

Historic Preservation Board

Wednesday, August 6, 2025 at 5:00 PM
Room 24 (Ground Level of City Hall) and
Zoom



MEMBERS

Brad Miller, Chair
Valerie Paquin-Gould, Vice Chair
Hilary Bassett
Michael Hutchins
Robert O'Brien
Brian Sosebee
Rob Whitten

The Historic Preservation Board invites the public to attend the meeting **in person or Zoom** pursuant to the Remote Meeting Policy adopted by the Historic Preservation Board. Prior to the meeting, please check the Agenda Center <https://portlandme.portal.civicclerk.com> to view memos and reports which will be posted by the end of the day on the Friday before the Historic Preservation Board meeting.

REMOTE PARTICIPATION

Allow your computer to install the free Zoom app to get the best meeting experience. If you are not able to attend either in person or via Zoom, a recording will be available in the [Agenda Center](#) following the meeting.

For more information on how to use zoom, please go here: <https://content.civicplus.com/api/assets/18148b5d-f26e-472f-8d2c-245db97e5c27?cache=1800>

Please click the link below to join the webinar:

Join from PC, Mac, iPad, or Android:

<https://portlandmaine-gov.zoom.us/j/86580052706>

Phone one-tap:

+16469313860,,86580052706# US

+19292056099,,86580052706# US (New York)

Join via audio:

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 689 278 1000 US

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 360 209 5623 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

PUBLIC COMMENT INFORMATION:

To submit written public comment on an agenda item, email hp@portlandmaine.gov. Submissions must be received by 12:00 pm **the day before** the Historic Preservation Board meeting to guarantee their inclusion in the agenda packet. All submissions must include the commenter's name and legal address. To help ensure your comment is submitted for the correct item, please include the name of the agenda item (see below).

AGENDA:

1. ROLL CALL AND DECLARATION OF QUORUM

2. REPORT OF ATTENDANCE AT THE MEETING HELD ON JULY 16, 2025

- i. Public Hearing
Review of Additions; 710 Stevens Avenue (All Souls Universalist Church): Bassett, Hutchins, Miller, O'Brien and Whitten present. Paquin-Gould and Sosebee absent.

3. REPORTS OF DECISIONS AT THE MEETING HELD ON JULY 16, 2025

- i. Election of Vice Chair Pro Tempore; The Board voted 5 in favor to elect member Bassett as Vice Chair Pro Tempore with the absence of Vice Chair Paquin-Gould.
- ii. Review of Addition; 710 Stevens Avenue (All Souls Universalist Church); University of New England, Applicant. Plan Number HP-00005-2025. The Board voted 5 in favor to approve the application with conditions.

4. COMMUNICATION AND REPORTS

- i. None

5. PUBLIC HEARING

- i. Review of Alterations; 133 Spring Street; Cecile Stadler, Applicant. Plan Number: HP-000014-2025.

**STAFF MEMORANDUM
HISTORIC PRESERVATION PROGRAM
PLANNING AND URBAN DEVELOPMENT**



TO: Chair Miller and Members of the Historic Preservation Board
FROM: Evan R. Schueckler, Historic Preservation Program Manager
DATE: August 1, 2025
RE: 133 Spring – PUBLIC HEARING – Alterations
PROJECT ID: HP-00014-2025
MEETING: August 6, 2025

Owner: Cecile Stadler
Architect: David Matero, David Matero Architecture

A sign announcing the Historic Preservation Board's meeting on August 6, 2025 was posted at the property on July 28, 2025, and 46 notices were sent to neighboring property owners within 100 feet of the subject property.

PROJECT SCOPE

Remove existing non-historic front door and filler panels. Install new glazed front door and sidelights.

Remove existing rooftop mechanical screening and relocate mechanical units on the roof of the historic storefront addition. Construct new railing and stairs for existing second story covered porch, including screening for mechanical units. Construct new rooftop deck at roof of historic storefront addition with new metal railings.

Replace non-historic second-story six-over-six window with new historically appropriate replacement window. Replace non-historic third-story single-lite windows to match existing. Install two new skylights.

Material Specifications:

Foundation	Existing. No work
Siding	Existing. No work
Trim	Painted wood
Roofing	Existing. No work
Windows	Aluminum-clad wood
Doors	Wood

SUMMARY OF HISTORIC CONTEXT



Figure 1: Map of West End Historic District showing location of 133 Spring Street with star.

133 Spring Street is a contributing property within the West End Historic District. The building was constructed around 1846 along with the three neighboring and connected structures at 129, 131, & 135 Spring Street. The four properties were constructed and designed together as the John J. Frost Block. The structures are believed to have originally been arranged as a symmetrical composition in the Greek revival style, with the central buildings at 131 & 133 having two-story recessed porches. Since the original construction, the group of buildings has experienced a number of alterations including a low storefront addition at 129, a bay window addition at the front of 131, the well-designed storefront addition at 133, an inverted dormer at 131 & 133, and the addition of many Italianate details to 135. All of these alterations appear to have been completed before 1924, with the exception of the storefront addition at 133, which is believed to have been added shortly after 1924.

The original recessed porch at 133 Spring has been heavily altered, with most of the first story portion having been destroyed to allow for construction of the storefront addition, and the second story portion having been largely replaced. The storefront addition, while not original to

the building, is an excellent example of an early twentieth century commercial addition. It includes simple brick and stone details including recessed panels at the parapet wall, and a prismatic glass transom window designed to bring more light into the storefront.

