principal elevation A structure shall be visually compatible with the structures, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.	
Standard Met?	Staff Comments
Yes	The West End Historic District does not have a highly consistent orientation to its buildings, though many present a street-facing entrance. The proposed structure fits that norm.

4. Streetscape, pedestrian improvements

Streetscape and pedestrian improvements and any change in the appearance thereof located adjacent to or on a landmark, within a historic district, or within a historic landscape district which is readily visible from any street or open space shall not be incongruous to the historic character of the landmark or district and shall comply with the criteria and guidelines specified in the Historic Resources Design Manual.

Standard Met?	Staff Comments
Yes	The proposed fencing design suits the character of the West End Historic District while being clearly contemporary. The proposed curb is modestly scaled to the district, and uses minimal hardscaping.

MOTION FOR CONSIDERATION

I move to APPROVE application HPBR-002093-2022 for new construction at 63 Chadwick Street on the basis of submitted documentation, plans, and specifications; information provided in the staff memo; and findings by the Historic Preservation Board that the project meets Standards for Review of New Construction 17.8.3, A.1-A5, B.1-B5, & C.1-C.4

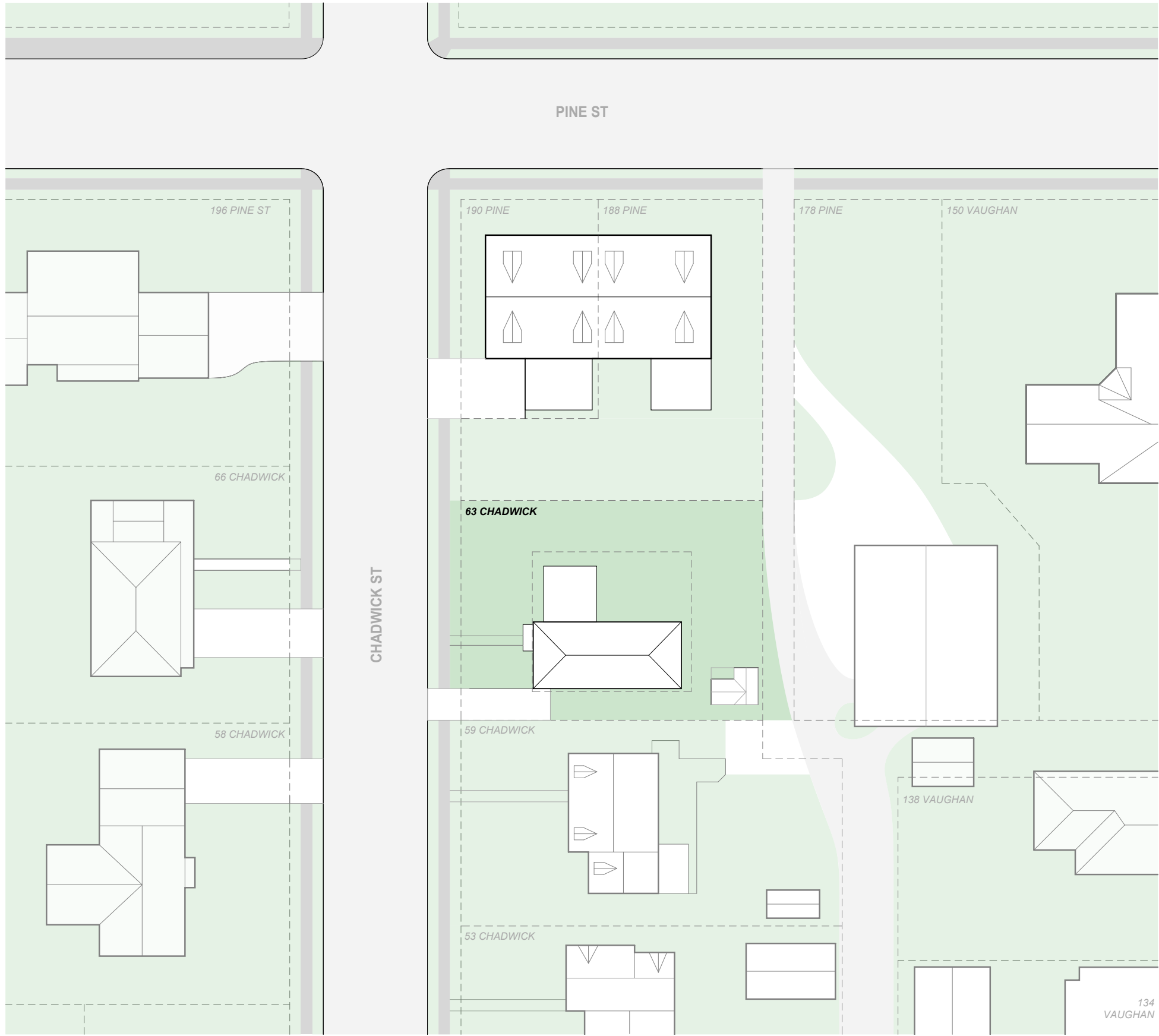
ATTACHMENTS

1. Applicant Drawings
2. Applicant Renderings



63 CHADWICK RESIDENCE - HP HEARING #1

63 CHADWICK ST, PORTLAND, ME



1 NEIGHBORHOOD SITE PLAN
1" = 40'-0"

ABBREVIATION LEGEND

ACT	ACOUSTICAL CEILING TILE	LF	LIGHT FIXTURE
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
BOS	BOTTOM OF STRUCTURE	MFR	MANUFACTURER
BOT	BOTTOM	MIN	MINIMUM
BV	BRICK VENEER	MO	MASONRY OPENING
CAP	CAPACITY	MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
CJ	CONTROL JOINT	MTL	METAL
CL	CENTER LINE	N/A	NOT APPLICABLE
CLNG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO	NUMBER
CM	CONSTRUCTION MANAGER	NOM	NOMINAL
COL	COLUMN	OCC	OCCUPANT(S) / OCCUPANCY
CONT	CONTINUOUS	OC	ON CENTER
CPT	CARPET	OD	OUTER DIAMETER
CT	CERAMIC TILE	OPP	OPPOSITE / OPPOSITE HAND
DBL	DOUBLE	OZ	OUNCE
DEMO	DEMOLITION	PERF	PERFORATED
DIA	DIAMETER	PREP	PREPARE
DIM	DIMENSION	PLN	PLAN
DN	DOWN	PNT	PATCH, PREP. & PAINT
DR	DOOR	PT	PRESSURE TREATED
DTL	DETAIL	PTD	PAINTED
DWG	DRAWING	PVY	POLYVINYL CHLORIDE
EA	EACH	PWD	PLYWOOD
EJ	EXPANSION JOINT	RBR	RUBBER
EL	ELEVATION	RB	RESILIENT BASE
ELEV	ELEVATOR	RCP	REFLECTED CEILING PLAN
ETR	EXISTING TO REMAIN	REQ	REQUIRED, REQUIREMENTS
EQ	EQUAL	RM	ROOM
EXIST	EXISTING	RWD	RECLAIMED WOOD
EXT	EXTERIOR	SF	SQUARE FEET
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SQFT	SQUARE FEET
FEC	FIRE EXTINGUIDHER CABINET	SPK	SPRINKLER
FGP	FRAMELESS GLASS PARTITION	SS	STAINLESS STEEL
FLR	FLOOR	STC	SOUND TRANSMISSION CLASS
FO	FACE OF	STCT	STRUCTURE / STRUCTURAL
GA	GAUGE	T	TEMPERED
GC	(GENERAL) CONTRACTOR	TD	TELEPHONE & DATA
GFI	GROUND FAULT INTERRUPT	T&G	TONGUE AND GROOVE
GLS	GLASS	TEL	TELEPHONE
GTL	GLASS TILE	TL	TILE
GWB	GYPSUM WALL BOARD	TLT	TOILET
HC	HOLLOW CORE	TME	TO MATCH EXISTING
HDWD	HARDWOOD	T.O.	TOP OF
HM	HOLLOW METAL	TOC	TOP OF CONCRETE
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	TOS	TOP OF STRUCTURE
HVLS	HIGH VELOCITY LOW SPEED	TYP	TYPICAL
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
HSS	HOLLOW STRUCTURAL SECTION	VAR	VARIES / VARIABLE
ILO	IN LIEU OF	VIF	VERIFY IN FIELD
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W	WITH
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD	W/O	WITHOUT
LED	LIGHT EMITTING DIODE		

SYMBOL LEGEND

	DETAIL NUMBER
	BUILDING SECTION
	DRAWING NUMBER
	CALL OUT
	DRAWING NUMBER
	CENTERLINE
	DOOR TAG
	ELEVATION INDICATOR
	ELEVATION TAG
	ELEVATION TAG
	NORTH ARROW
	REVISION
	ROOM TAG WITH NUMBER
	STRUCTURAL GRID BUBBLE
	WALL TAG
	WINDOW TAG

DRAWING LIST	
NUMBER	SHEET TITLE
A001	COVER SHEET
A100	SITE PLAN
A101	BASEMENT - FLOOR PLAN
A102	LEVEL 1 - FLOOR PLAN
A103	LEVEL 2 - FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A401	WALL SECTIONS
A402	SECTION DETAILS
A403	PLAN DETAILS
A404	FRONT PORCH DETAILS
A601	DOOR & WINDOW SCHEDULE

CONSULTANTS:

REVISIONS:

No.	Name	Date

ISSUED: 09-26-22

PROJECT No: 2201

DRAWN BY: SD

CHECKED BY: CB

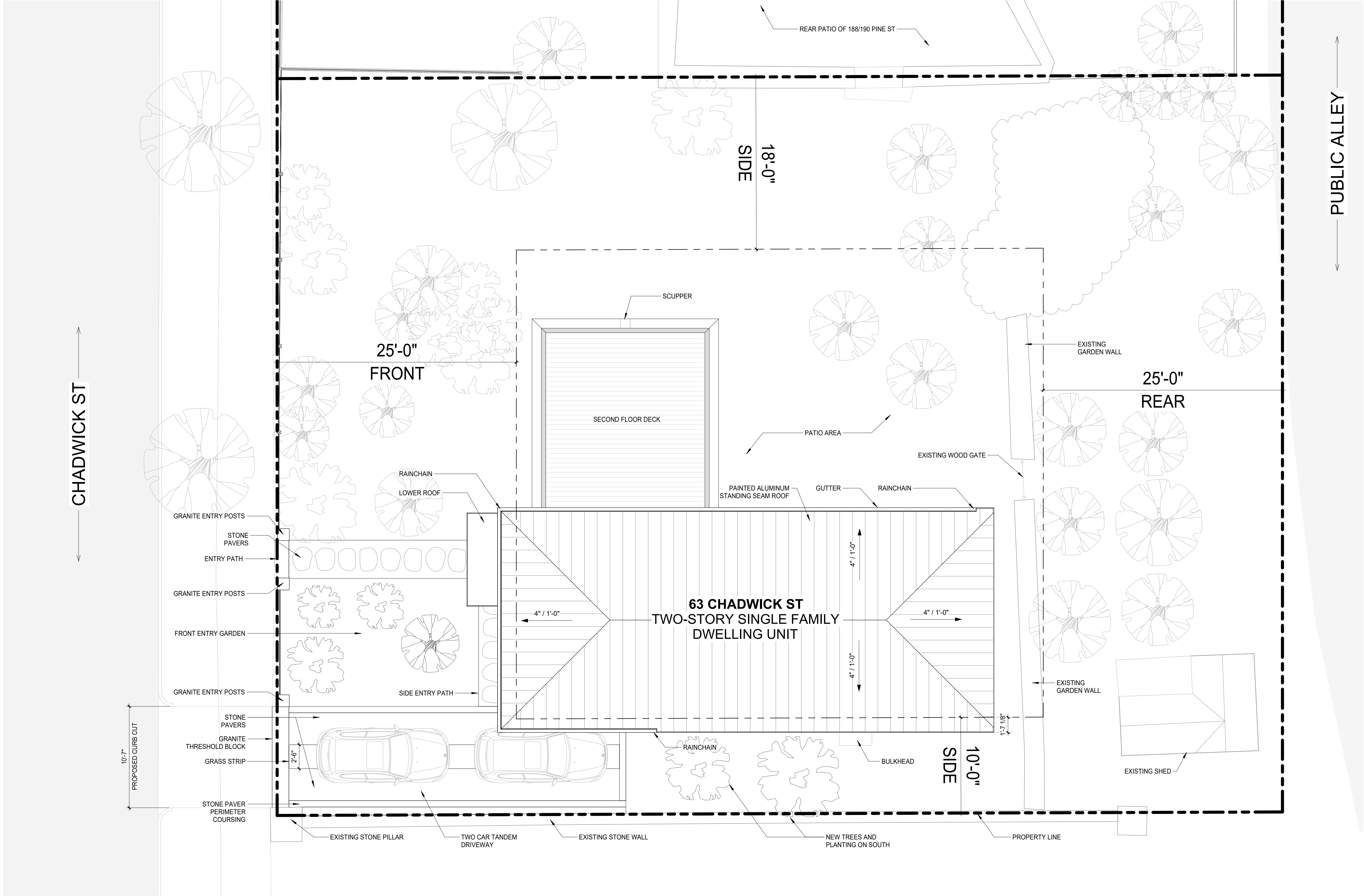
SHEET TITLE:

COVER SHEET

A001

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

BRI BURN
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1 SITE PLAN - LOT
3/16" = 1'-0"

NOTE:
NEW PLANTINGS SHOWN DARK
EXISTING PLANTINGS SHOWN GREY

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

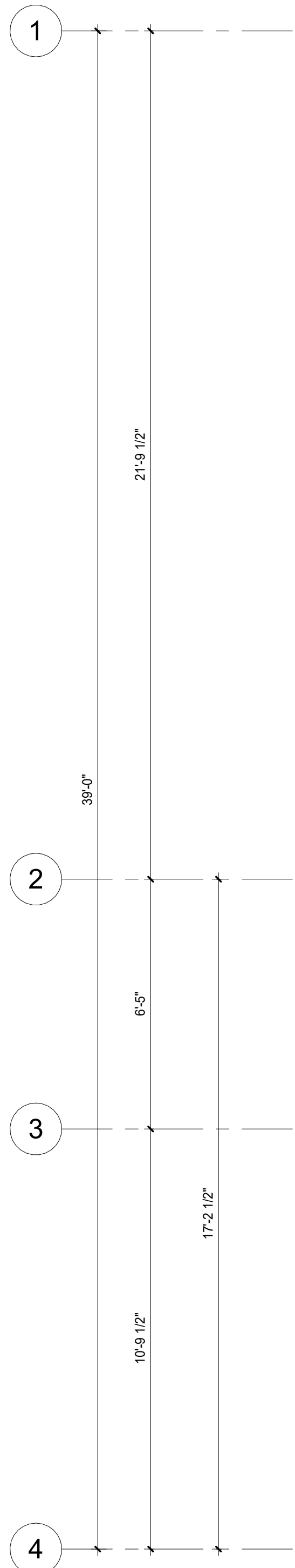
BRI BURN
architecture for life
28 Maple St, South Portland, ME 04106 207-774-6402

CONSULTANTS:

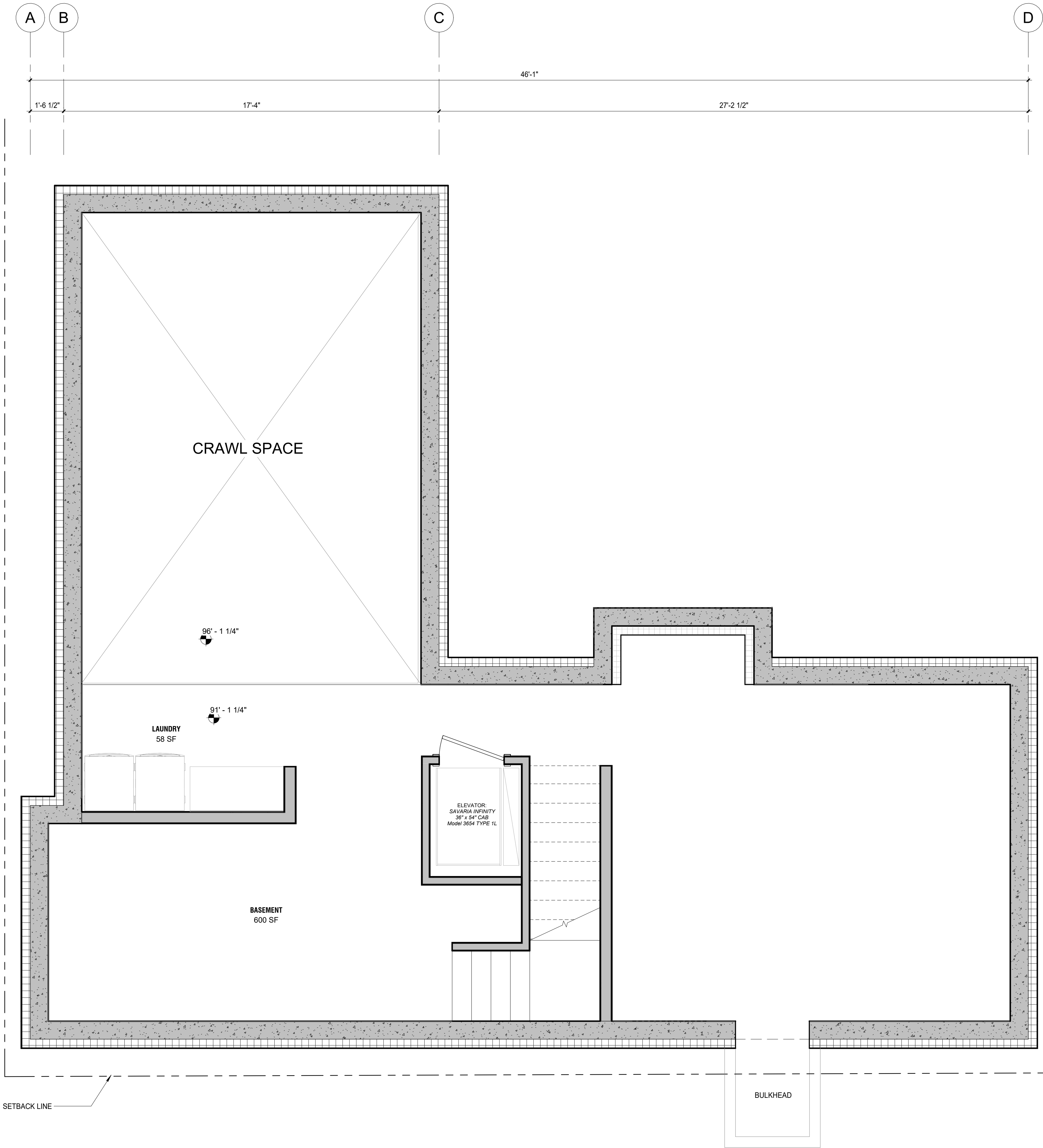
REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
SITE PLAN