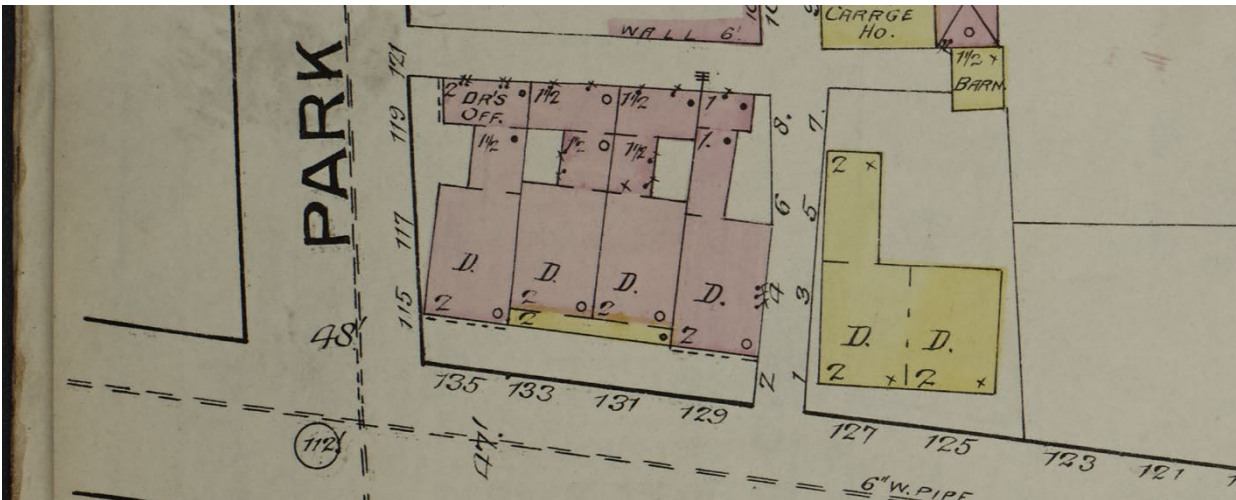


Figure 2: Excerpt from 1886 Sanborn Fire Insurance Map Showing 129-135 Spring Street. Courtesy of the Library of Congress:

(https://www.loc.gov/resource/g3734pm.g3734pm_g035271886/?sp=25&st=image&r=o.172,o.681,o.384,o.287,o)



Figure 3: 1924 Tax Photo showing 129-135 Spring Street.

(<https://www.mainememory.net/record/76277/image/98147>)

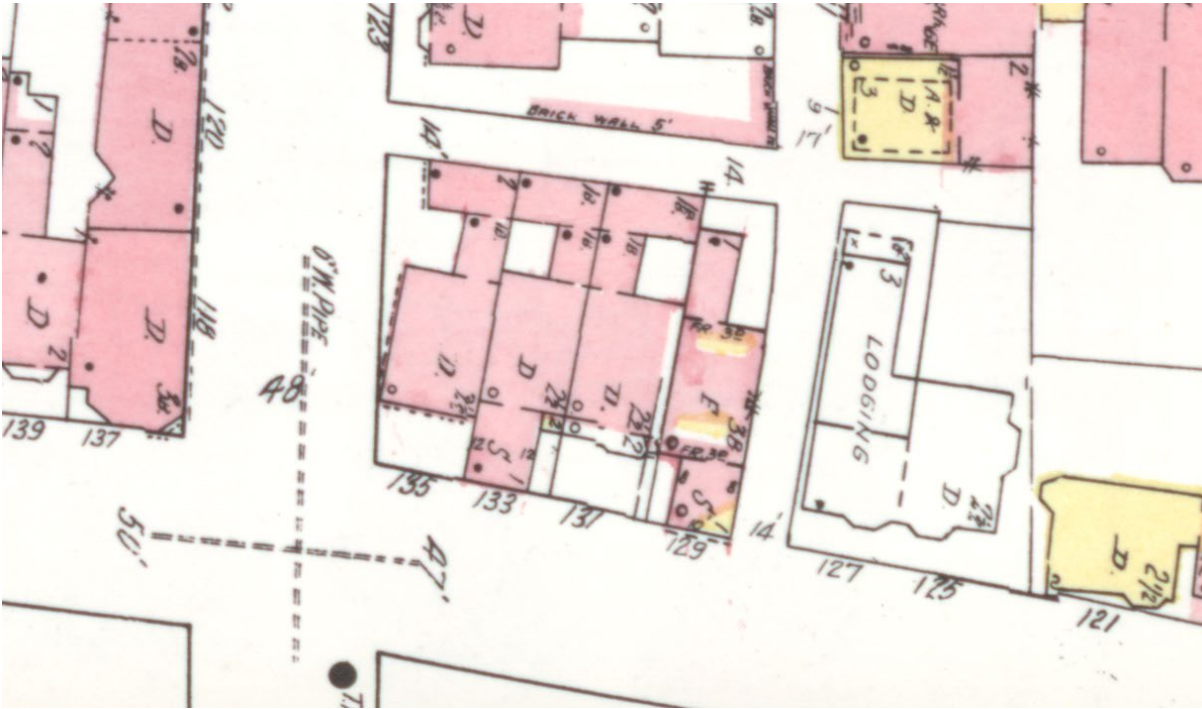


Figure 4: Excerpt from 1954 Sanborn Fire Insurance Map showing 129-135 Spring Street. Courtesy of the Library of Congress:

(https://www.loc.gov/resource/g3734pm.g3734pm_g03527195401/?sp=49&st=image&r=o.787,o.293,o.239,o.178,o)

Additional information on the West End Historic District can be found on the city website:

<https://www.portlandmaine.gov/1548/Historic-Designations>

PREVIOUS REVIEW BY HISTORIC PRESERVATION BOARD

May 21, 2014, Public Hearing:

On May 21, 2014 the Board voted to issue an after-the-fact approval for installation of mechanical equipment on the roof of the storefront addition at 133 Spring Street. This approval was issued with conditions that screening be provided for the mechanical equipment. Throughout the review, the Board considered the one-story storefront addition at 133 Spring Street to be a historic alteration that had achieved significance in its own right and that its historic details were considered to be character-defining of the property.

STAFF COMMENTS

The applicant is proposing a program of alterations at the front façade of 133 Spring Street which seek to make several functional and programmatic improvements to the property.

The existing replacement windows, both at the second-story historic window opening and at the third-story inverted dormer, need replacement and are proposed to be replaced in kind. The existing non-historic front door and filler panels are proposed to be replaced with a new custom wood door with sidelights. Staff were unable to locate any images showing the historic front door; however, a simplified door with sidelights is in keeping with the character of the originally Greek revival structure. The new skylights will be added in the lower roof of the inverted dormer to bring more light into the second-floor living room. This new skylight will have very little visibility given the slope of the roof. Generally, these alterations are intended to ensure the building is sound and to bring more light into the building in a compatible and minimally visible way.

The most substantial alterations are the changes to the existing covered porch and construction of a new rooftop deck. The storefront roof currently hosts mechanical equipment for the storefront and residential unit in the building. As part of a prior approval, this equipment was screened from view. When the applicant first approached staff with this project, they proposed to construct the new deck at the same level as the second floor of the house. With this proposal, the deck would have extended over the existing mechanical equipment, except for the heat pumps which were too tall to be covered by the deck and would have been relocated on top of the deck. While this proposal was the simplest from a constructability perspective, staff had concerns that it would considerably increase the volume of the historic storefront addition, raising the top of the structure by several feet, further obscuring views of the adjacent historic structures and interrupting the streetscape.

In conversation with the staff, the applicant revised the proposed scope of work to what has been submitted for the Board's review. The proposed deck is now proposed to sit as close to the level of the roof of the storefront addition as can be allowed by structural requirements. The existing mechanical equipment will be located underneath the existing covered porch area or on the covered porch. In both locations, the mechanical equipment is proposed to be screened. The existing covered porch will be reconstructed to upgrade its structural components and will be provided with a new railing to match the proposed new roof deck. Because the proposed roof deck would sit at a different level from the existing covered porch, the applicant is proposing a small run of stairs that would provide access from the covered porch. These stairs would be located far enough back on the building that they will not be very visually prominent.

Generally, staff found that the proposed deck is designed very sympathetically to the historic building. The proposal will only introduce a less than one-foot-tall curb around the perimeter of the storefront roof. The curb would be set back from the edge of the roof, allowing the brick parapet around the roof to remain visually prominent. Otherwise the deck will only involve a 3' tall guardrail which is proposed to be constructed of black-finished metal. The guardrail will be

primarily transparent, reducing the visual impact of the proposed roof deck.

ANALYSIS OF APPLICABLE REVIEW STANDARDS

Subsection 16.6.3 - Standards for review of alterations to contributing properties:

Standard A. Compatible use	
When the use of a property is being changed, every reasonable effort shall be made to minimize the alteration of the character-defining features of the building, structure, object, or site.	
Standard Met?	Staff Comments
	Not applicable.

Standard B. Retain historic features	
The distinguishing original qualities or character of the building, structure, object, or site shall be retained and preserved. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.	
Standard Met?	Staff Comments
Yes	The existing railings, door, and windows are not historic features and have already been replaced or altered, therefore the applicant is not proposing to remove any historic materials or distinctive features.

Standard C. Historical accuracy	
The building, structure, object, or site shall be recognized as a product of its own time, place, and use. Alterations that have no historical basis or create a false sense of historical development, such as adding conjectural features or elements from other properties, shall not be undertaken.	
Standard Met?	Staff Comments
Yes	The proposed work is not proposing to introduce any conjectural features, and instead the proposed alterations will be differentiated as modern interventions which will therefore avoid creating a false sense of historical development.

Standard D. Acquired significance	
Changes which may have taken place in the course of time are evidence of the history and development of the building, structure, object, or site. Changes that have acquired significance in their own right shall be retained and preserved.	
Standard Met?	Staff Comments
Yes	The proposed work will not require changes to or removal of any features which have acquired significance in their own right.

Standard E. Distinctive features	
Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize the building, structure, object, or site shall be retained and preserved.	
Standard Met?	Staff Comments
Yes	The applicant is not proposing to remove or alter any distinctive historic features.

Standard F. Repair rather than replace	
Deteriorated historic features shall be repaired rather than replaced wherever feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the feature being replaced in composition, design, texture, and other visual qualities and, where possible, materials. Repair or replacement of missing historic features should be based on accurate duplications of features, substantiated by documentary, physical, or pictorial evidence.	
Standard Met?	Staff Comments
Yes	No existing historic features or materials are proposed to be removed and replaced. Clearly documented historic features such as the windows will be replaced to accurately recreate those features.

Standard G. Surface cleaning	
The surface cleaning of the building, structure, or object, if appropriate, shall be undertaken with the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be undertaken.	
Standard Met?	Staff Comments
	Not applicable.

Standard H. Archaeological resources	
Every reasonable effort shall be made to protect and preserve significant archaeological resources affected by or adjacent to any project. If resources must be disturbed, mitigation measures shall be undertaken.	
Standard Met?	Staff Comments
	Not applicable.