A100



1 BASEMENT
3/8" = 1'-0"



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING AND/OR FACE OF FOUNDATION UNLESS NOTED OTHERWISE.
2. INTERIOR PARTITIONS SHALL BE 2x4 (TYPE 1A) UNLESS NOTED OTHERWISE
3. INTERIOR DOORS SHALL BE INSTALLED 4" OFF FACE OF WALL UNLESS NOTED OTHERWISE
4. SEE XXXX FOR WALL TYPES

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

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CONSULTANTS:

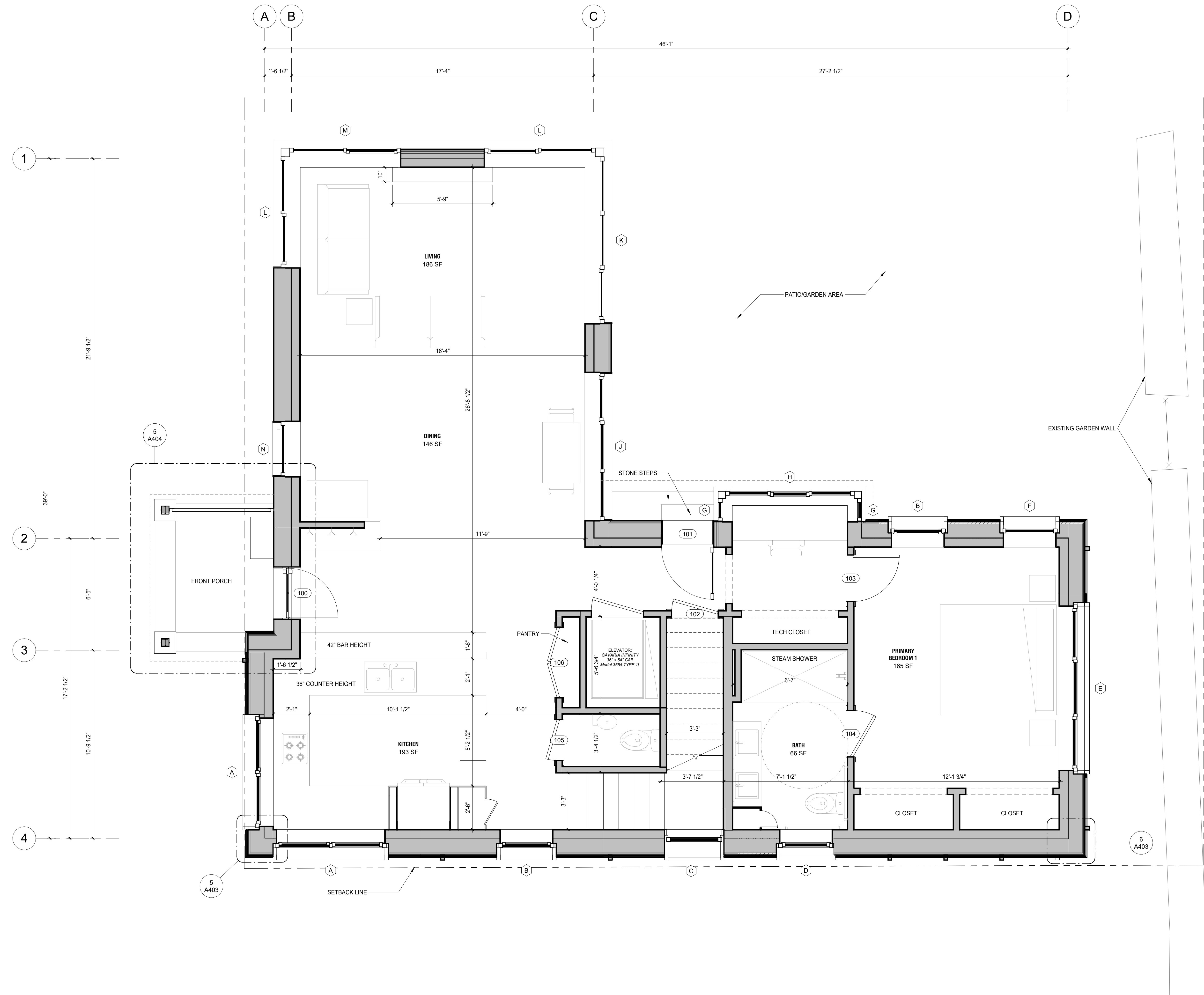
REVISIONS:

No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB

SHEET TITLE:
BASEMENT -
FLOOR PLAN

A101



② LEVEL 1
3/8" = 1'-0"

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

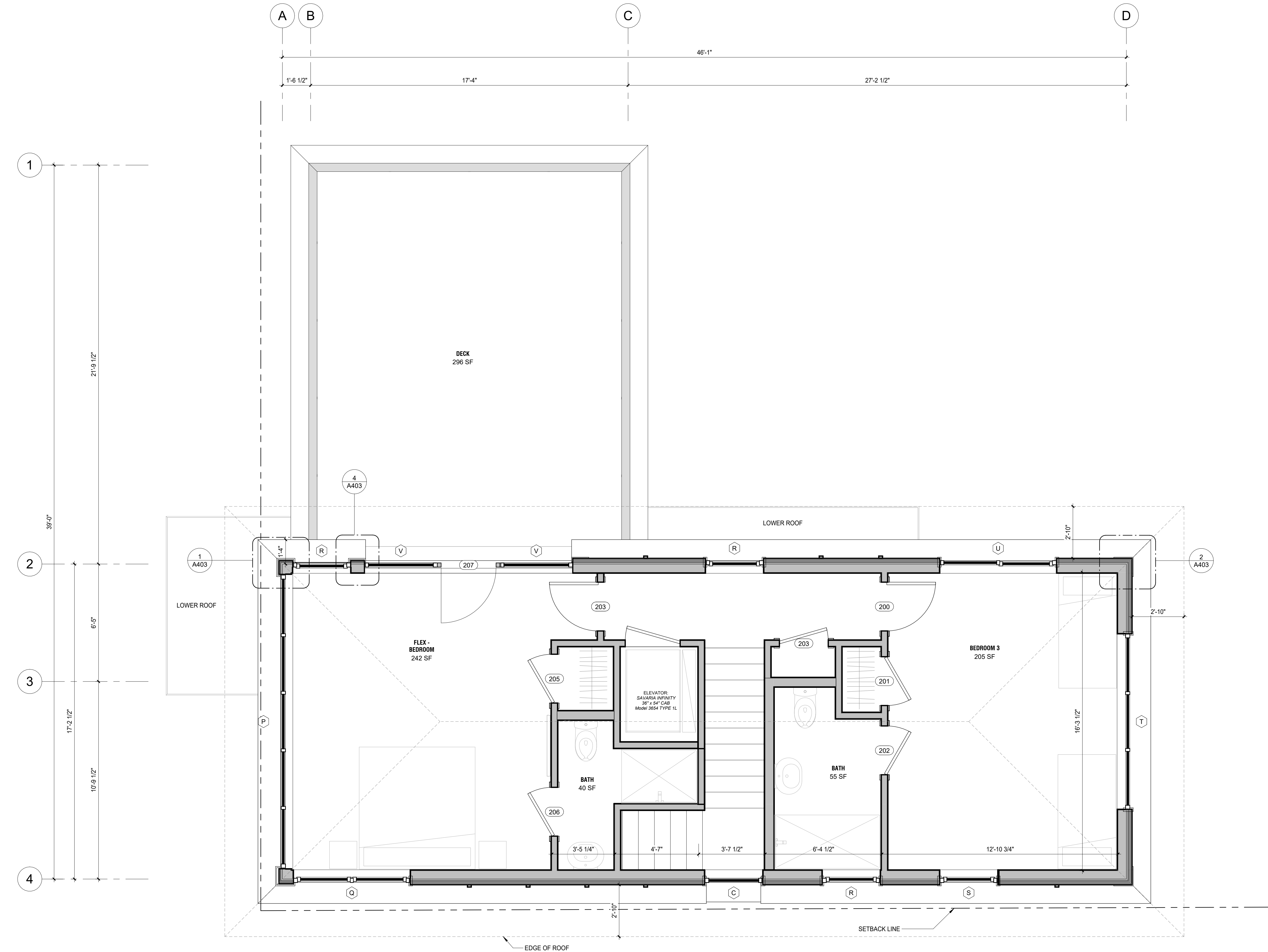
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architecture for life
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CONSULTANTS:

REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
LEVEL 1 - FLOOR
PLAN

A102



1 LEVEL 2
3/8" = 1'-0"

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Portland, Maine
CONSTRUCTION SET

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CONSULTANTS:

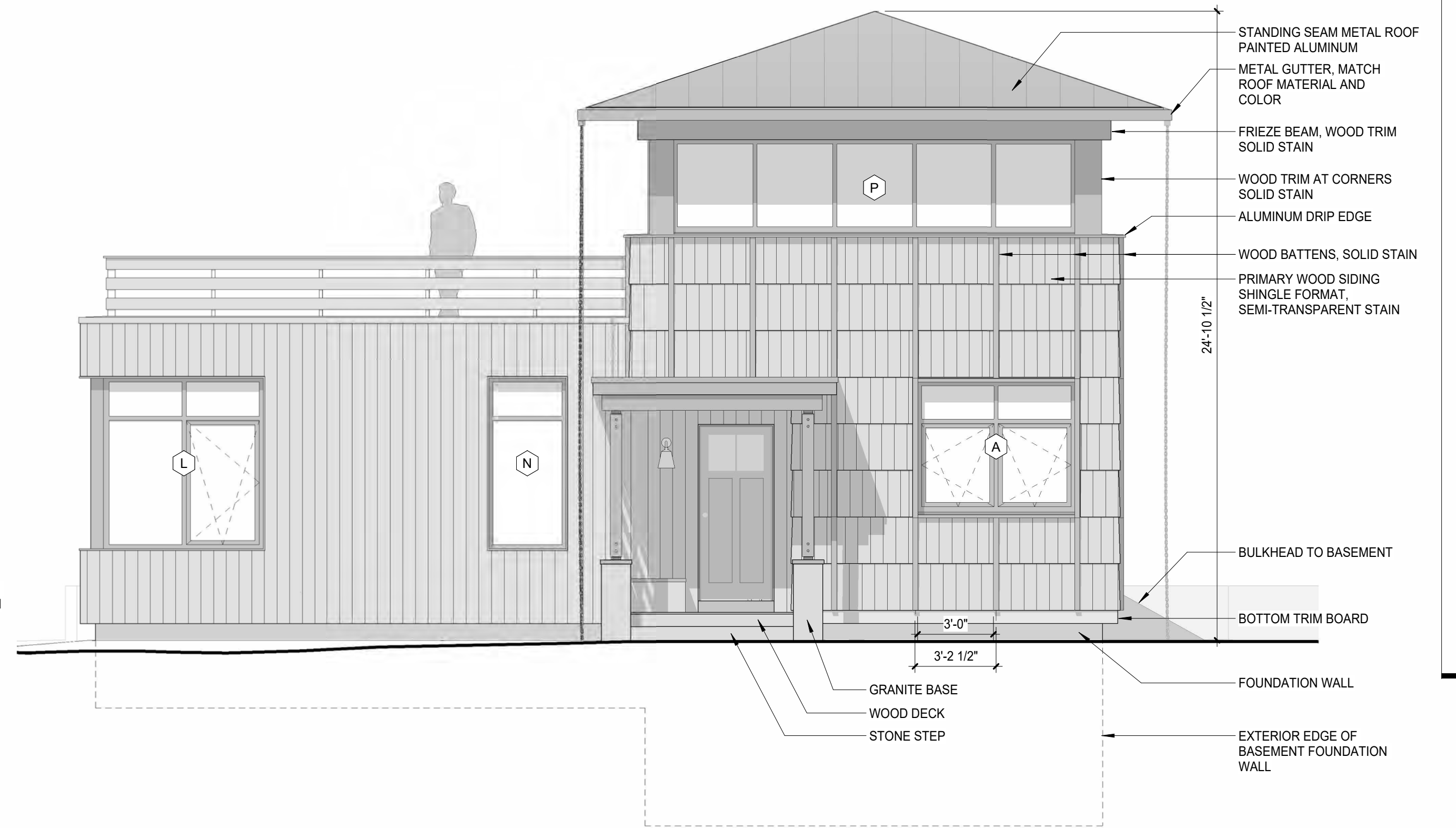
REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
LEVEL 2 - FLOOR
PLAN

A103



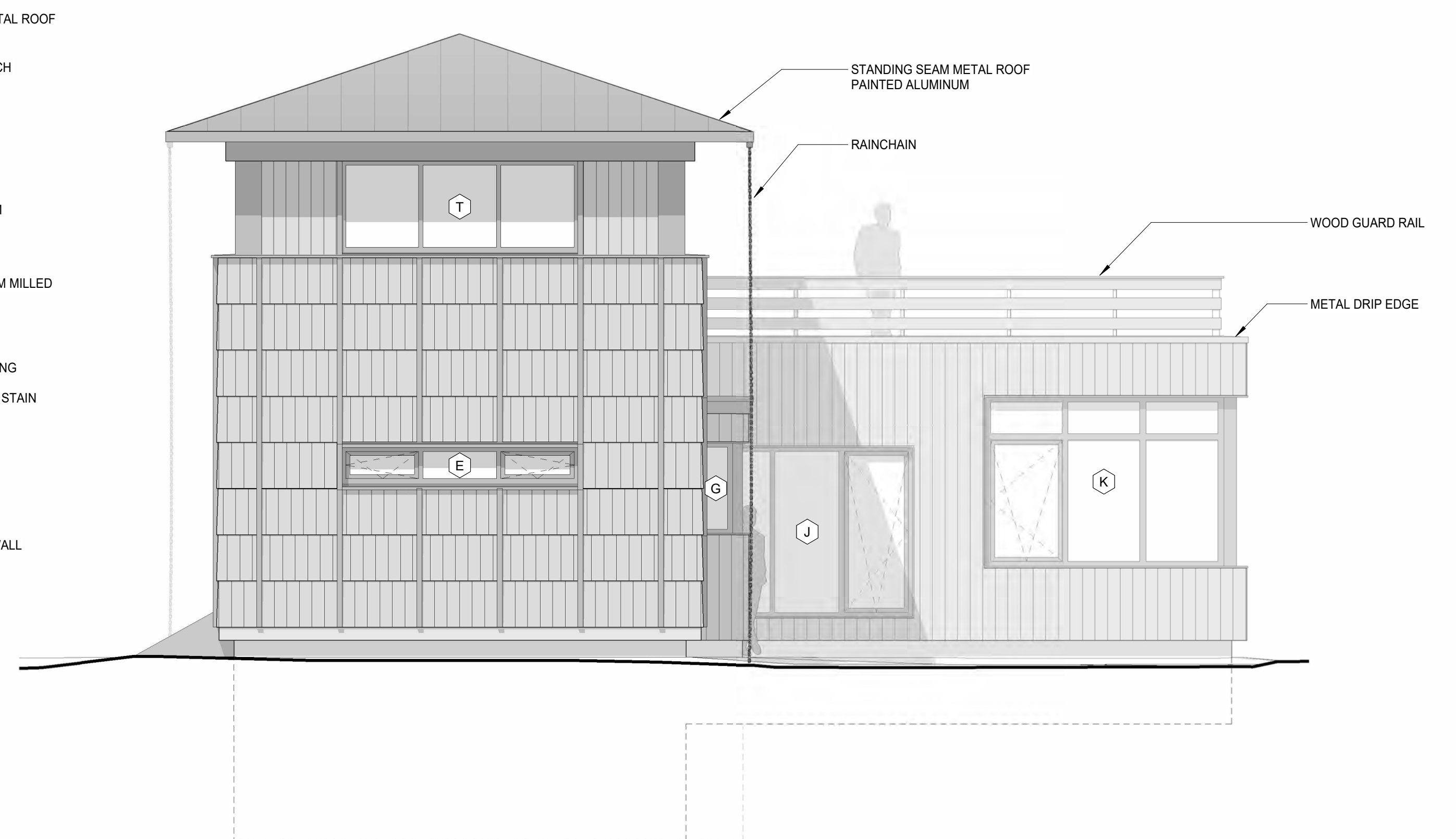
① NORTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"



③ SOUTH ELEVATION
1/4" = 1'-0"



④ EAST ELEVATION
1/4" = 1'-0"

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

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CONSULTANTS:

REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
EXTERIOR
ELEVATIONS

A201

LAYER KEY	
	CONCEPTUAL VAPOR CONTROL LAYER
	VAPOR CONTROL MEMBRANE
	CONCEPTUAL AIR SEALING LAYER
	AIR SEALING MEMBRANE

1 WALL SECTION - LIVING WING
1" = 1'-0"

TYPICAL WALL ASSEMBLY R-59
FROM EXTERIOR TO INTERIOR

- 6" VERTICAL WOOD SIDING
- 1x HORIZONTAL STRAPPING
- 1x VERTICAL STRAPPING
- WRB (VAPOR OPEN)
- 9-1/2" TJI - DENSE-PACK CELLULOSE
- 1/2" ZIP SHEATHING
- 5-1/2" DENSE-PACK CELLULOSE
- 1/2" GWB

WOOD GUARD RAIL

PARAPET WITH ALUMINUM METAL DRIP EDGE

EXTEND LARSON TRUSS UPWARD TO FORM ROOF PARAPET

SCUPPER AT NORTH WALL

LEVEL 2 - T.O.F.F.
110' - 7 1/2"

SLEEPERS

TAPERED INSULATION 3/16" SLOPE W/ EPDM MEMBRANE

LEVEL 1 - T.O.F.F.
100' - 0"

CRAWL SPACE

TYPICAL FOUNDATION ASSEMBLY R-32
FROM EXTERIOR TO INTERIOR

- 5" EPS
- FLUID-APPLIED WATERPROOFING MEMBRANE
- CONCRETE FOUNDATION WALL

TYPICAL FOUNDATION ASSEMBLY R-32
FROM EXTERIOR TO INTERIOR

- 5" EPS
- FLUID-APPLIED WATERPROOFING MEMBRANE
- CONCRETE FOUNDATION WALL

2 WALL SECTION - KITCHEN
1" = 1'-0"

TYPICAL WALL ASSEMBLY R-59
FROM EXTERIOR TO INTERIOR

- WOOD LAP SIDING WITH VERTICAL BATTENS
- 1x HORIZONTAL STRAPPING
- 1x VERTICAL STRAPPING
- WRB (VAPOR OPEN)
- 9-1/2" TJI - DENSE-PACK CELLULOSE
- 1/2" ZIP SHEATHING
- 5-1/2" DENSE-PACK CELLULOSE
- 1/2" GWB