Standard I. Differentiation and contemporary design	
Alterations and additions shall not destroy the character-defining features of the building, structure, object, or site. New work shall be differentiated from the old and shall be compatible with the size, scale, color, material, and character of the building, structure, object, or site. Contemporary design for alterations and additions shall not be discouraged when such alterations and additions do not destroy significant materials or features that characterize the building, structure, object, or site.	
Standard Met?	Staff Comments
Yes	The proposed alterations will utilize simplified details and modern materials such as simple metal railings and a simplified door design to differentiate those alterations as modern interventions. The replacement entry door is proposed as a single door with sidelights which is a typical form on Greek revival structures. The proposed deck will have simplified details and is proposed to be installed as low on the existing roof as possible to minimize its height. The railing is proposed to be of metal construction to maximize its transparency and to avoid obscuring the primary facades of 133 Spring Street and the adjacent structures. These proposed alterations are therefore designed to be differentiated from the historic features of the building while being compatible with the historic structure.

Standard J. Reversibility	
Wherever possible, new additions or alterations to the building, structure, object, or site shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.	
Standard Met?	Staff Comments
Yes	The proposed new entry door will be inserted into the existing opening. The proposed new deck and railings will replace the existing non-historic porch and railing and sit on top of the existing roof. The proposed skylights will not interrupt or destroy any distinctive features. Therefore, all of the proposed alteration could be easily reversed with little to no damage to any historic materials or details.

MOTION FOR CONSIDERATION

I move to CONDITIONALLY APPROVE application HP-00014-2025 for alterations at 133 Spring Street on the basis of submitted documentation, plans, and specifications; information provided in the staff memo; and findings by the Historic Preservation Board that the project meets subsections 16.6.3 standards for review of alterations to contributing properties, with the following conditions:

1. That final window and door details shall be submitted to staff for review and approval as being consistent with the standards for review.

ATTACHMENTS

1. Cover Letter & Application
2. Drawings
3. Products
4. 129-133 Spring Property Description



07/14/25

Evan R. Schueckler
Historic Preservation Program Manager
City of Portland
Planning and Urban Development Department
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: 133 Spring Street
Historic Committee**

Dear Evan,

Please accept this application and package of drawings for a historic committee approval at 133 Spring Street in Portland.

The existing building currently has a restaurant on the sidewalk level and a three-story two-family dwelling above. This historic brick building has been modified over time with a few historic details intact. The major changes to the existing building include a brick storefront addition for the restaurant and a dormer on the roof to add bedrooms and windows.

The proposed project includes adding a roof deck on top of the restaurant roof, relocating mechanical units, replacing non-historic windows in kind, replacing the front door, and adding skylights.

There is an existing deck off the second floor living space with an existing door. This opening will remain and the deck will be reconstructed so condensing units can be relocated under the existing portion of the deck. A set of steps will lead to a new deck above the restaurant roof with a black metal railing around the perimeter.

The two mini-split outdoor units will be relocated above the front door roof and hidden with the railing and screening.

The existing vinyl clad front door and trim will be removed and replaced with a modern front door and sidelights to allow light into the entrance. The door and trim are not an original historic feature.

As part of upgrades for the house, the existing windows will be replaced with new, Marvin aluminum clad, windows in dark green to match the color of the house trim. The existing windows are not original and are not in good condition.

Lastly, to add more natural daylight into the living space skylights will be added to the roof.

Visible Materials:

- Railing – AGS Residential Olympus SM 36 Flat, black powder-coated stainless steel, refer to attached specifications
- Windows – Marvin aluminum clad windows, double-hung, casement, sliding, refer to attached brochure
- Skylights – Velux residential solar powered skylights, refer to attached brochure
- Front door – Custom Mahogany $\frac{3}{4}$ lite door with sidelights

Drawings:

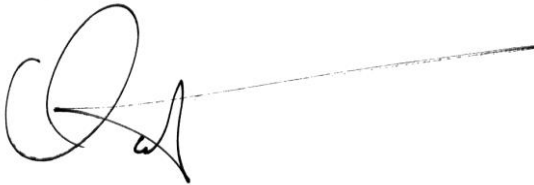
- X.01 Existing Photographs
- A1.1 Existing and Proposed Floor Plans
- A1.2 Existing and Proposed Floor Plans
- A2.1 Existing South Elevations
- A2.2 Proposed South Elevations
- A2.3 Existing and Proposed Rendered Elevations
- A2.4 Existing and Proposed Building Elevations
- PR1.1 3D Renderings

Following this cover letter is the application, deed and visible material brochures, along with separately attached drawings.

Please feel free to contact me if you have any questions. We are submitting in anticipation of an August 6 meeting date.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Matero', followed by a long horizontal line extending to the right.

David Matero, AIA, LEED AP
david@davidmatero.com
207.389.4278

Cc: Cecile Stadler

CITY OF PORTLAND
Planning & Urban Development Department

HISTORIC PRESERVATION APPLICATION SUBMISSION CHECKLIST Please submit each document as a separate PDF file Please confirm by electronically checking the boxes to the left		
To supplement your application, please submit the following items <i>as applicable to your project</i>. Keep in mind that the written project description that you provide the Historic Preservation Board and staff, is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s), additions, and/or infill construction.		
GENERAL APPLICATION DOCUMENTS		
Yes	N/A	Project Description Cover Letter with detailed project description
Yes	N/A	Completed Checklist for Historic Preservation review (this document)
Yes	N/A	Evidence of Right, Title and Interest Deeds, leases or purchase and sales agreements
PLANS, etc.		
Yes	N/A	Exterior photographs of property (required for all applications). Include a general streetscape view, view of entire building, and close-ups of project area.
Yes	N/A	Sketches or elevation drawings at a minimum ¼" scale.
Yes	N/A	Details or wall sections, where applicable.
Yes	N/A	Floor plans, where applicable.
Yes	N/A	Site Plan, where applicable, showing relative location of adjacent structures.
Yes	N/A	Catalog cuts or product information (e.g. proposed windows, doors, fencing).
Yes	N/A	Materials – list all visible exterior materials.

**WARRANTY DEED
CORPORATE GRANTOR
Know all Persons by these Presents**

THAT 133 Spring Street, LLC, a Corporation organized and existing under the laws of the State of Maine, and having a place of business at 175 Rocky Rd, Otisfield, ME 04270, in consideration of one dollar and other valuable consideration paid by **Cecile Stadler**, whose mailing address is 109 Holland Drive, Phippsburg, ME 04562 the receipt whereof it does hereby acknowledge and does hereby **give, grant, bargain, sell and convey** unto the said **Cecile Stadler**, her heirs and assigns forever,

A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, said lot being on the northwesterly side of Spring Street and numbered 133 on said Street, bounded and described as follows:

Commencing at a stake standing about twenty-two (22) feet nine (9) inches from the point of intersection of Spring and Park Streets, being the most northerly corner of said streets; thence

Running northwesterly through the center of the division wall between the property hereby conveyed and the house formerly occupied by Charles Hutchinson to the passageway in the rear; thence

By said passageway, northeasterly about twenty-four (24) feet to the center of the division wall separating the two center houses of the block; thence

Southeasterly by said division wall to Spring Street; thence

Southwesterly by Spring Street to the point of beginning. Together with the right to use in common and undivided with others, the passageway in the rear and on the easterly side of said block.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

Being the same premises as described in the deed from Robert B. Kimball to 133 Spring Street, LLC dated March 24, 2004 and recorded in the Cumberland County Registry of Deeds in Book 21477, Page 190.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said **Cecile Stadler**, her heirs and assigns, to them and their use and behoof forever.

AND the said Grantor Corporation does **covenant** with the said Grantee, her heirs and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances, that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that its successors and assigns shall and will **warrant and defend** the same to the said Grantee, her heirs and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said **133 Spring Street, LLC** has caused this instrument to be sealed with its corporate seal and signed in its corporate name by the said ROBERT B KIMBALL III its MANAGER, thereunto duly authorized, this 16th day of March, 2012.

Signed, Sealed and Delivered
in the presence of

133 Spring Street, LLC


Witness:

BY: 

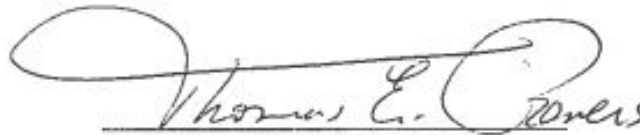
ITS: 

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

Dated: March 16, 2012

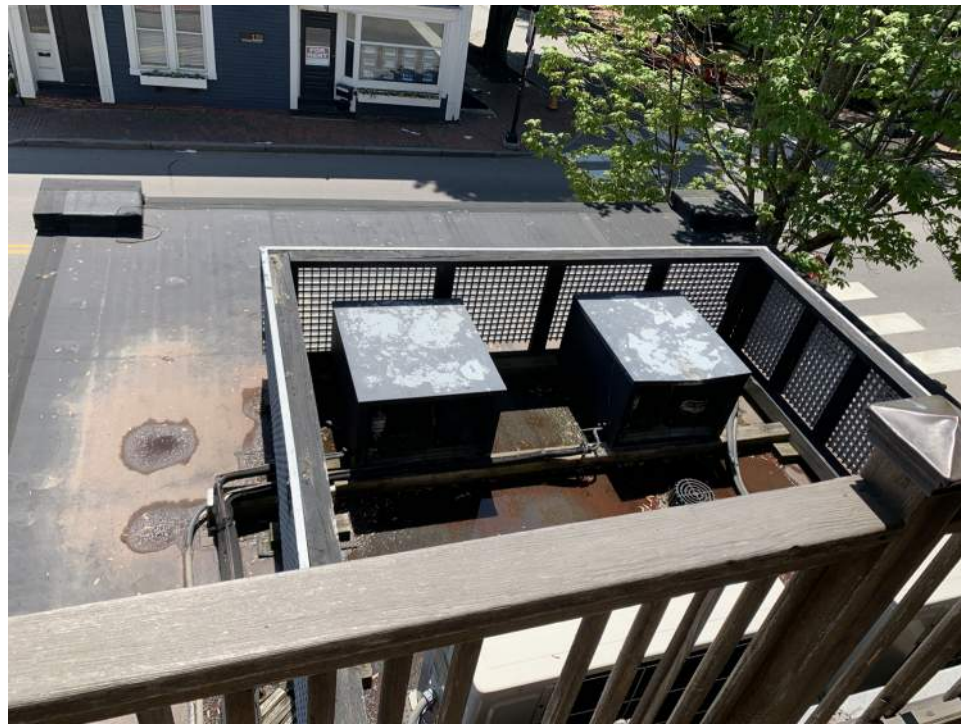
Personally appeared the above-named ROBERT KIMBALL III of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity, and the free act and deed of said Corporation.

Before me,


Attorney at Law/Notary Public

Printed name: THOMAS E. POWNALL
FES.