WOOD DECK

GRANITE STONE

5/4X4 BLOCKING AT BOTTOM COURSE

1x TRIM BOARD

BATT INSULATION AT RIM JOIST

CAPILLARY BREAK

LEVEL 1 - T.O.F.F.
100' - 0"

LEVEL 1 - T.O. SILL PLATE
99' - 1 1/4"

CONCRETE SLAB

4 INCHES OF RIGID INSULATION

T.O. SLAB
91' - 1 1/4"

TYPICAL ROOF ASSEMBLY R-60
FROM EXTERIOR TO INTERIOR

- STANDING SEAM ROOF, PAINTED ALUMINUM
- WRB (ICE AND WATER SHIELD)
- 3/4" PLYWOOD BACKING
- 1x STRAPPING (AIR GAP)
- LOOSE-FILL CELLULOSE IN ROOF
- 2X4 STRAPPING
- GYP CEILING

1X SOFFIT BOARDS WITH MINIMUM 1/8" AIR GAP FOR VENTILATION

1X MITERED FRIEZE BOARD

COR-A-VENT

ZIP SHEATHING

3 A402

2 A402

4 A402

PORCH ROOF BEYOND

LEVEL 2 - T.O.F.F.
110' - 7 1/2"

LEVEL 1 - T.O. PLATE
109' - 8 3/4"

8'-2 3/4"

3'-3 3/4"

2'-9"

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

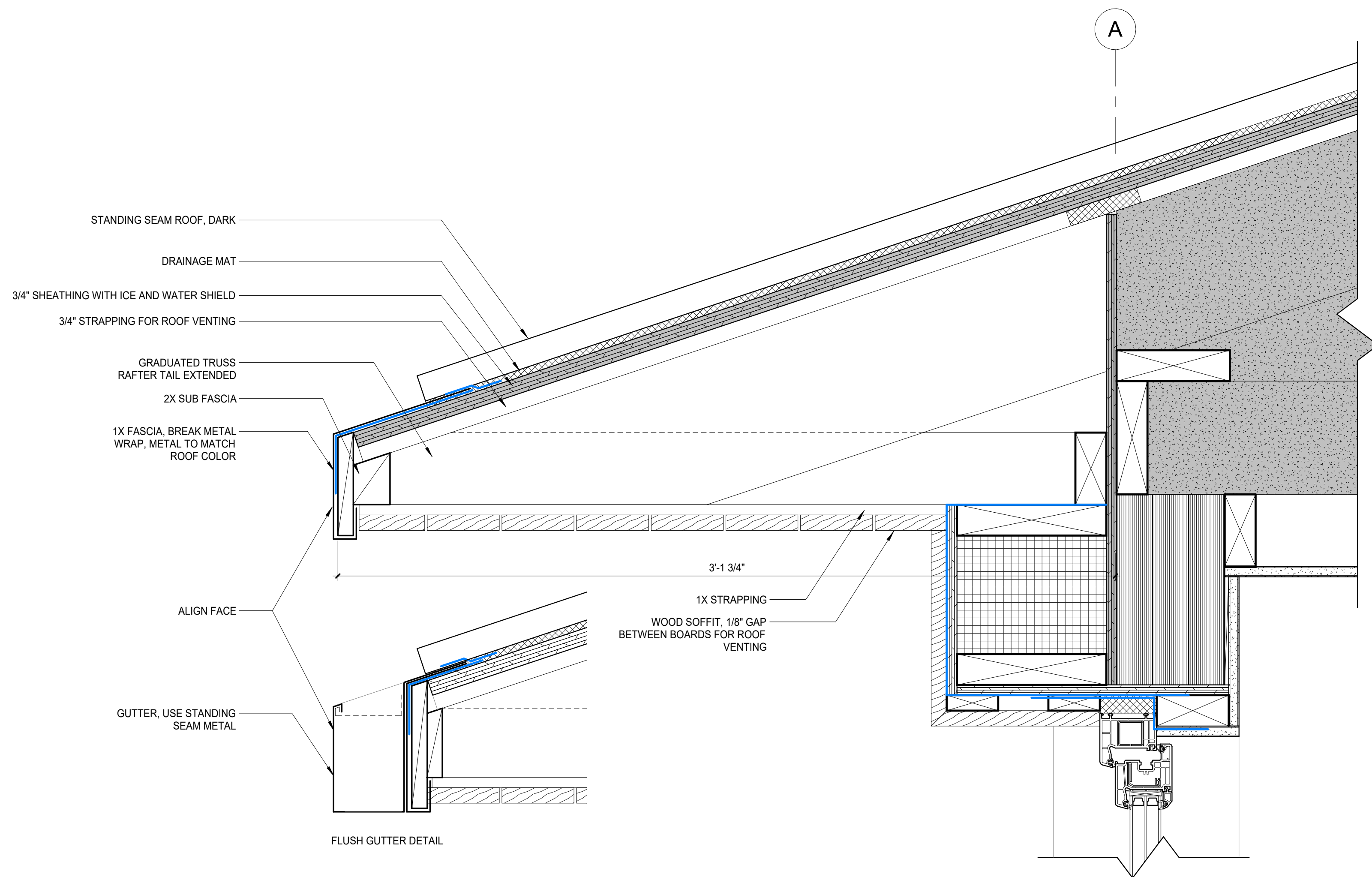
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CONSULTANTS:

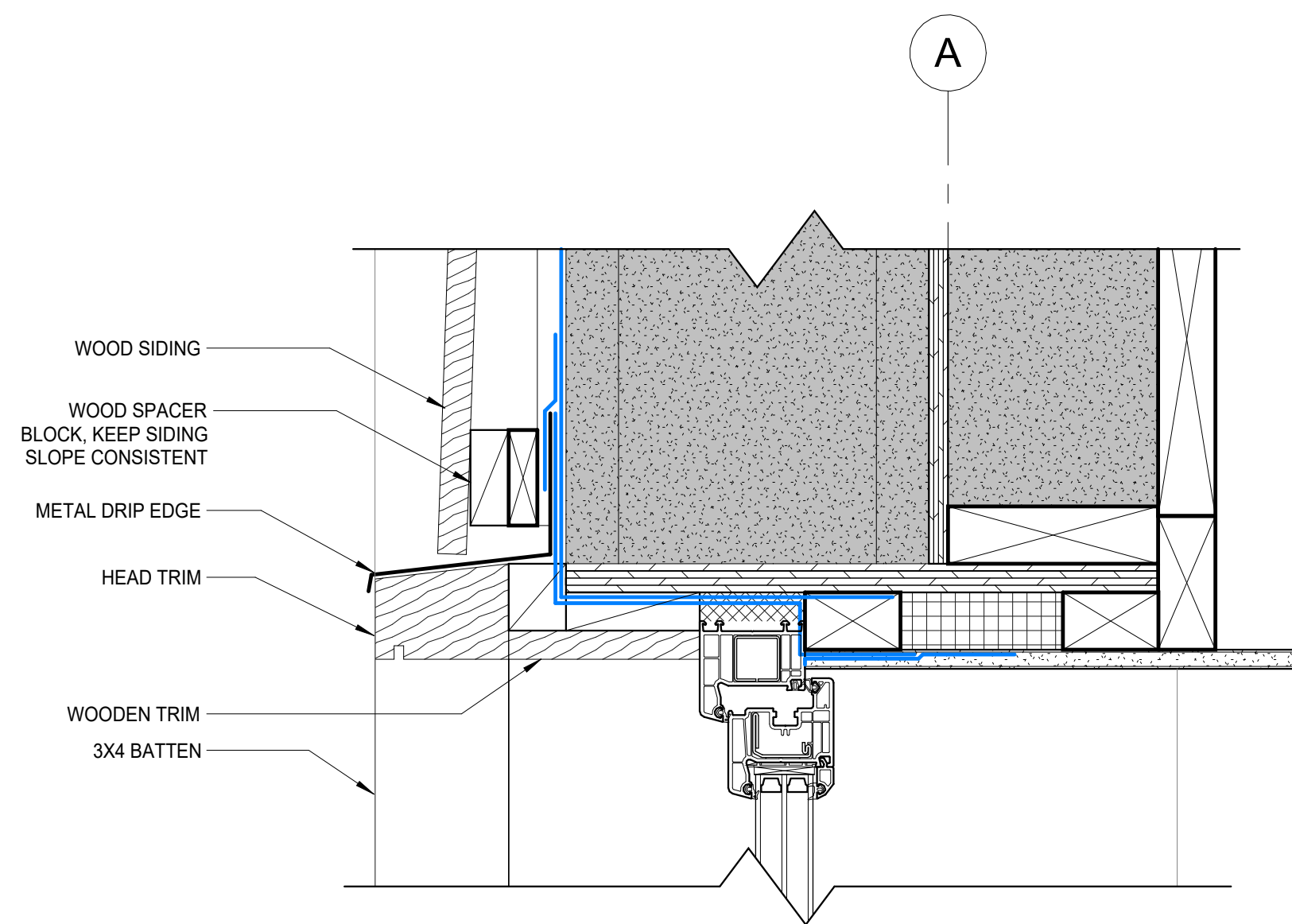
REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
WALL SECTIONS

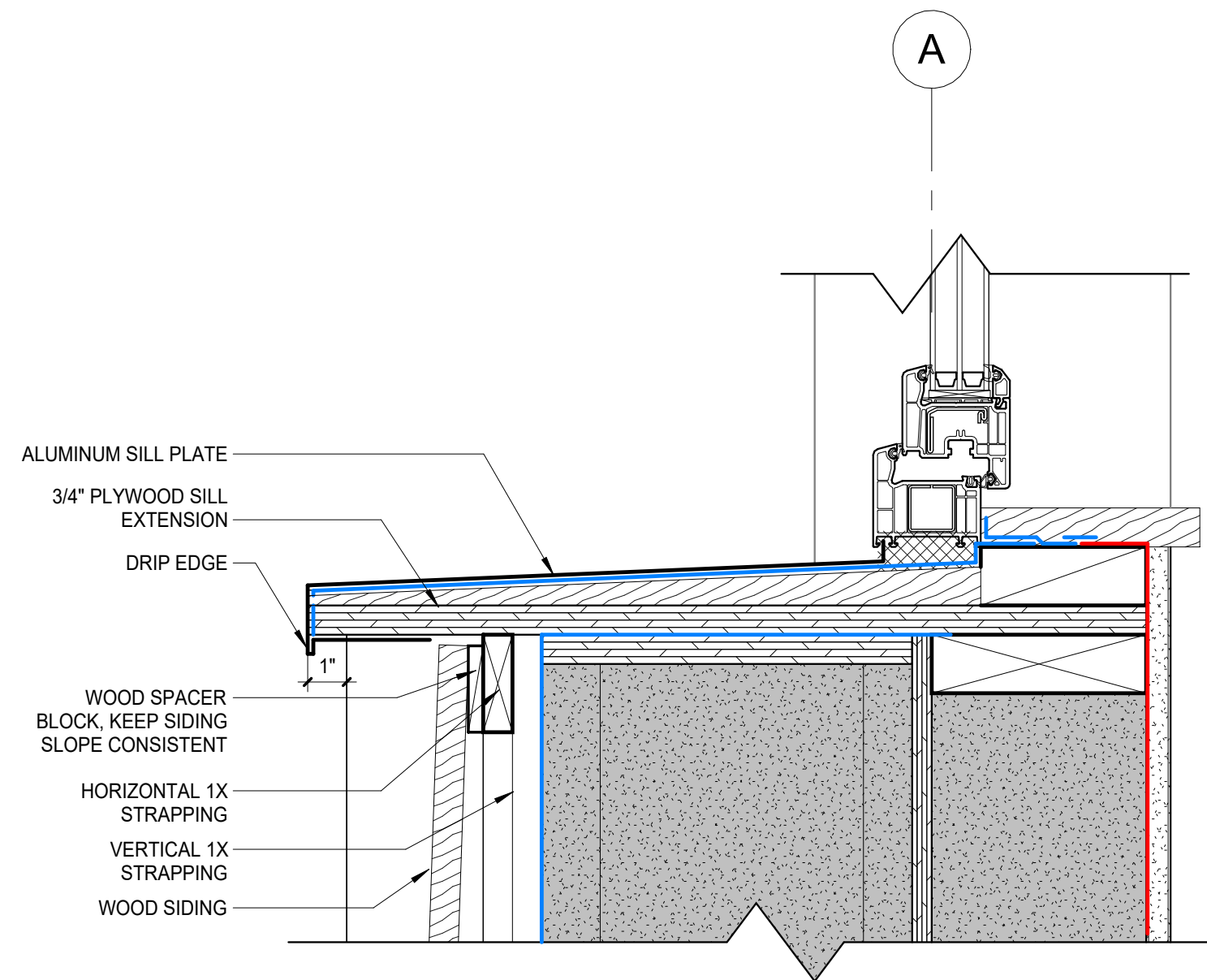
A401



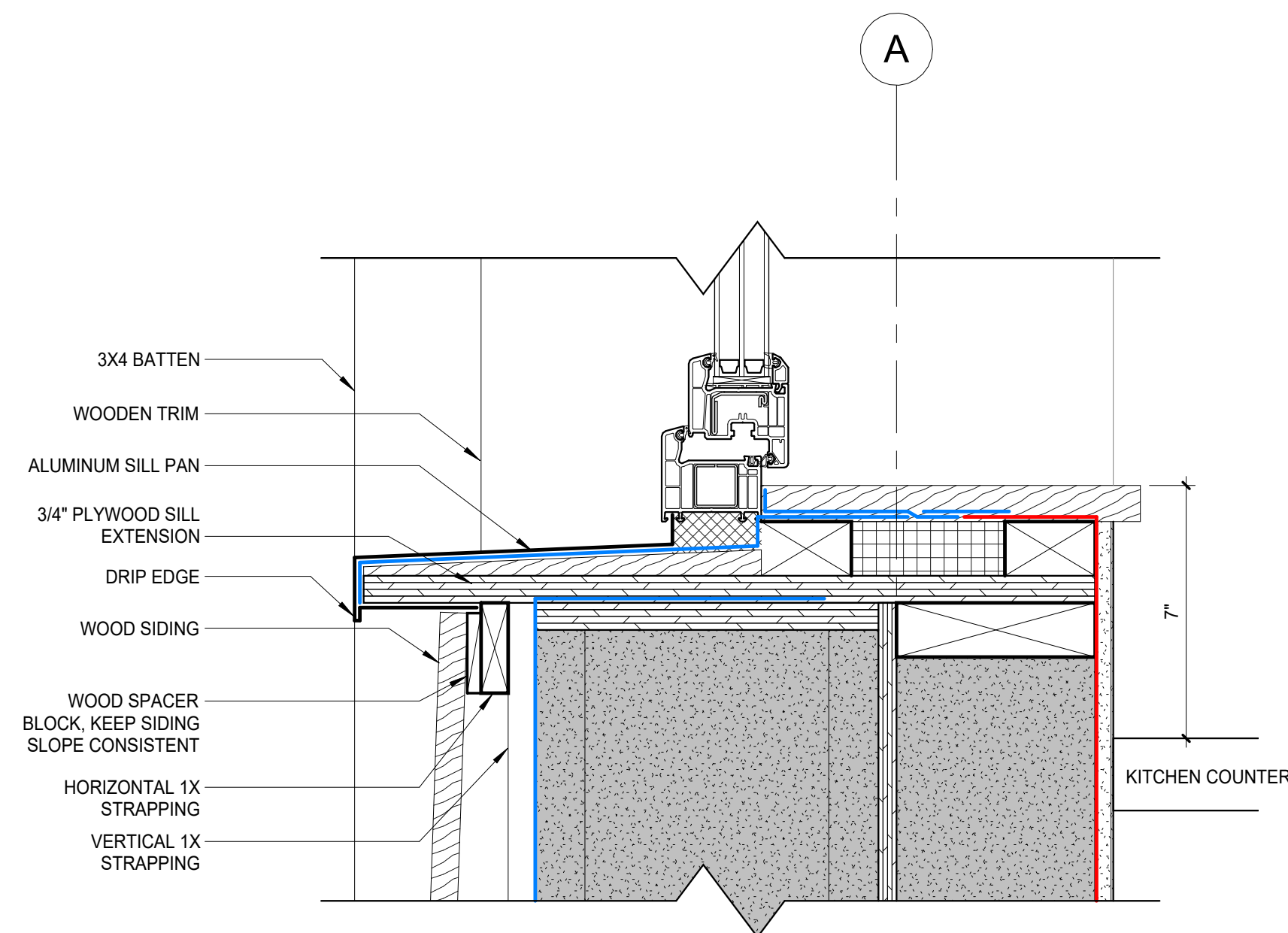
① SECTION DETAIL - TYP LEVEL 2 WINDOW HEAD & EAVE
3" = 1'-0"



② SECTION DETAIL - TYP LEVEL 1 WINDOW HEAD
3" = 1'-0"



③ SECTION DETAIL - TYP LEVEL 2 WINDOW SILL
3" = 1'-0"