Received
Recorded Register of Deeds
Mar 19, 2012 11:26:33A
Cumberland County
Pamela E. Lovley



View of restaurant roof



View of restaurant roof



View of 133 and 131 Spring St entry doors



View of 133 Spring St entry door



Aerial view



View from Spring Street



Photo take 1924 from Maine Memory Network



View from Spring Street



View from Spring Street



Consultants:

Revision Schedule

#	Date	Description
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Stadler
Residence
133 Spring Street
Portland, Maine

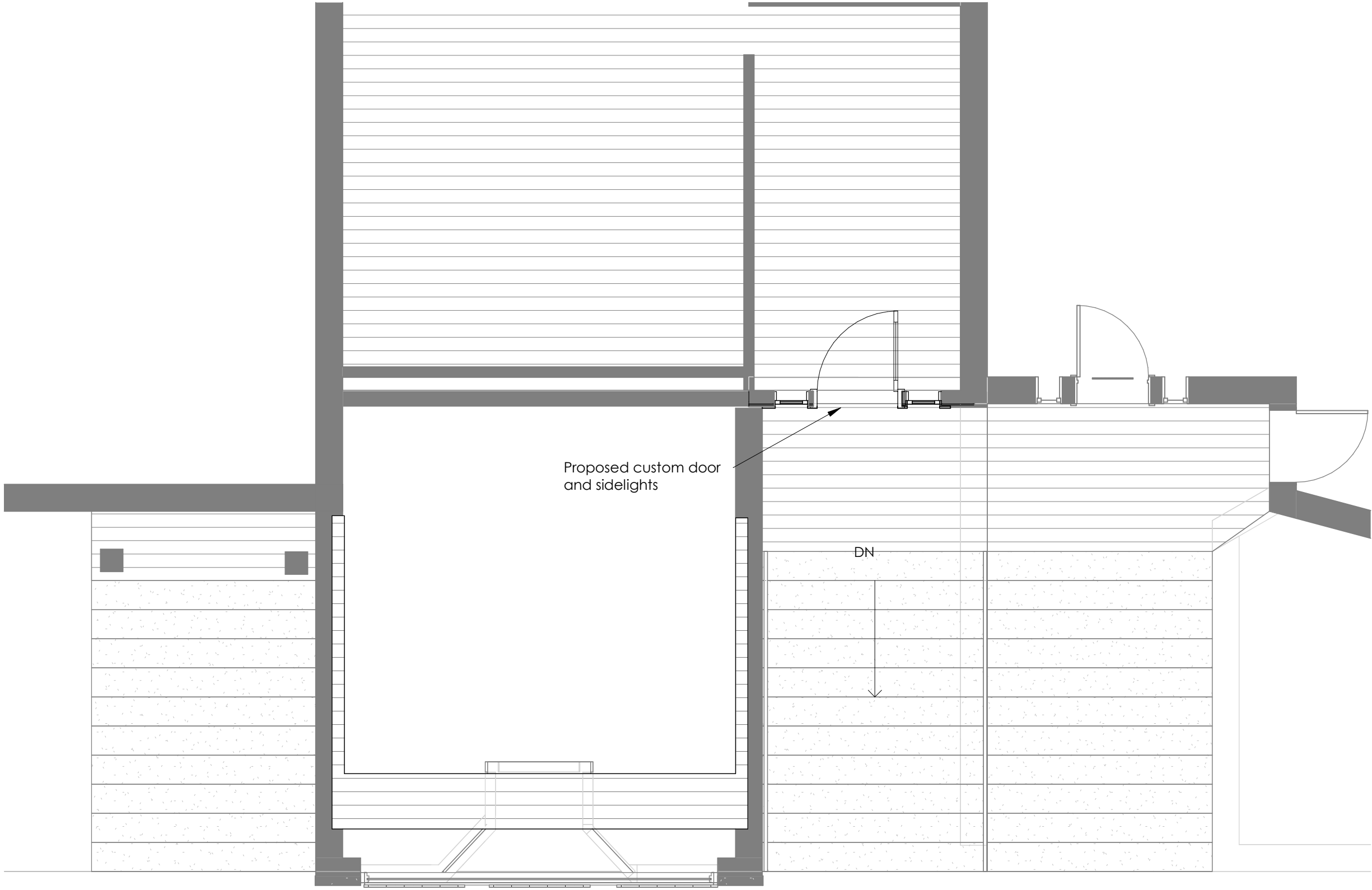
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Project No:
Project Number
Date: Issue Date
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Sheet Title:
Existing Photographs