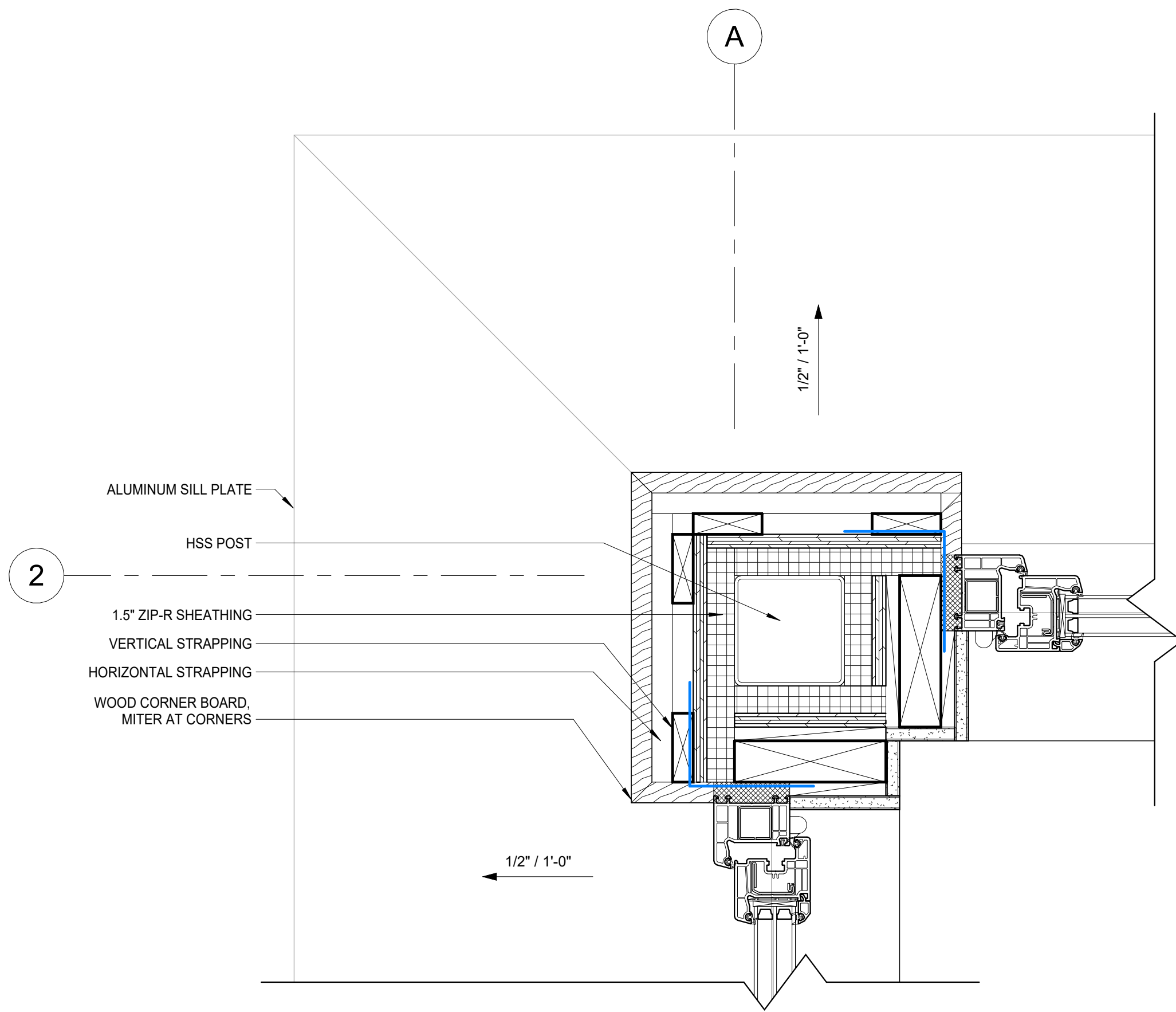
④ SECTION DETAIL - TYP LEVEL 1 WINDOW SILL
3" = 1'-0"

LAYER KEY	
	CONCEPTUAL VAPOR CONTROL LAYER
	VAPOR CONTROL MEMBRANE
	CONCEPTUAL AIR SEALING LAYER
	AIR SEALING MEMBRANE

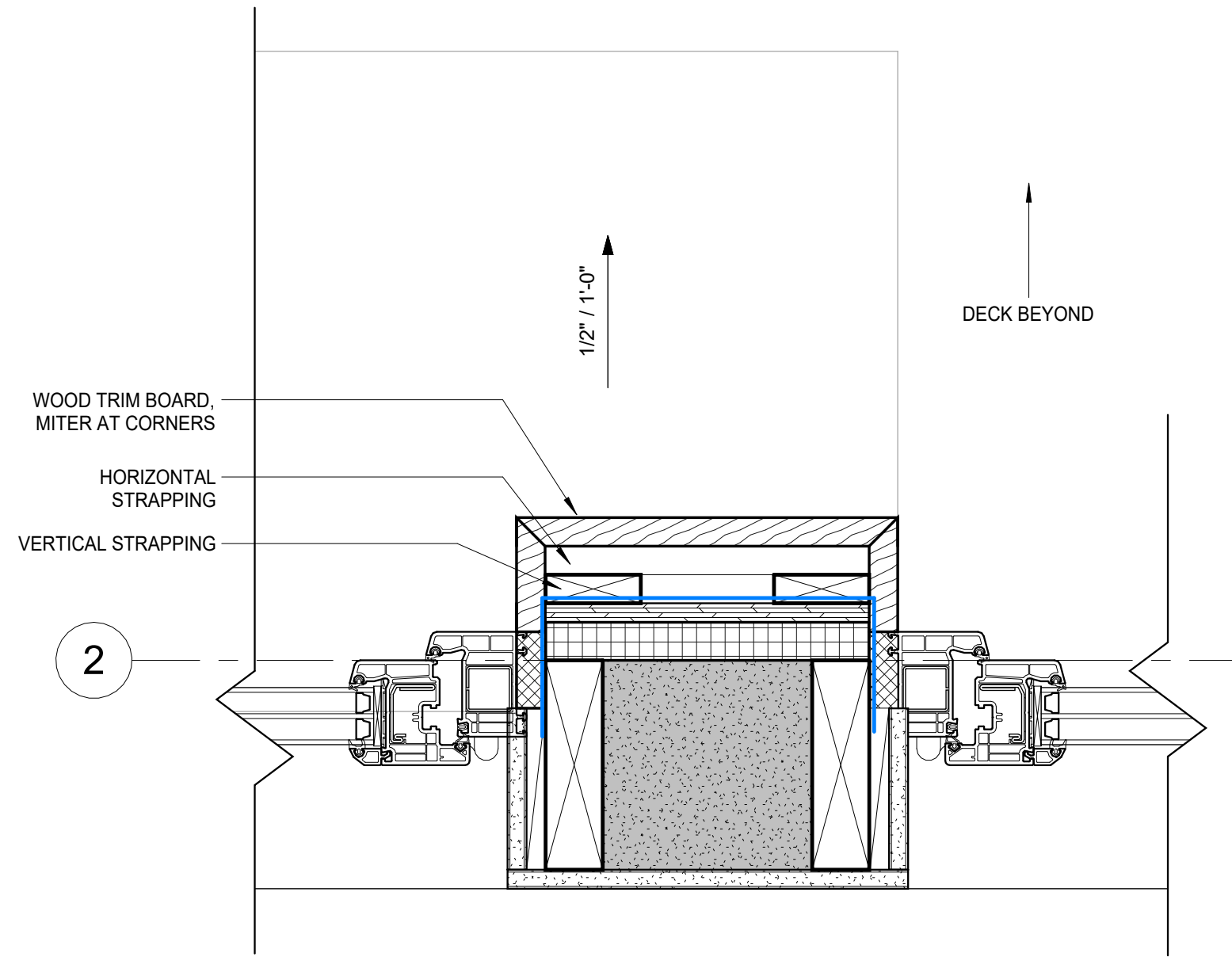
REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB

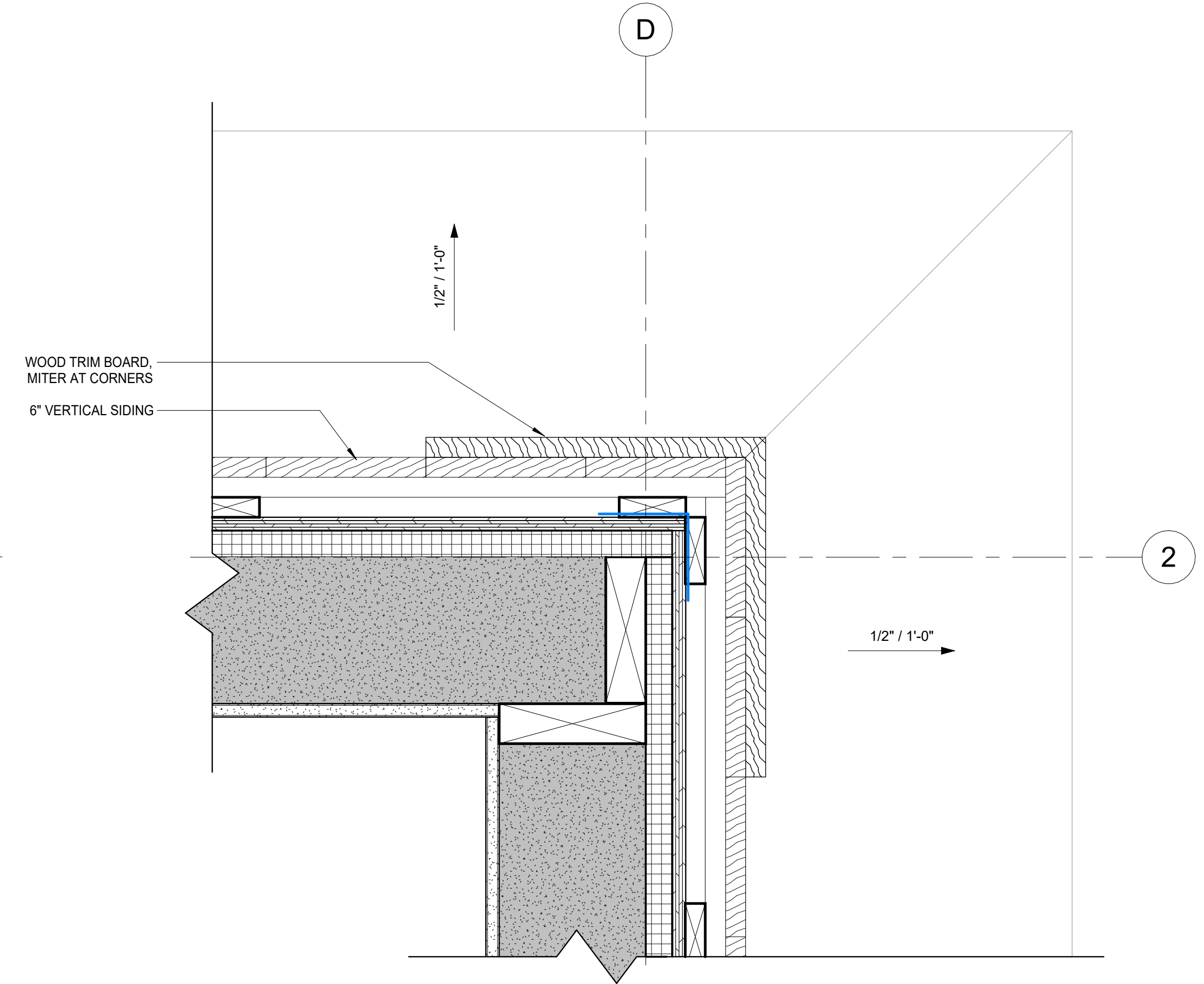
SHEET TITLE:
SECTION
DETAILS



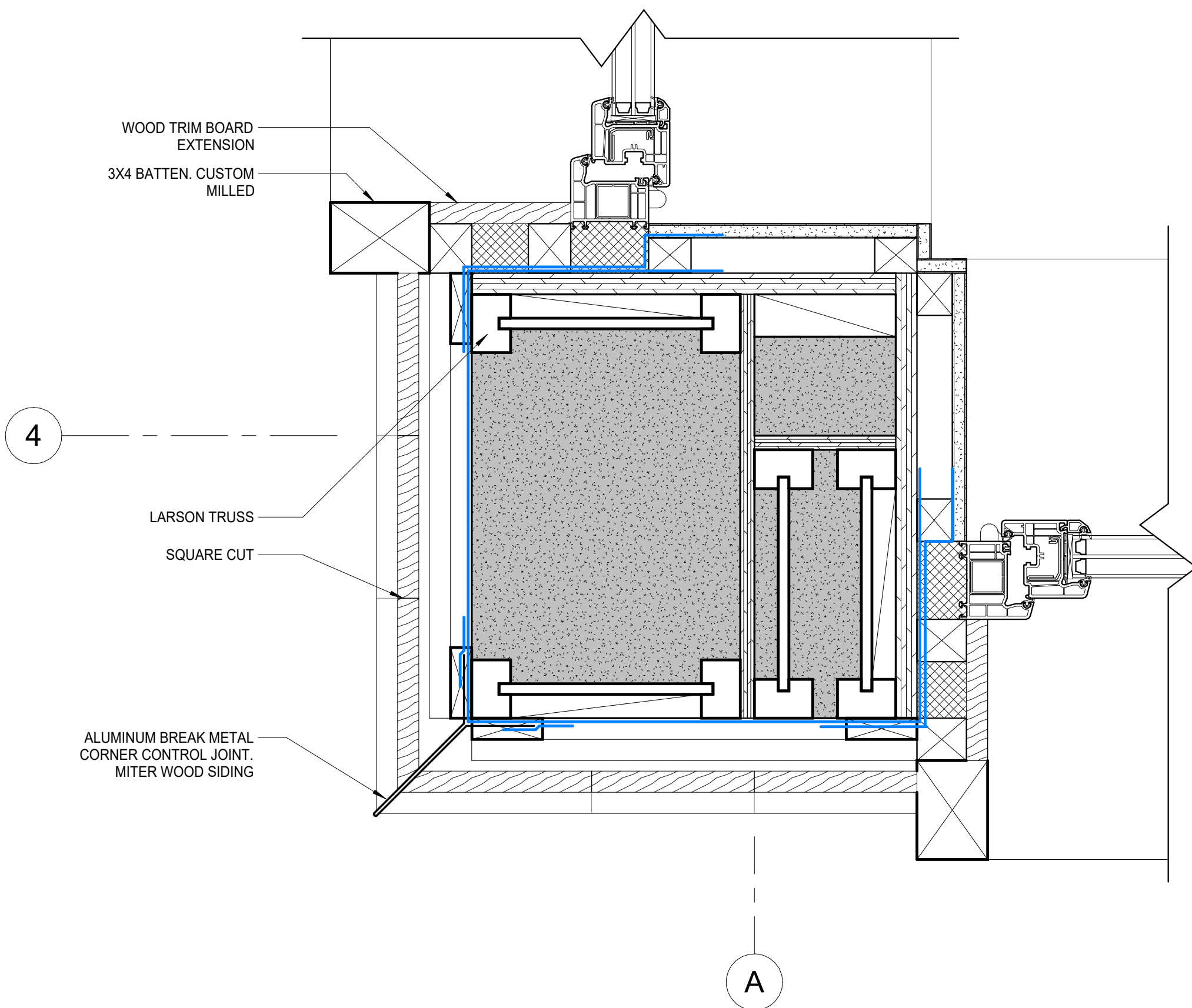
1 PLAN DETAIL - LEVEL 2 WINDOW CORNER
3" = 1'-0"



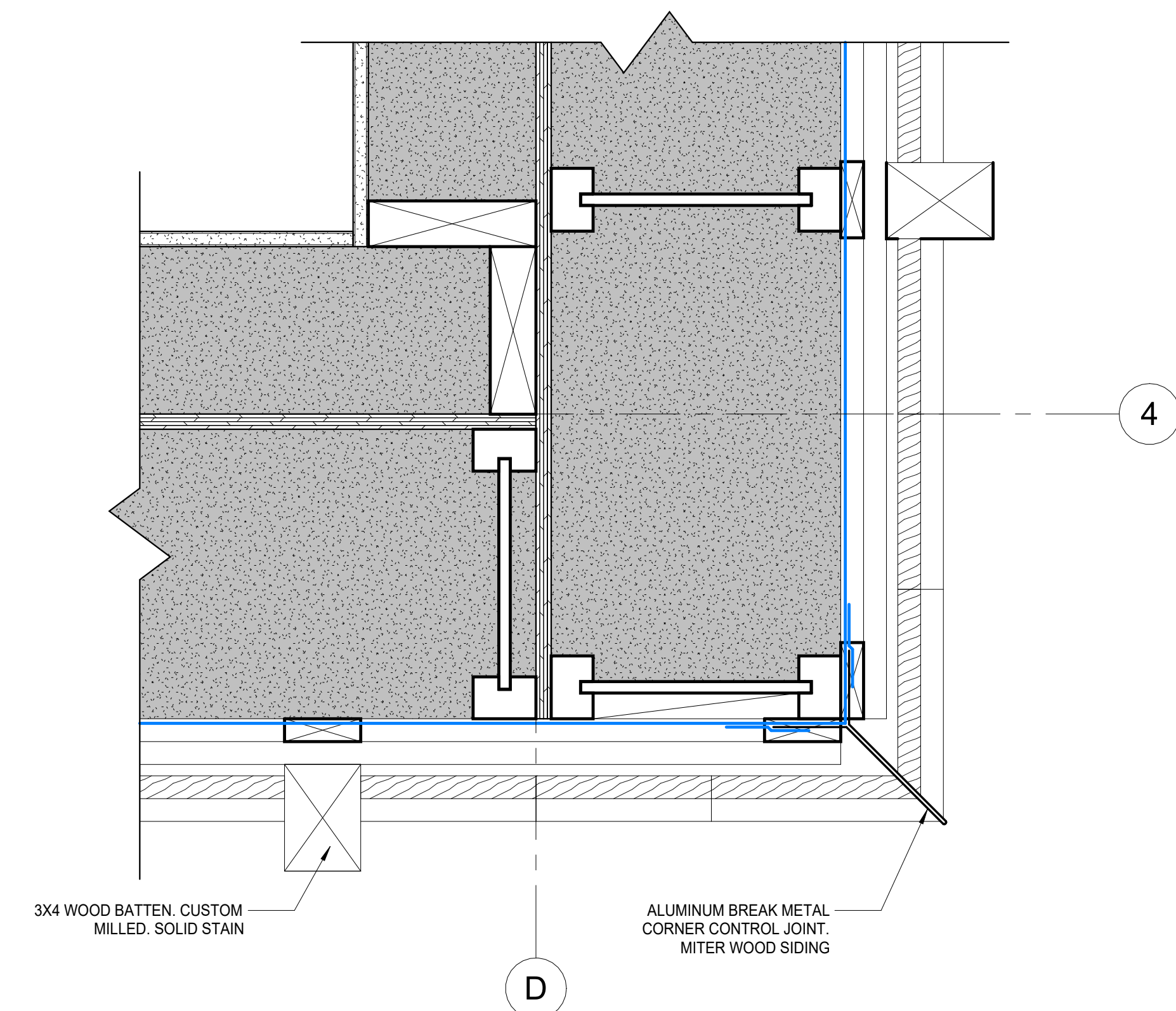
PLAN DETAIL - LEVEL 2 WINDOW & SLIDER DOOR JAMB
3" = 1'-0"



2 PLAN DETAIL - LEVEL 2 CORNER DETAIL
3" = 1'-0"



5 PLAN DETAIL - KITCHEN WINDOW CORNER
3" = 1'-0"



6 PLAN DETAIL - TYP CORNER CONDITION
3" = 1'-0"

LAYER KEY			
	CONCEPTUAL VAPOR CONTROL LAYER		
	VAPOR CONTROL MEMBRANE		
	CONCEPTUAL AIR SEALING LAYER		
	AIR SEALING MEMBRANE		

63 Chadwick Residence
Portland, Maine
CONSTRUCTION SET

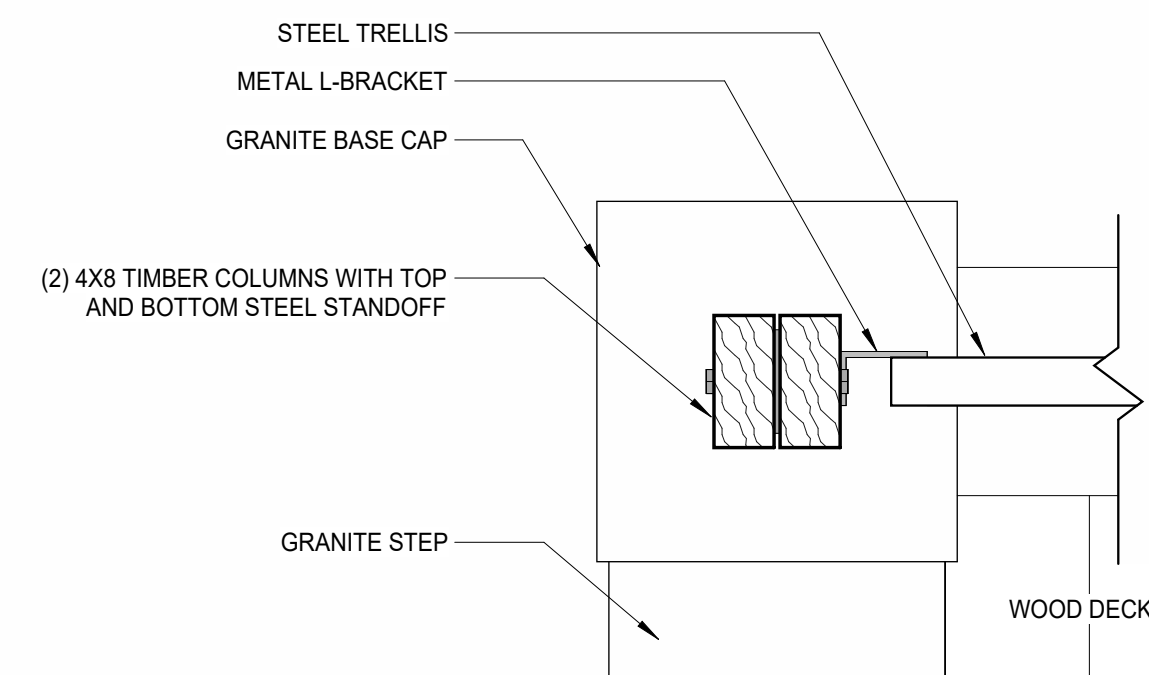
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CONSULTANTS:

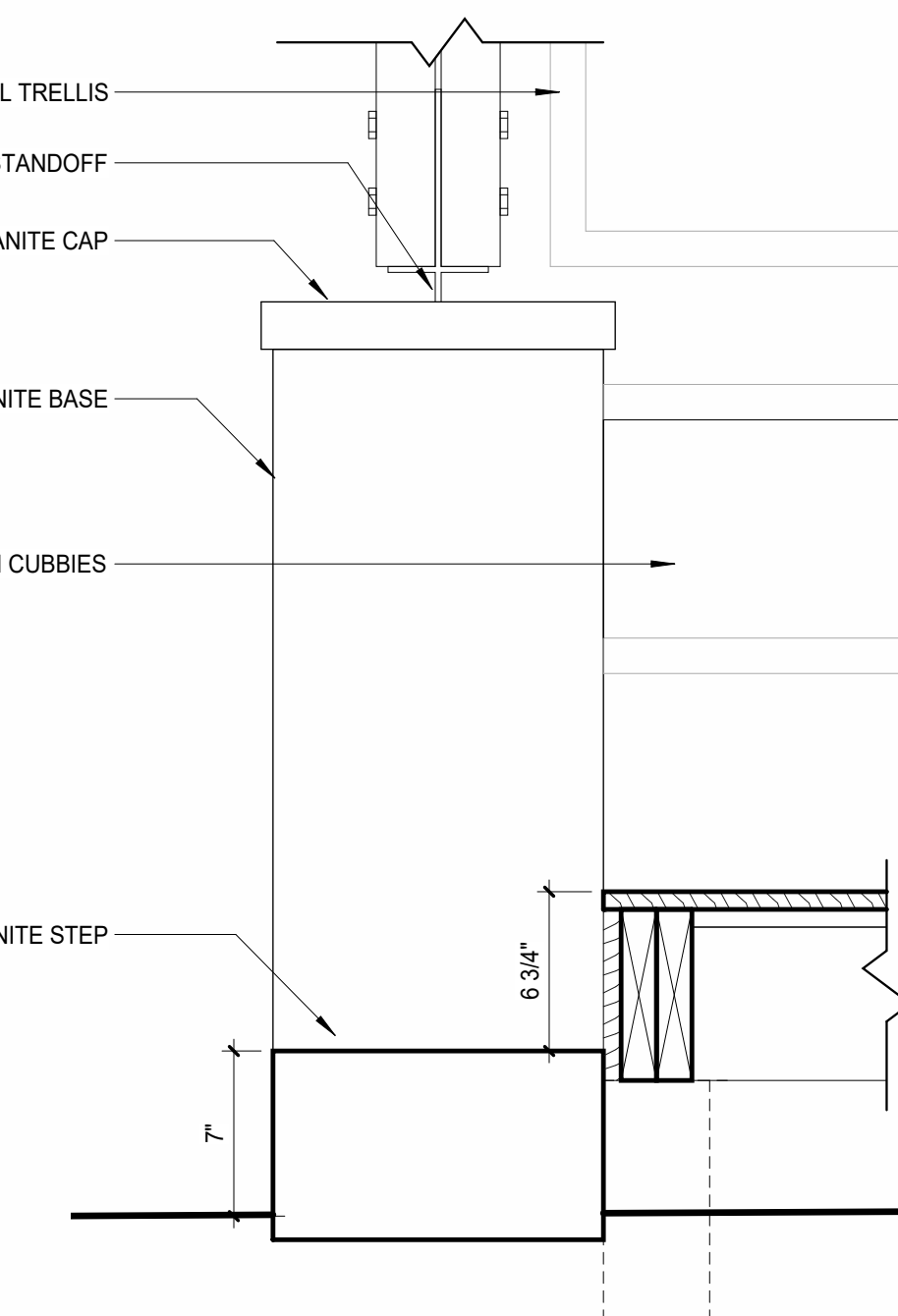
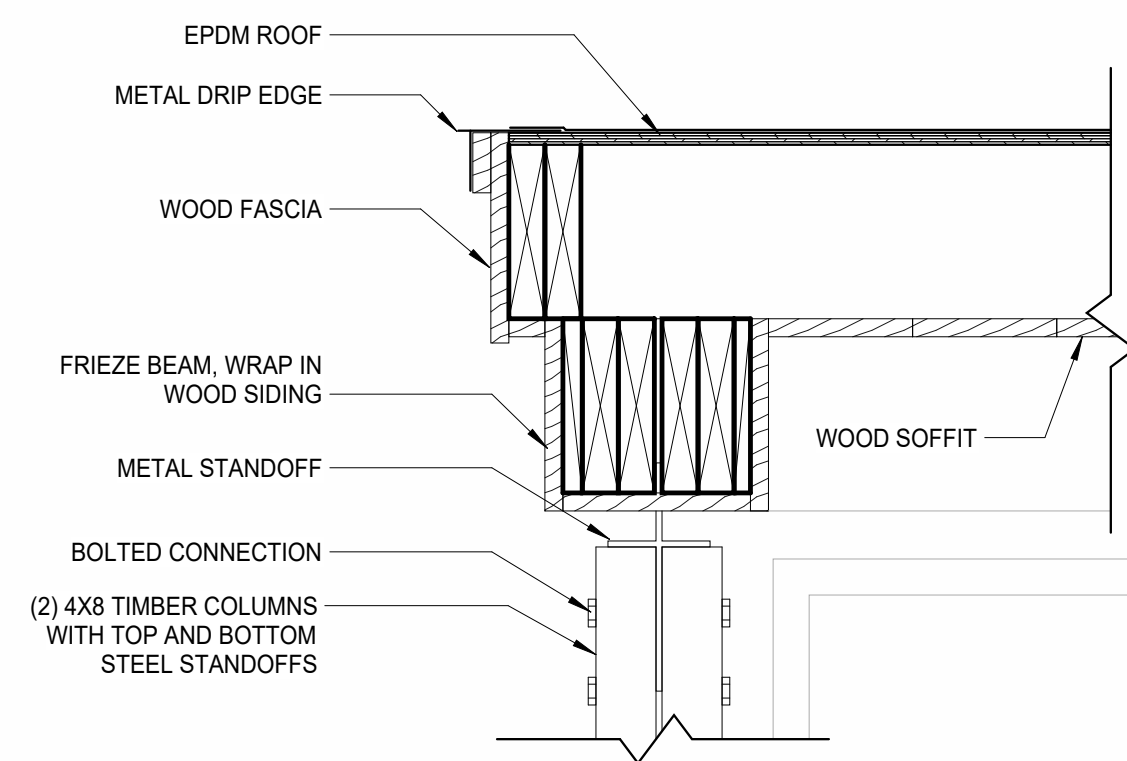
REVISIONS:		
No.	Name	Date

ISSUED: 09-26-22
PROJECT No: 2201
DRAWN BY: SD
CHECKED BY: CB
SHEET TITLE:
PLAN DETAILS

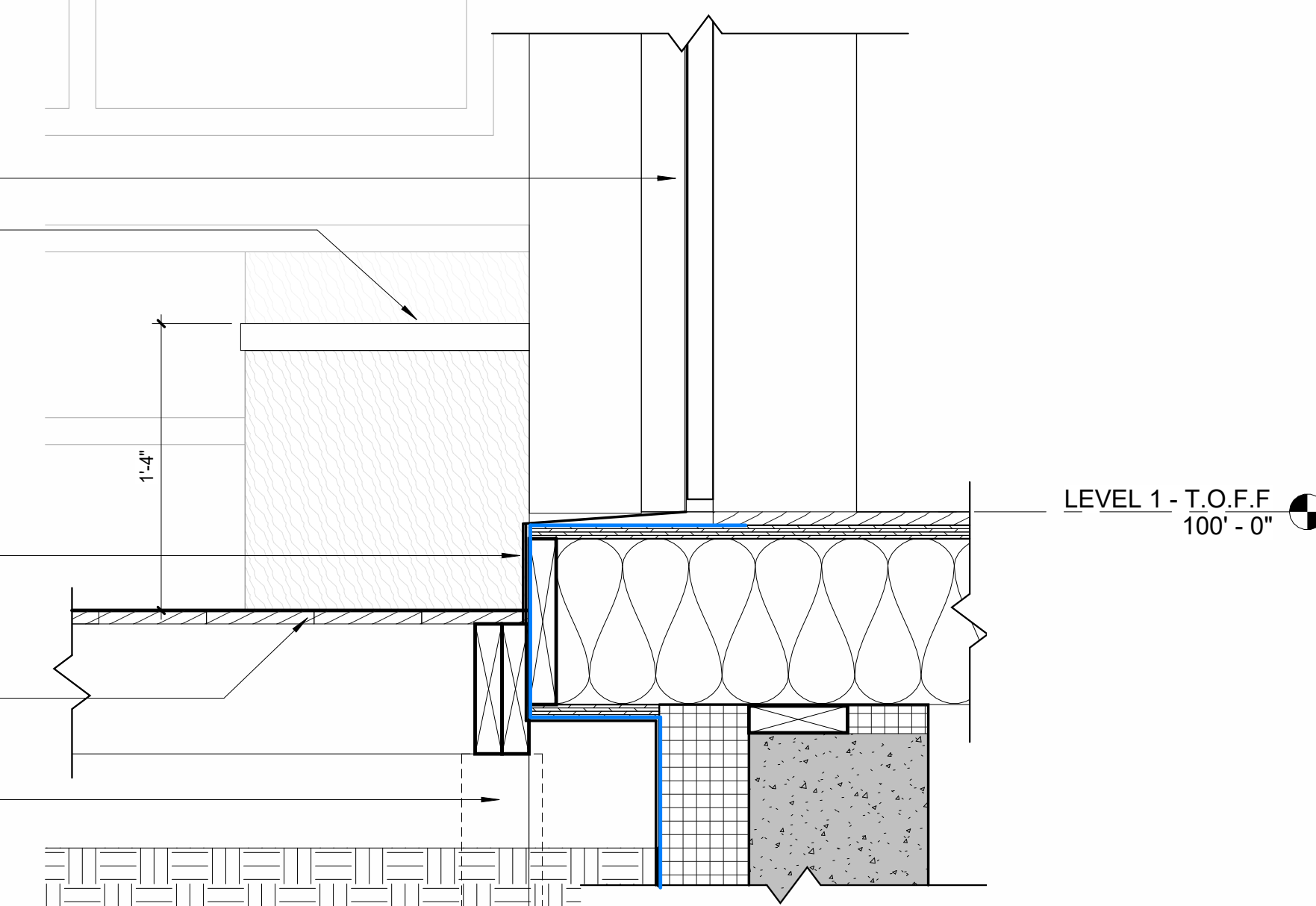
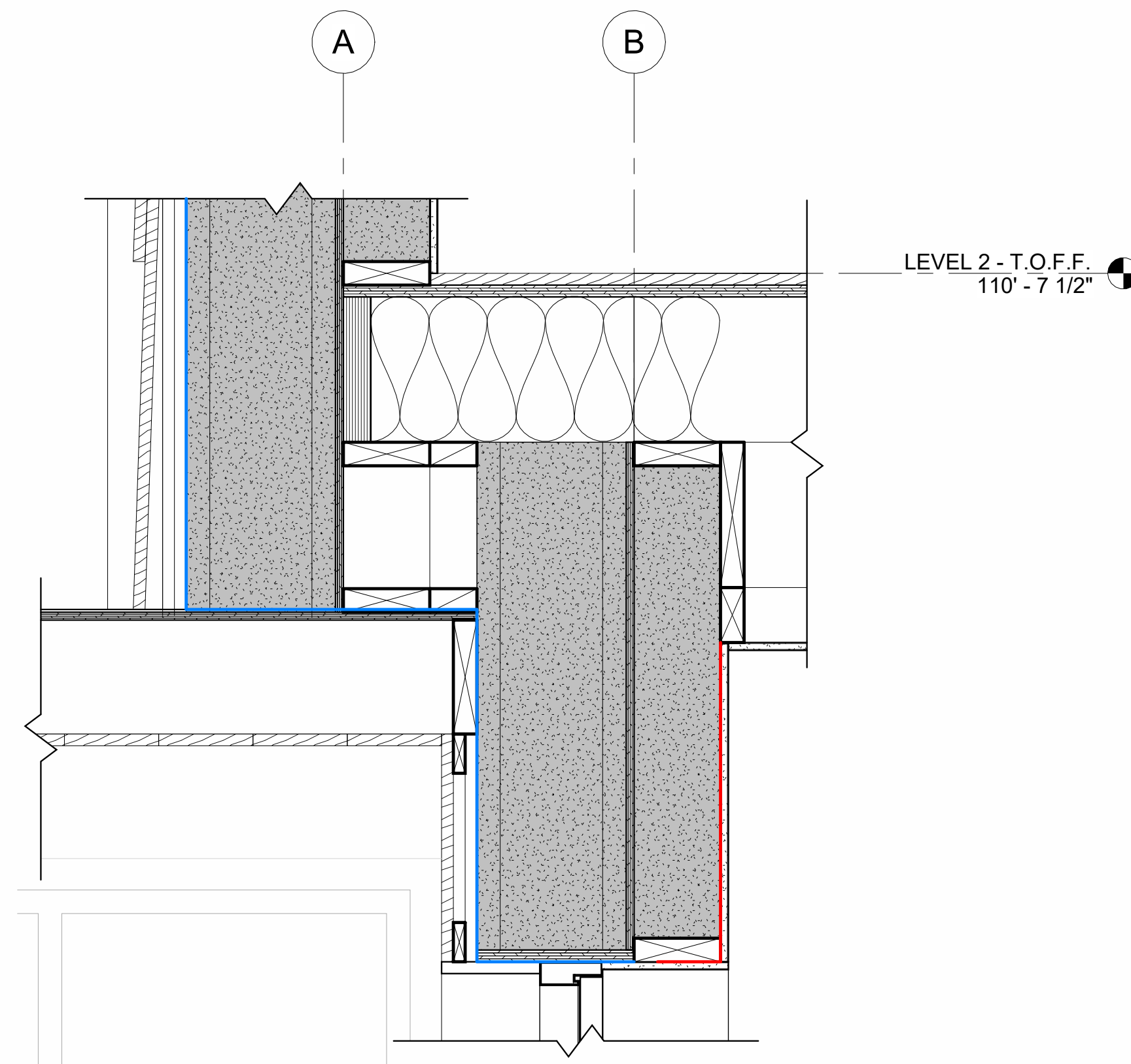
A403



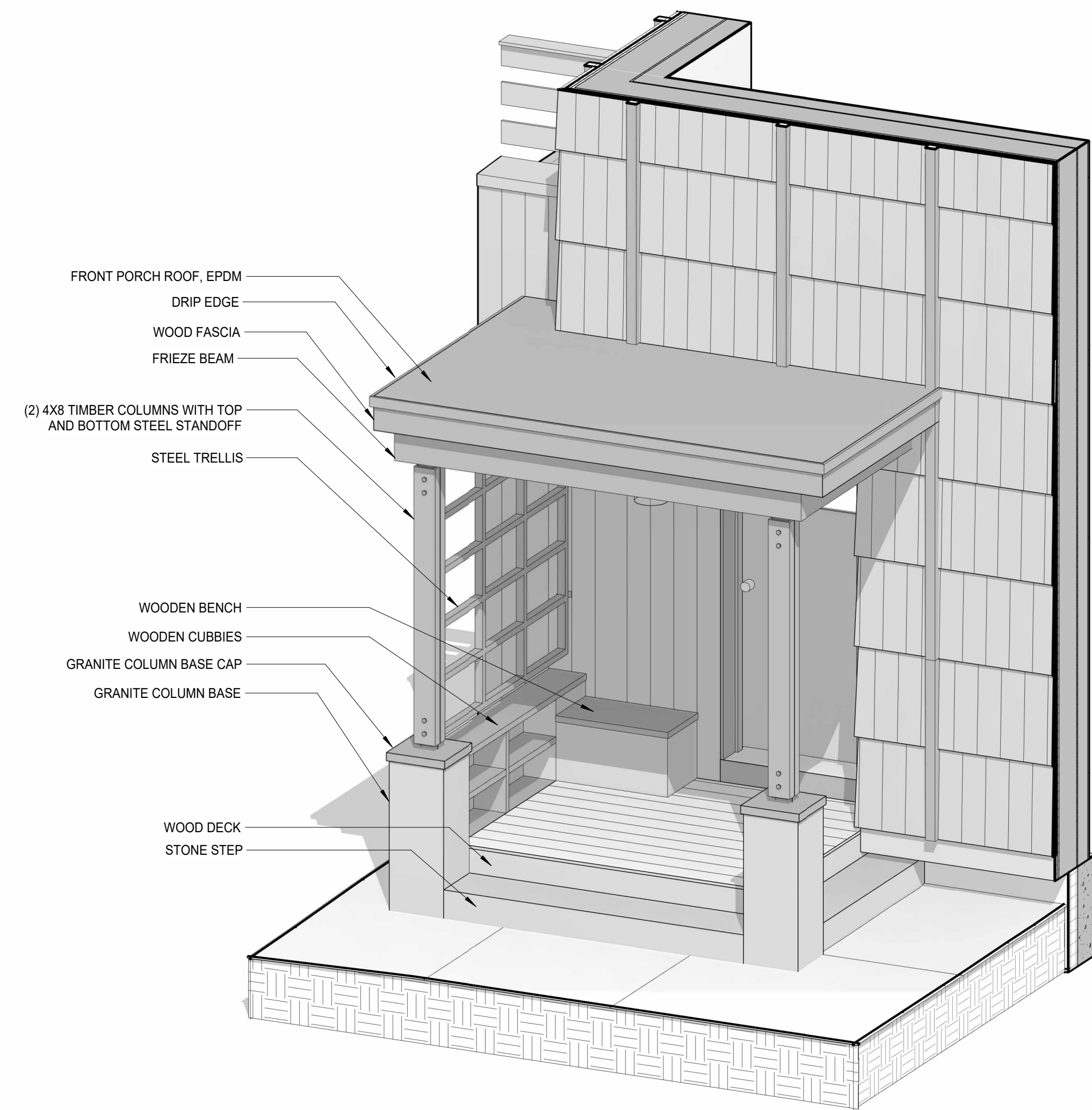
① PLAN DETAIL - FRONT PORCH COLUMN
1 1/2" = 1'-0"



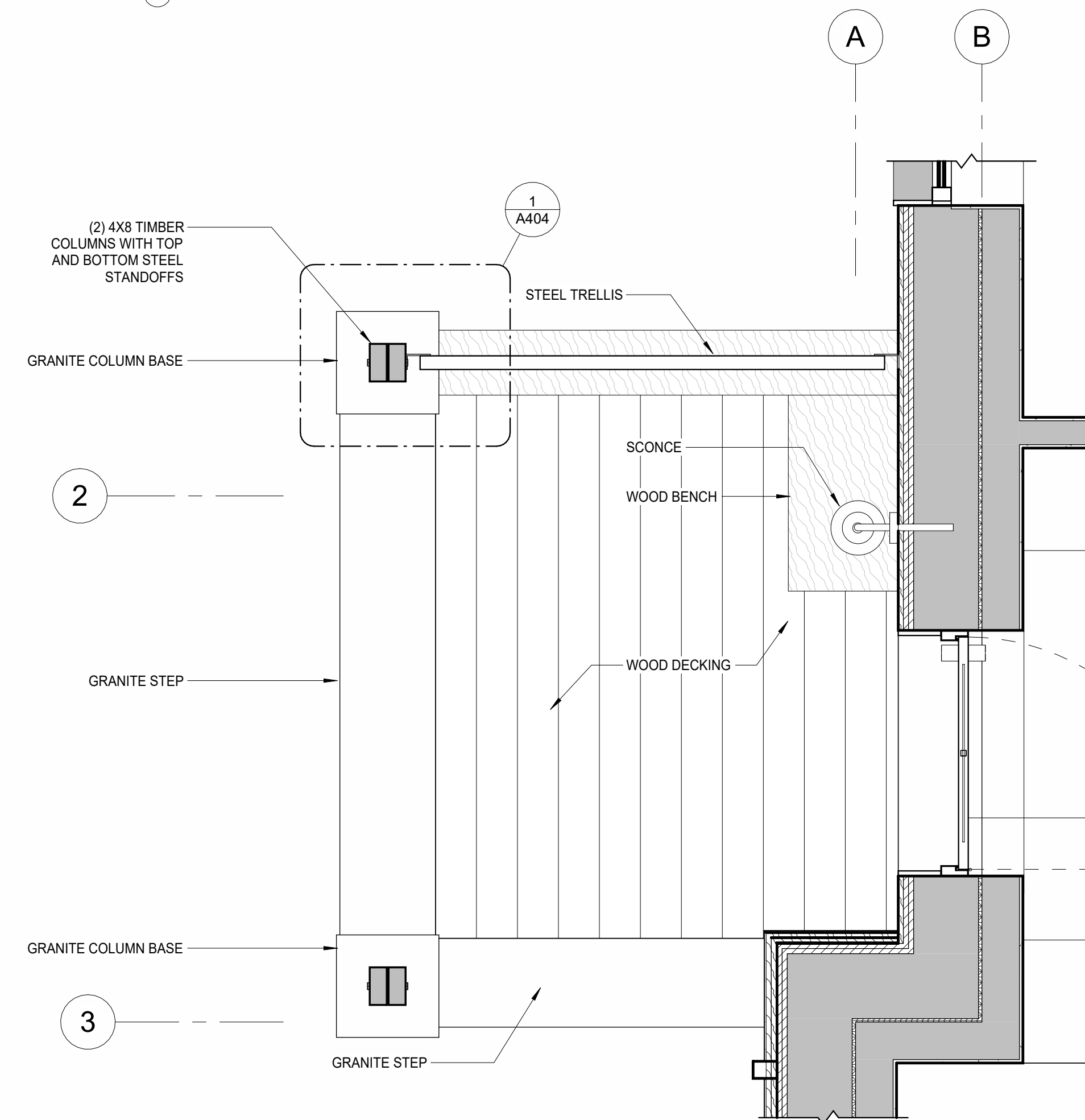
② SECTION DETAIL - FRONT PORCH COLUMNS
1 1/2" = 1'-0"



③ SECTION DETAIL - FRONT PORCH ENTRY
1 1/2" = 1'-0"



④ EXTERIOR PATIO AXON



⑤ ENLARGED PLAN - FRONT PORCH
3/4" = 1'-0"

REVISIONS:		
No.	Name	Date

DOOR SCHEDULE						
Mark	Width	Height	Operation	Panel Type	Comments	Manufacturer
100	2'-10"	6'-10"	SWING	WOOD VENEER, INSULATED	EXTERIOR DOOR - FRONT - 2X1 TOP LITE	Therma-Tru
101	3'-0"	7'-0"	SWING	FULL LITE	EXTERIOR DOOR - REAR	Logic
102	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
103	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
104	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
105	2'-4"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
106	4'-0"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
200	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
201	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
202	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
203	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
203	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
205	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
206	2'-8"	7'-0"	SWING	SOLID	INTERIOR	TruStyle
207	3'-0"	7'-4 3/4"	SWING	FULL LITE	EXTERIOR DOOR - DECK	Logic

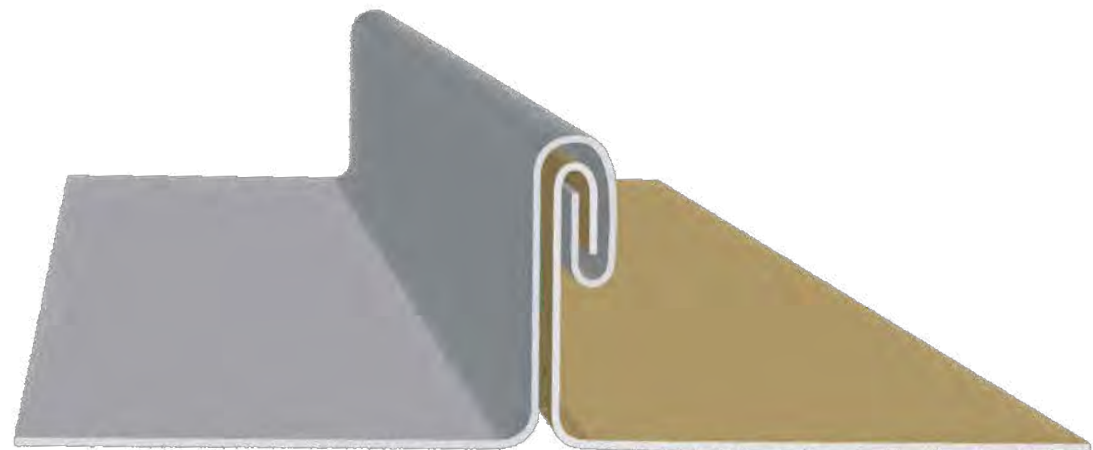
WINDOW SCHEDULE					
Type Mark	Count	Width	Height	Operation	Manufacturer
A	2	6' - 4 1/2"	5' - 2 5/8"	PARTIAL TILT TURN	Logic
B	2	3' - 2"	5' - 2 5/8"	PARTIAL TILT TURN	Logic
C	1	3' - 2"	11' - 1 1/4"	FIXED	Logic
D	1	3' - 2"	11' - 6 3/8"	TILT TURN	Logic
E	1	9' - 7"	1' - 6 3/8"	PARTIAL TILT TURN	Logic
F	1	3' - 2"	5' - 2 5/8"	FIXED	Logic
G	2	1' - 4"	3' - 8 5/8"	FIXED	Logic
H	1	7' - 4 3/4"	3' - 8 5/8"	PARTIAL TILT TURN	Logic
J	1	8' - 6"	6' - 10 1/2"	PARTIAL TILT TURN	Logic
K	1	9' - 7"	6' - 10 1/2"	PARTIAL TILT TURN	Logic
L	2	6' - 4 1/2"	6' - 10 1/2"	PARTIAL TILT TURN	Logic
M	1	6' - 4 1/2"	6' - 10 1/2"	PARTIAL TILT TURN	Logic
N	1	3' - 2"	6' - 10 1/2"	FIXED	Logic
P	1	16" - 0"	3' - 8 5/8"	FIXED	Logic
Q	1	6' - 4 1/2"	3' - 8 5/8"	TILT TURN	Logic
R	3	3' - 2"	3' - 8 5/8"	TILT TURN	Logic
S	1	3' - 2"	3' - 8 5/8"	TILT TURN	Logic
T	1	9' - 7"	3' - 8 5/8"	FIXED	Logic
U	1	6' - 4 1/2"	3' - 8 5/8"	PARTIAL TILT TURN	Logic
V	2	3' - 11 3/4"	7' - 7 1/4"	FIXED	Logic

GENERAL NOTES:

-ALL WINDOW FRAMES uPVC
-ALL OPERABLE WINDOWS TO COME WITH SCREENS



STANDING SEAM EXAMPLE



1.5" STANDING SEAM PROFILE

63 Chadwick Residence
Portland, Maine

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CONSULTANTS:

[illegible]

ISSUED: 09-26-22

PROJECT No: 2201

DRAWN BY: SD

CHECKED BY: CB

SHEET TITLE:
DOOR & WINDOW
SCHEDULE

A601

















63 Chadwick Street 0 views

Subscribe ☐

rwi...@portlandmaine.gov <rwiener@portlandmaine.g... 12:06 PM (26 minutes ago)
to Abigail Reed, Evan Schueckler, Historic Preservation

public comment for 7/6/22

----- Forwarded message -----

From: **Carol J. De Tine AIA** <carol@carriagehousestudio.com>
Date: Wed, Jul 6, 2022 at 11:10 AM
Subject: 63 Chadwick Street
To: Robert Wiener <RWIENER@portlandmaine.gov>

Good morning, Rob,

Please accept the following public comment for tonight's workshop.

For almost 20 years, Dan and Joan Amory's gardens have been enjoyed by everyone who lives on or walks through the adjacent alley. We have benefited significantly as we overlook their gardens from our living spaces. The gardens also provide us with shade from the afternoon sun which has made our second floor spaces more comfortable.

Reviewing Briburn's submission, we are pleased to see that we will continue to benefit from the Amory's mature gardens, now with a beautifully-designed house nestled into them. We appreciate that our neighbors are prioritizing their gardens over their automobiles, and in particular, that they are not building a garage or parking area off of the alley. While a driveway off of Chadwick Street is unusual when a service alley is available, in the immediate context of that section of Chadwick Street, a driveway is not out of place. All three modern houses across the street have driveways leading to front-facing garages. That this one does not lead to a garage is an improvement on the local context, in our opinion.

We fully support the Amory's submission.

Thank you,

Carol De Tine & Roger Woodman

Carol De Tine AIA
Maine Licensed Architect

Carriage House Studio Architects LLC

144 Vaughan Street
Portland Maine 04102
207 318 0731

www.carriagehousestudio.com

**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Pollard and Members of the Historic Preservation Board
FROM: Evan R. Schueckler, Historic Preservation Program Manager
DATE: October 14, 2022
RE: 11 O’Brion Street – FIRST WORKSHOP – Alterations
PROJECT ID: HPBR-002110-2022
MEETING: October 19, 2022

Owner: MacKenzie Arsenault
Architect: Kevin Moquin, Kevin Moquin Architect, LLC

A sign announcing the Historic Preservation Board’s meeting on October 19, 2022 was posted at the property on October 7, 2022. A legal ad was published in the Portland Press Herald on October 7, 2022 and October 8, 2022, and 46 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

Remove two original gabled dormers at the south roof slope and remove portions of north and south roof slopes. Remove majority of roof at rear el. Remove non-historic rear deck and steps. Construct new shed-roof dormers clad in clapboard siding at north and south roof slopes. Reconstruct third floor of rear el with new clapboard clad walls and new roof with necessary head height clearances for occupancy. Construct new three-story rear deck and exterior stairs at rear el clad in horizontal screen wall.

SUMMARY OF HISTORIC CONTEXT



Figure 1: Map of the Munjoy Hill Historic District showing location of 11 O'Brien Street with star.



Figure 2: 1924 Tax Assessors photo of 11 O'Brien (then 9-11 Beckett Street).

11 O'Brien Street (historically 9-11 Beckett Street) is a contributing building in the Munjoy Hill Historic District. Constructed around 1864 in the Italianate Style, the structure is two-and-a-half

stories tall, with a two-and-a-half story rear el. The building has been altered since the 1924 Tax Photo, having been entirely clad in vinyl siding and metal trim/flushing, along with alterations to several window openings at the south elevation. Regardless, the building retains its overall massing, much of the original fenestration pattern, and some remnants of the historic trim details, in particular at the historic primary entrance.

STAFF COMMENTS

The first threshold question for the Board's consideration is whether the existing gabled dormers are character-defining features of the historic structure. They appear to be original to the building, being shown in the 1924 tax photo, and they retain their overall shape, massing, and fenestration. However, the dormers have been clad in vinyl siding and aluminum trim/flushing. This does obscure any historic trim or details and negatively impacts their historic integrity and character.

If the board finds that the dormers are not a character-defining feature of the historic structure, then discussion of the proposed dormers should focus on their overall appropriateness regarding size, placement, and design. Generally, the proposed shed-roof dormers are set back from the front elevation allowing the original gabled roof to remain visible, and are simple in design and detail so as not to detract from the historic form of the house. The dormers are also proposed to not exceed the existing ridge height and would retain the existing eaves, generally nesting the dormer within the existing roof planes.

If the Board finds that the dormers are character-defining, then the additional threshold question of whether the existing fabric of the dormers should be retained, or if their overall form could be recreated. The applicant had presented staff with a design for the new dormers that would recreate the gable ends in the approximate location of the existing, and bridging between them with a shed roof to allow for additional headroom at the third floor. These designs have been included in the "other explorations" section of the application materials. Staff would recommend that the dormer gables only be included at the two locations where gabled dormers historically existed regardless of whether this creates an asymmetrical appearance. The structure was historically asymmetrical except for at the south elevation of the primary mass of the structure.

Alternatively, the Board may find that the existing dormers should be retained and that a new shed roof dormer may be appropriate between the gabled dormers and at the north elevation. One consideration of this finding is that it would reduce the square footage that the owner can utilize at the third floor given that the existing dormers are slightly setback from the wall plane of the first two stories and they are currently proposing to align the new dormers with this wall plane.

The applicant is also proposing to redesign the roof of the rear el to accommodate a new bedroom. The current roof is too low to accommodate an occupied space due to the narrowness of the rear el. The roof of the el at the south elevation will be raised to appear like a shed roof

dormer, retaining the eave of the existing roof. At the north elevation, the roof will align with the existing, as it does currently, but the ridge will be raised to align with the primary roof. The proposed dormer at the north elevation will extend onto the el to create the needed headroom. Generally, this change will be minimally visible from O’Brion Street, and retention of the eave will help to break down the scale of the new dormer and allude to the historic roof form at the rear el. The roof of the rear el is not distinctive and does not appear to be character-defining.

Additionally, the applicant is proposing a new three-story rear deck in the same footprint as the existing single-story deck, with a new exterior staircase at the rear of the rear el, where it is not visible. The deck will be partially enclosed with a screen wall. Currently the applicant is proposing a horizontal arrangement to the screen wall as staff had recommended exploring that to help make the new deck feel shorter and to be compatible with the horizontal siding of the historic structure. The applicant had explored vertically oriented screen walls; however, staff had concerns about their compatibility. In other iterations, the form of the porch was more complicated or taller, and staff found that those designs detracted from the existing building. The proposed deck will be visible from O’Brion Street; however, it is significantly set back from the street, will not cover or obscure historic features or the overall form of the house, and will be clearly differentiated by its screen-wall cladding.

ANALYSIS OF APPLICABLE REVIEW STANDARDS

Standards for Review of Alterations, 17.8.2:

Standard 1	
Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration to the character defining features of the structure, object, or site and its environment or to use a property for its originally intended purpose.	
Standard Met?	Staff Comments
Yes	The applicant is proposing a compatible continued residential use for this structure.

Standard 2	
The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.	
Standard Met?	Staff Comments
For Board Discussion	The applicant is proposing to remove two historic gabled dormers at the south elevation and to replace them with a single longer shed roof dormer. While these dormers are original to the structure, the Board may find that they are not character-defining or distinguishing for the structure.

Standard 3	
All sites, structures, and objects shall be recognized as products of their own time, place, and use. Alterations that have no historical basis or create a false sense of historical development, such as adding conjectural features or elements from other properties, shall be discouraged.	
Standard Met?	Staff Comments
For Board Discussion	The applicant had considered and proposed a dormer design that would recreate the existing gabled dormers in conjunction with the new shed-roof dormer. The Board should consider whether this is appropriate where the gabled dormers are existing, or whether recreating the historic dormers would create a false sense of history. Constructing gabled dormers on the north elevation where they were not historically present would create a false sense of historical development.

Standard 5	
Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize a structure, object, or site shall be treated with sensitivity.	
Standard Met?	Staff Comments
For Board Discussion	The applicant is proposing to remove two historic gabled dormers at the south elevation and to replace them with a single longer shed roof dormer. While these dormers are original to the structure, the Board may find that they are not distinctive features for the structure. Additionally, the Board should consider that the material integrity of the dormers is limited given they have been covered with vinyl siding and metal flashing/trim obscuring any historic details.

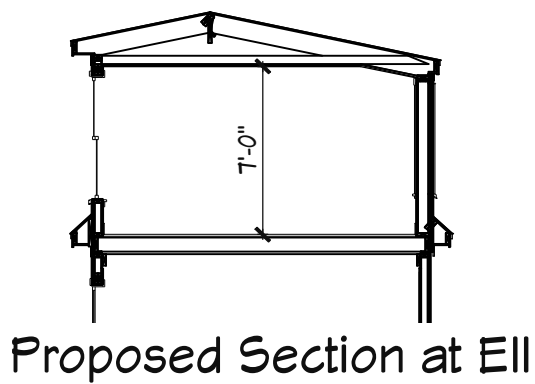
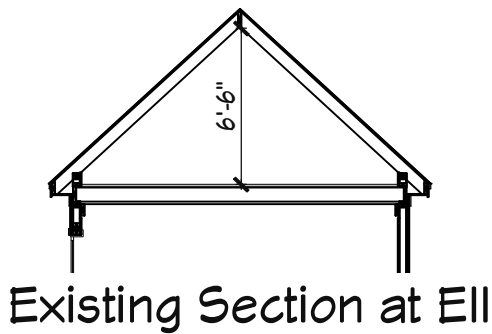
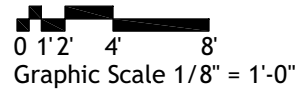
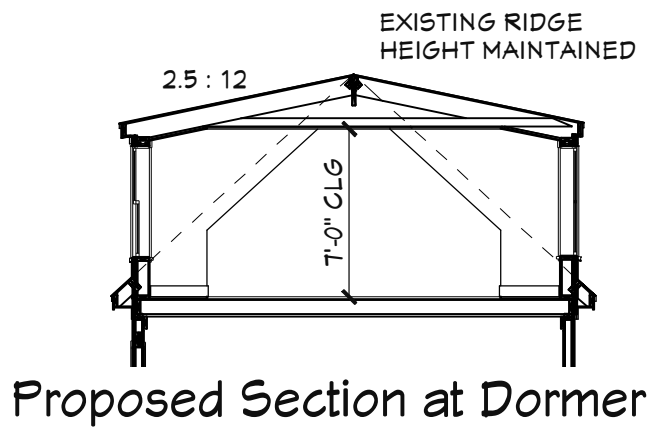
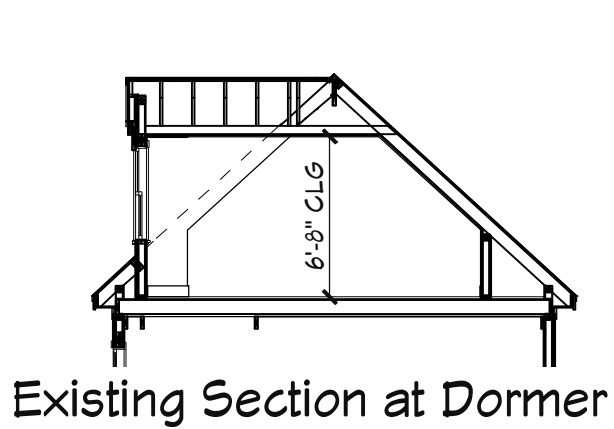
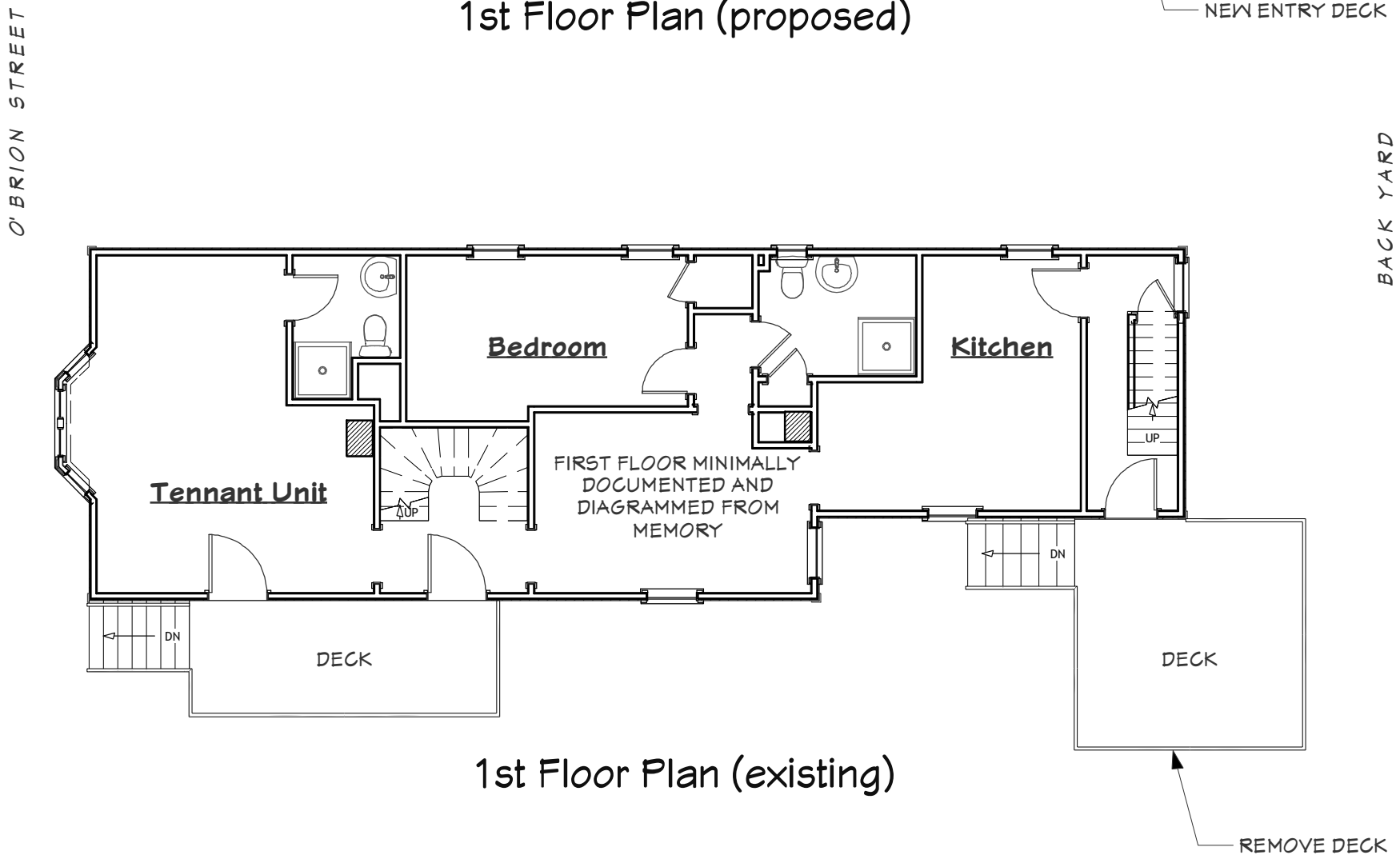
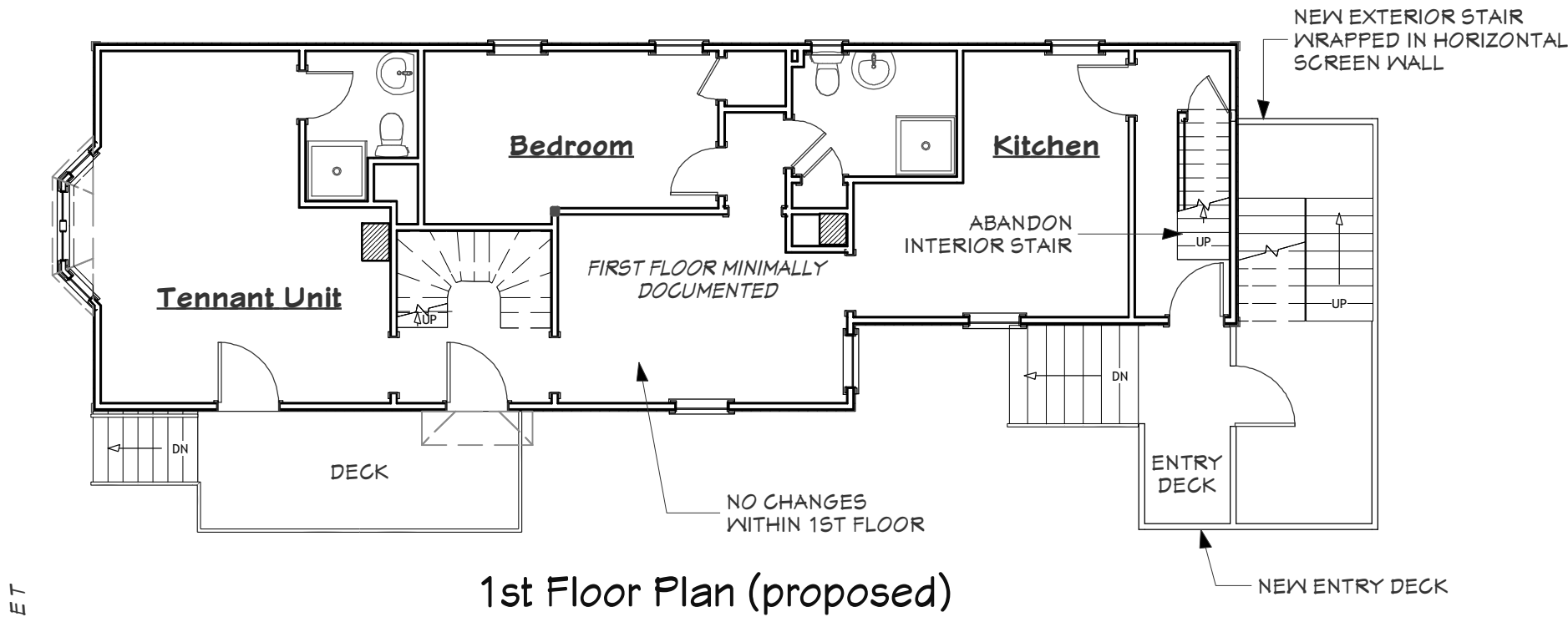
Standard 6	
Deteriorated historic features shall be repaired rather than replaced wherever feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the feature being replaced in composition, design, texture, and other visual qualities and, where possible, materials. Repair or replacement of missing historic features should be based on accurate duplications of features, substantiated by documentary, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.	
Standard Met?	Staff Comments
For Board Discussion	The applicant is proposing to remove two historic gabled dormers at the south elevation and to replace them with a single longer shed roof dormer to allow for increased usability of the third floor. The applicant is currently proposing that the new dormer not recreate the appearance of the historic dormer in any way.

Standard 9	
Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural, or archaeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material, and character of the property, neighborhood or environment.	
Standard Met?	Staff Comments
For Board Discussion	The applicant is proposing shed roof dormers and a differentiated screening system for the rear deck. However, the proposed shed roof dormer will require removal of two gabled dormers.

Standard 10	
Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.	
Standard Met?	Staff Comments
For Board Discussion	The proposed shed roof dormers and rear deck would be removable at a future date largely leaving the original form of the house intact, except for the historic gabled dormer should the Board determine that they are essential to the form and integrity of the historic structure.

ATTACHMENTS

1. Applicant Drawings



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11 O'Brion

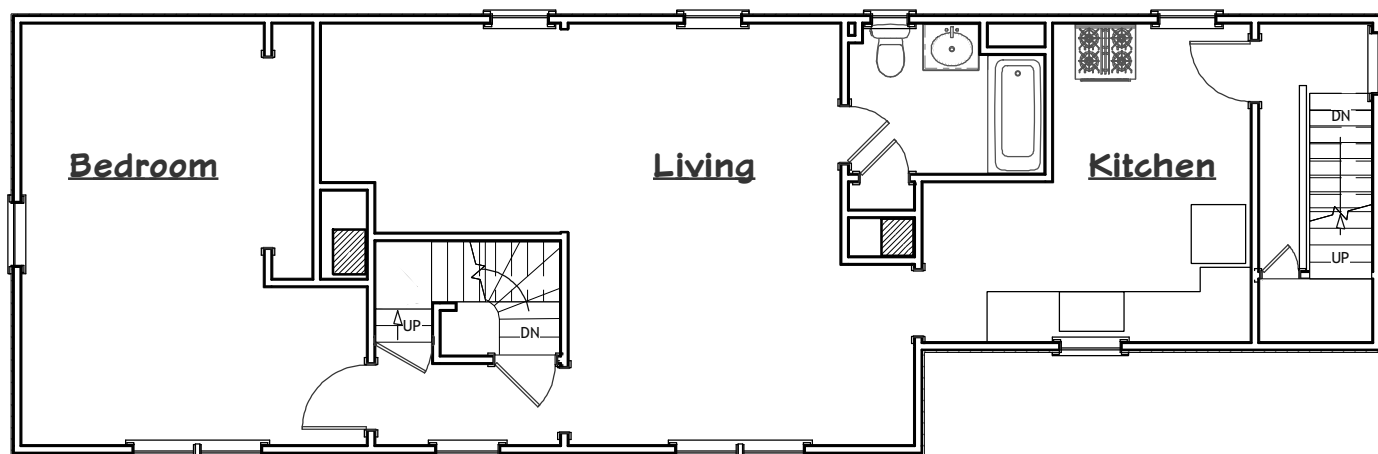
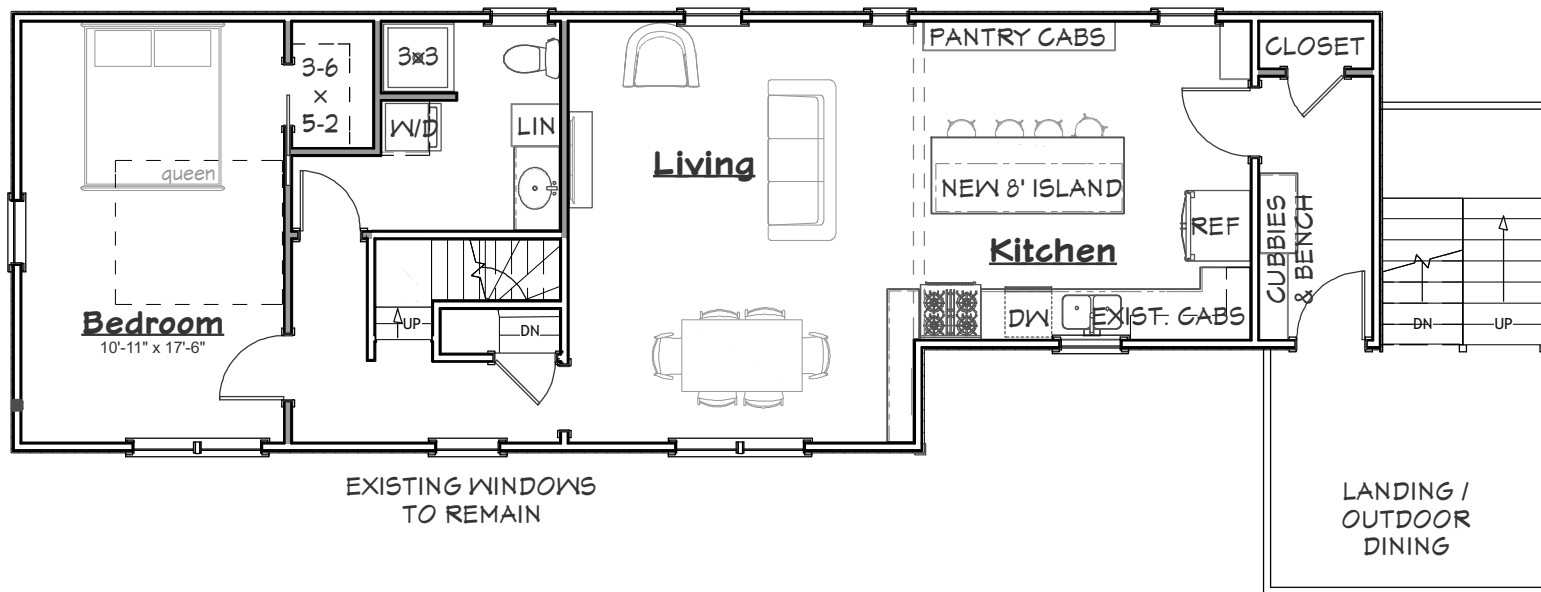
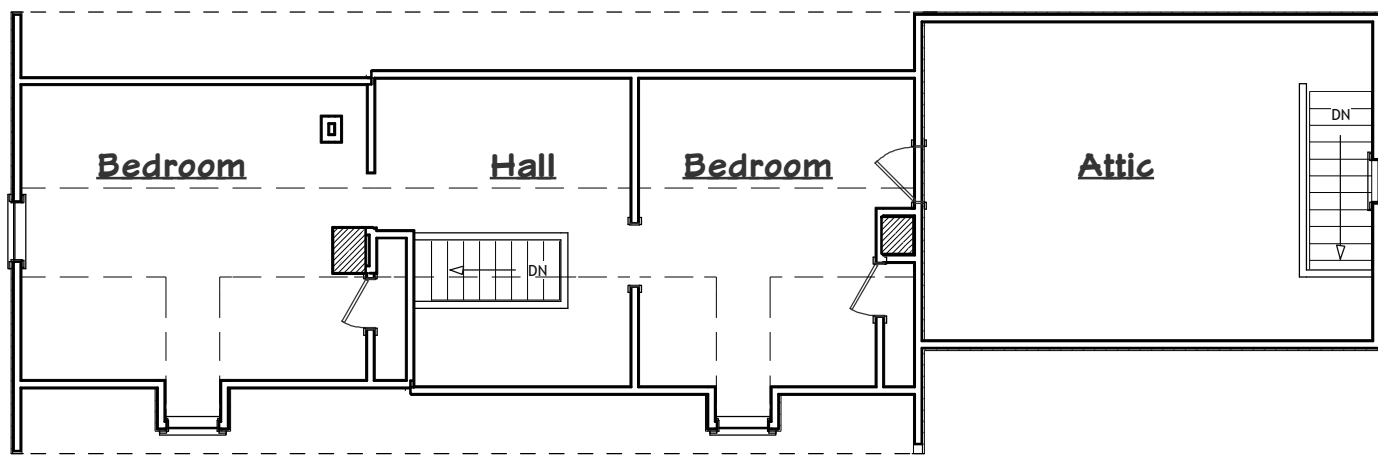
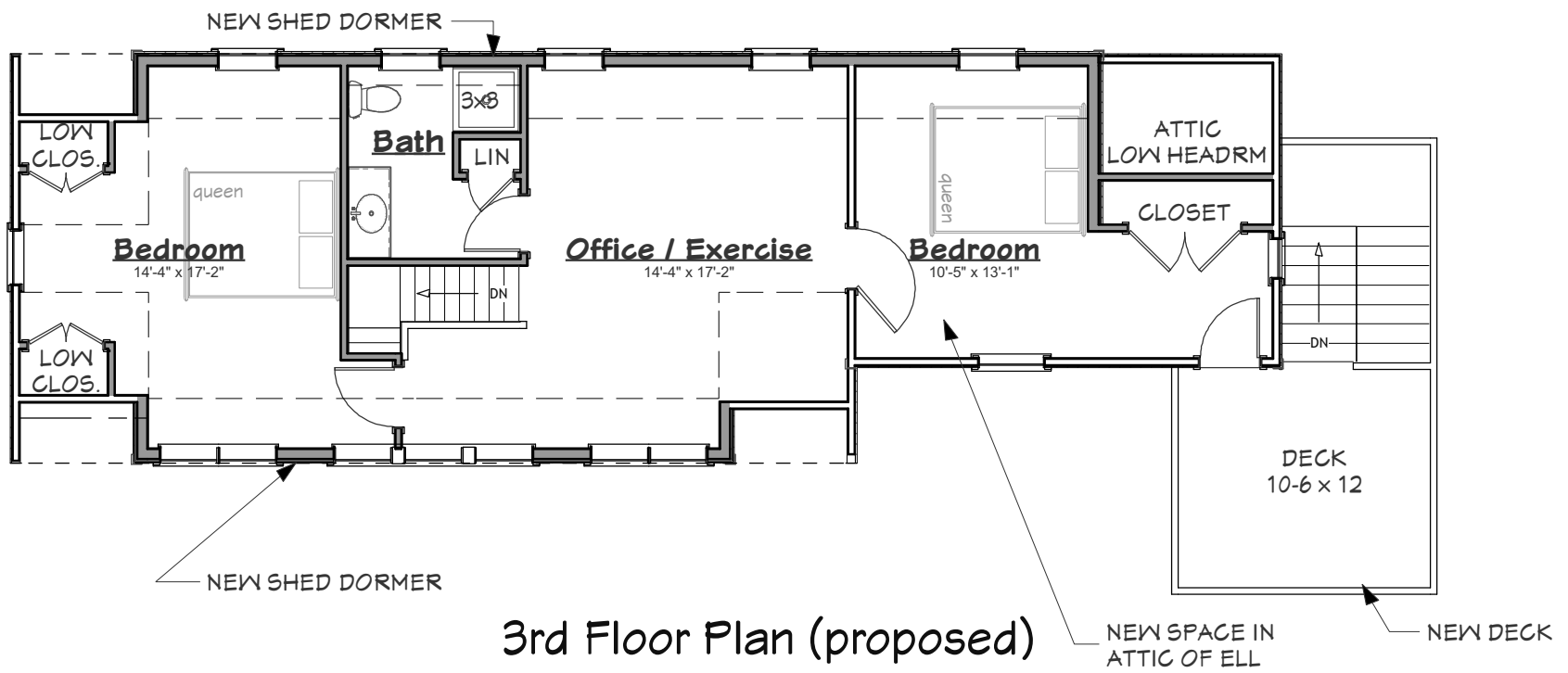
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BACK YARD

BACK YARD



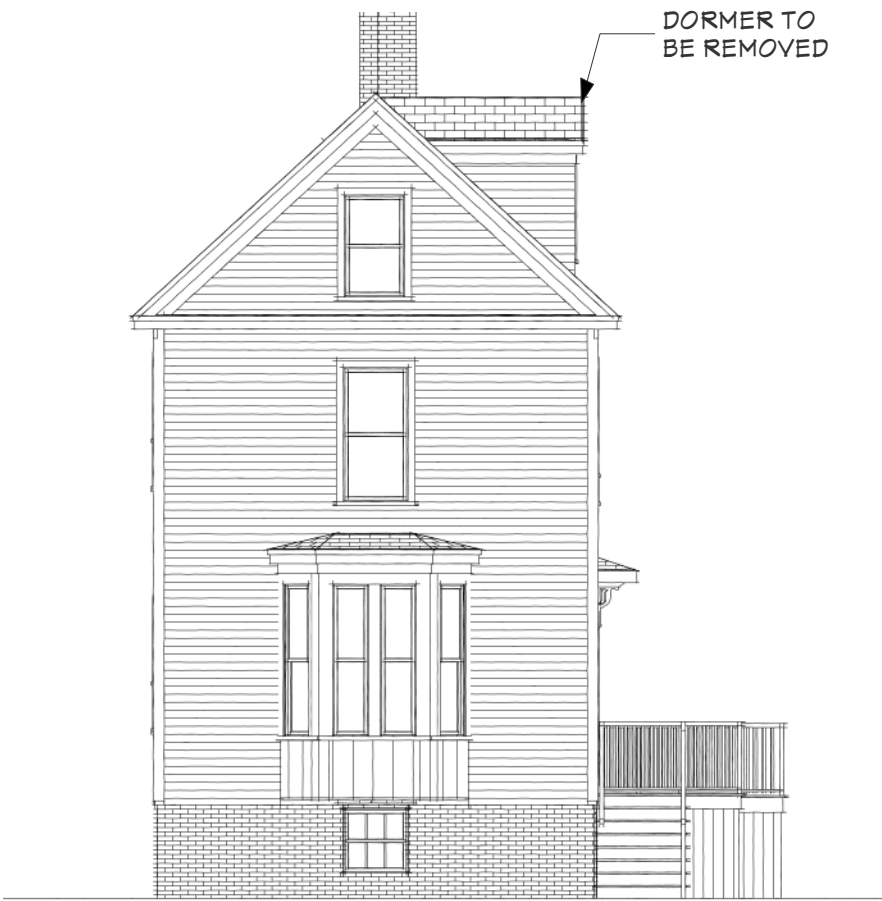
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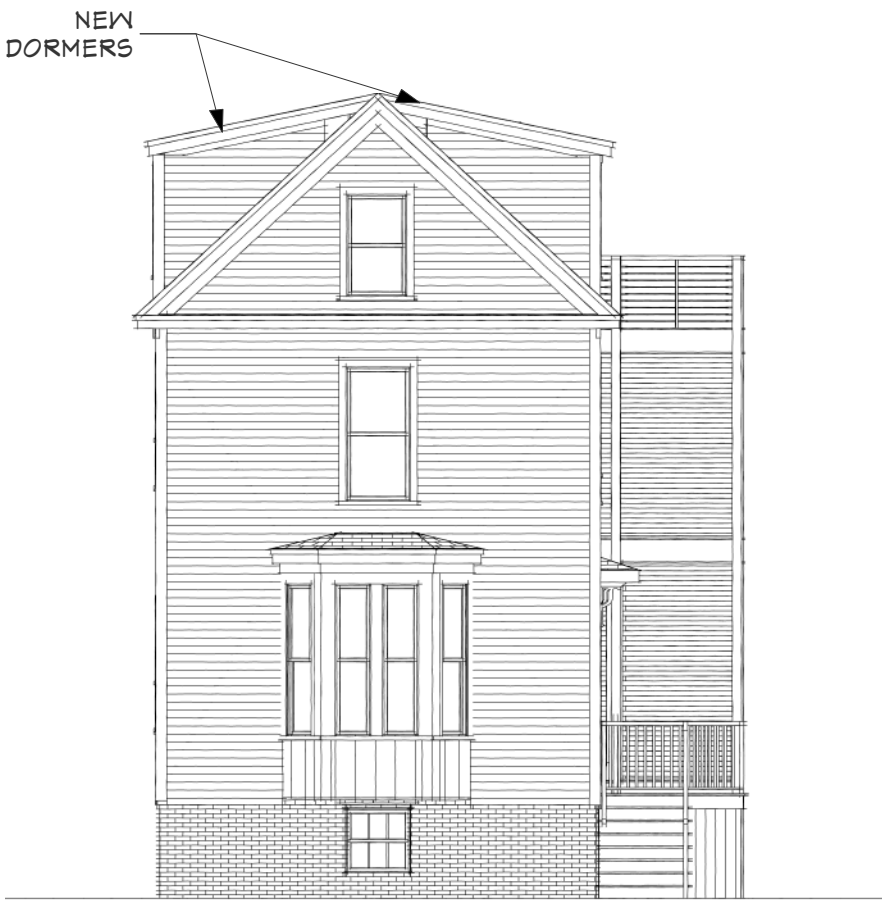
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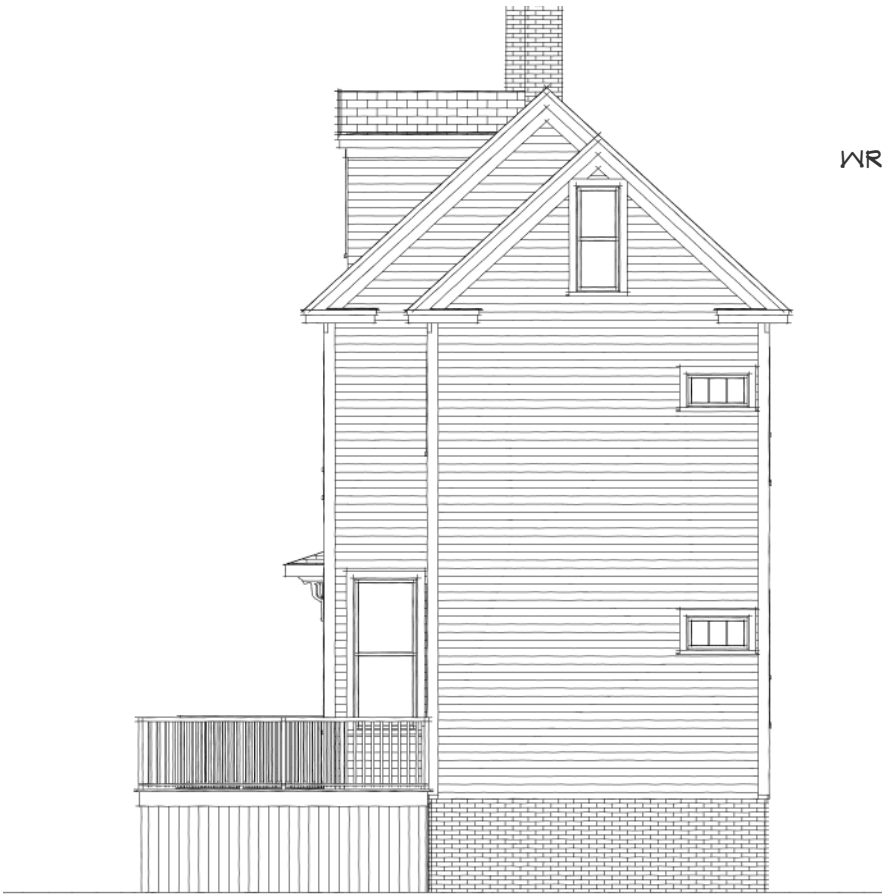
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West Elevation (Existing)

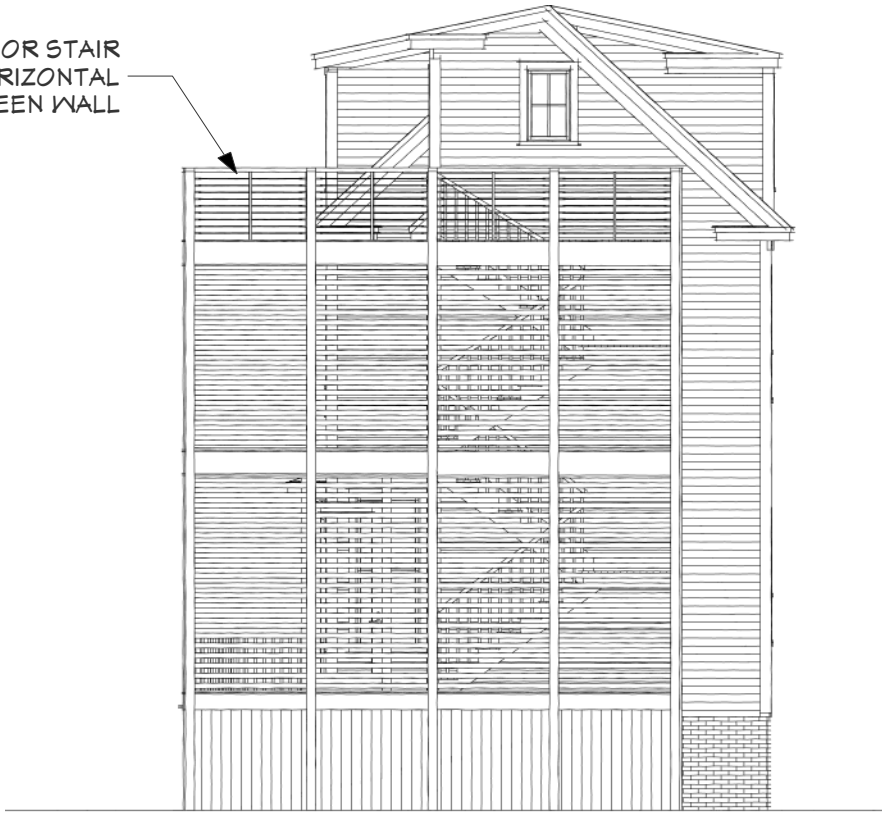


West Elevation (Proposed)



East Elevation (Existing)

NEW EXTERIOR STAIR
WRAPPED IN HORIZONTAL
SCREEN WALL



East Elevation (Proposed)



RENDERED VIEW FROM O'BRIEN STREET

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"

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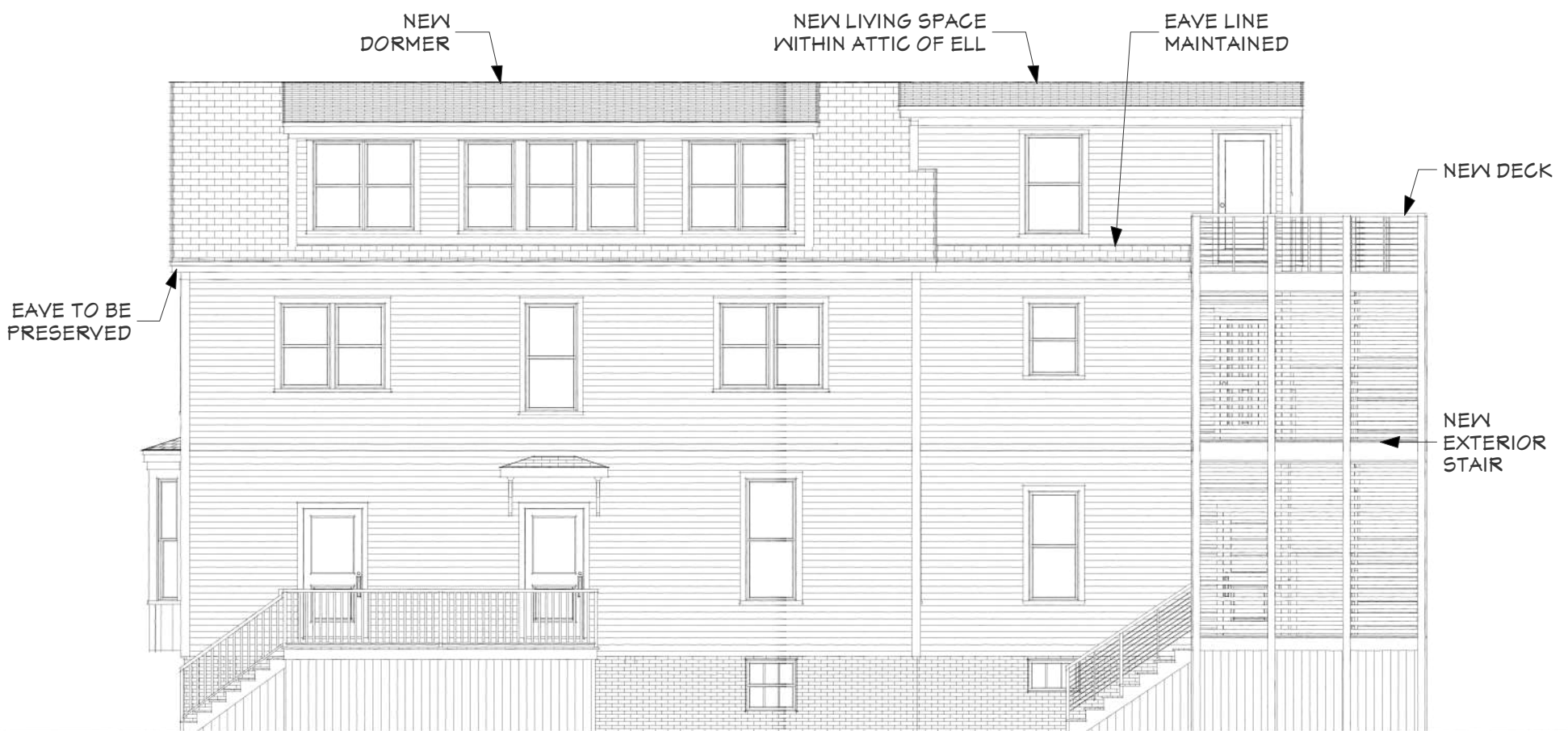
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South Elevation (Existing)



South Elevation (Proposed)

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"

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South Elevation (Existing)



South Elevation (Proposed)

0 1' 2' 4' 8'
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South Elevation (Deck on Posts)



West Elevation (Deck on Posts)

- FIRST INTERACTION FOR STAFF FEEDBACK
- SUGGESTION TO EXPLORE SIMPLER FORM FOR DORMER
- SUGGESTION TO EXPLORE LOCATING DECK TO REAR

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"

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South Elevation (Deck to Rear)



West Elevation (Deck to Rear)

- SECOND INTERACTION FOR STAFF FEEDBACK
- SUGGESTION TO REVERT STAIR TO REAR AND EXPLORE DECK SOLUTION WITH MORE VISIBLE SUPPORT / STRONGER BASE. EXPLORE HORIZONTAL SCREEN WALL.
- SUGGESTION TO EXPLORE RE-INTRODUCING FORM OF DOGHOUSE DORMERS

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"



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South Elevation (Revisit Dormers)



West Elevation (Revisit Dormers)

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"

• THIRD INTERACTION FOR STAFF FEEDBACK



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FROM O'BRION STREET LOOKING NORTH



FROM BACK YARD TOWARD O'BRION STREET



REAR ELL



FROM O'BRION STREET LOOKING SOUTH

Historic Preservation Workshop

0 1' 2' 4' 8'
Graphic Scale 1/8" = 1'-0"

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