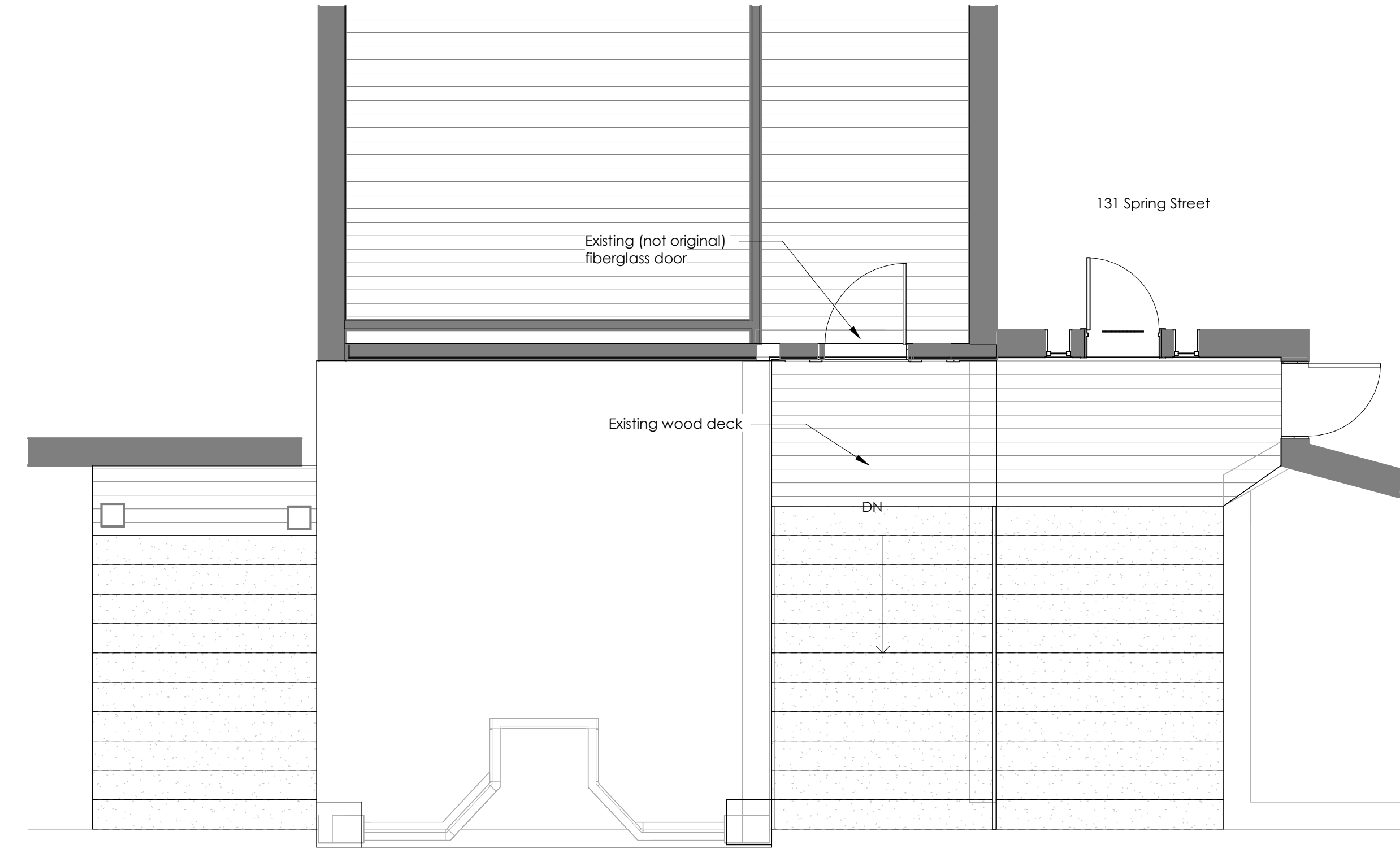
Sheet Number:

X0.1

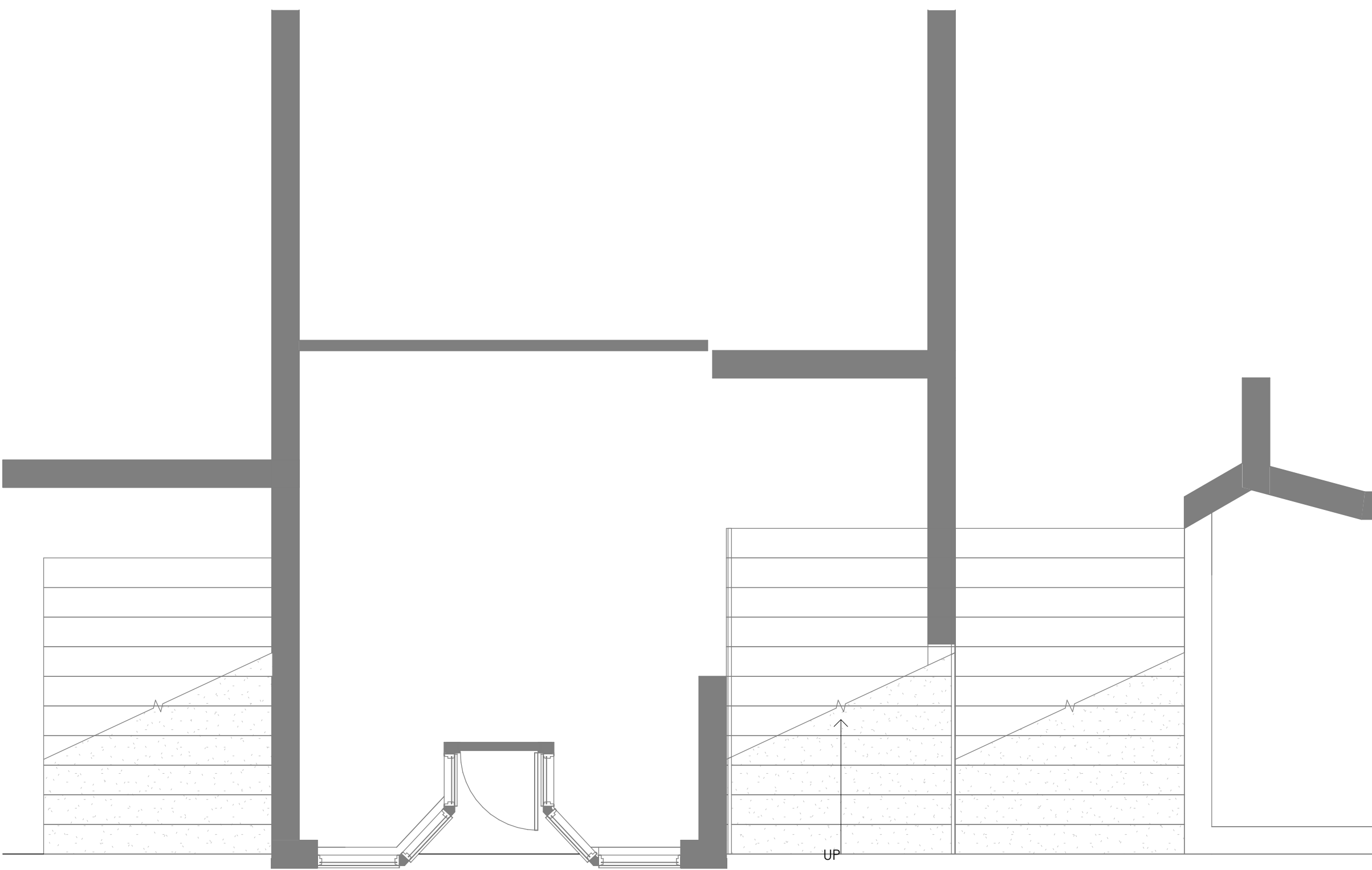
Historic
Review



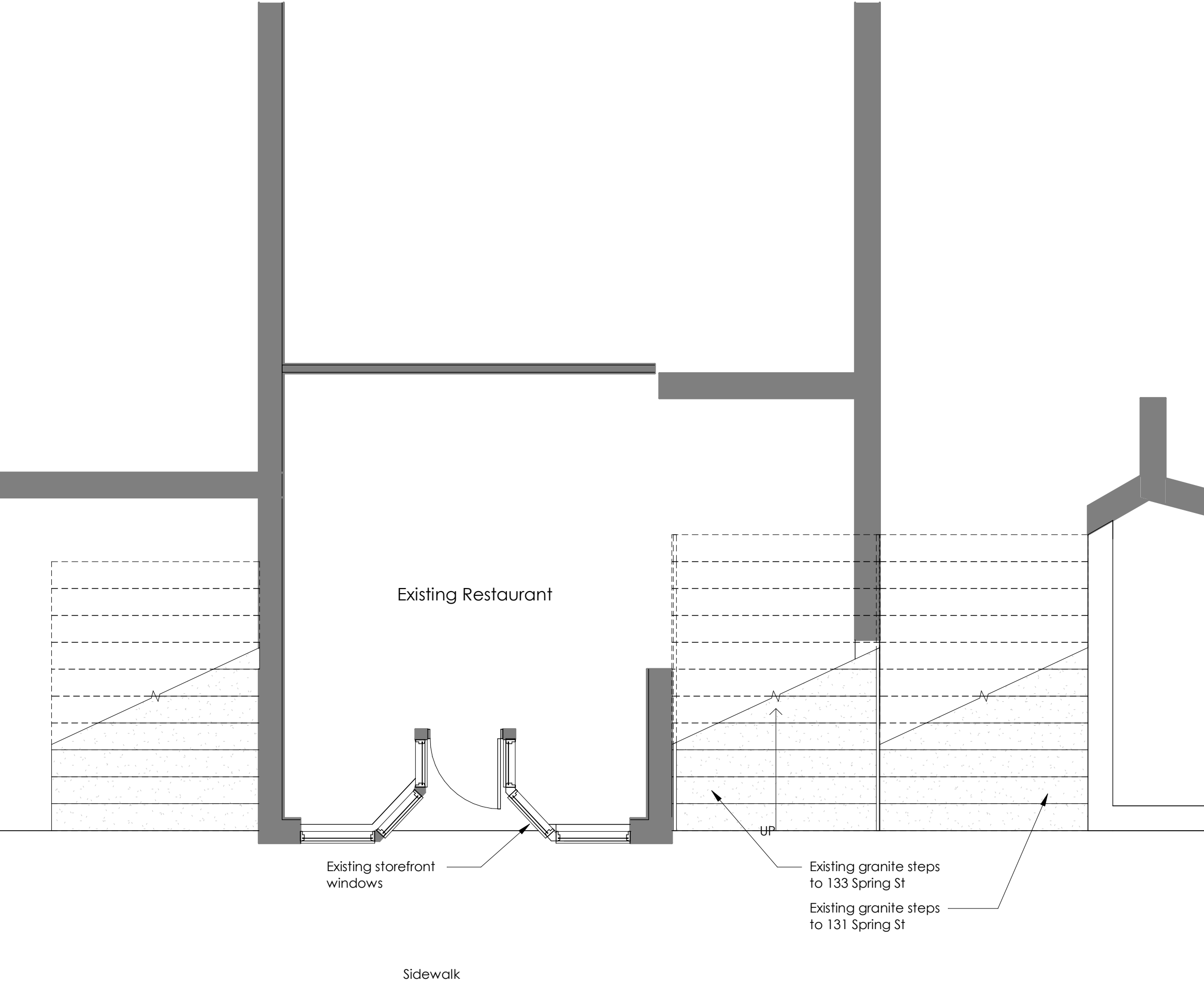
① Second Floor Plan
1/4" = 1'-0"



⑤ Existing Second Floor Plan
1/4" = 1'-0"



④ Proposed First Floor Plan
1/4" = 1'-0"



③ Existing First Floor Plan
1/4" = 1'-0"



Consultants:

Revision Schedule		
#	Date	Description

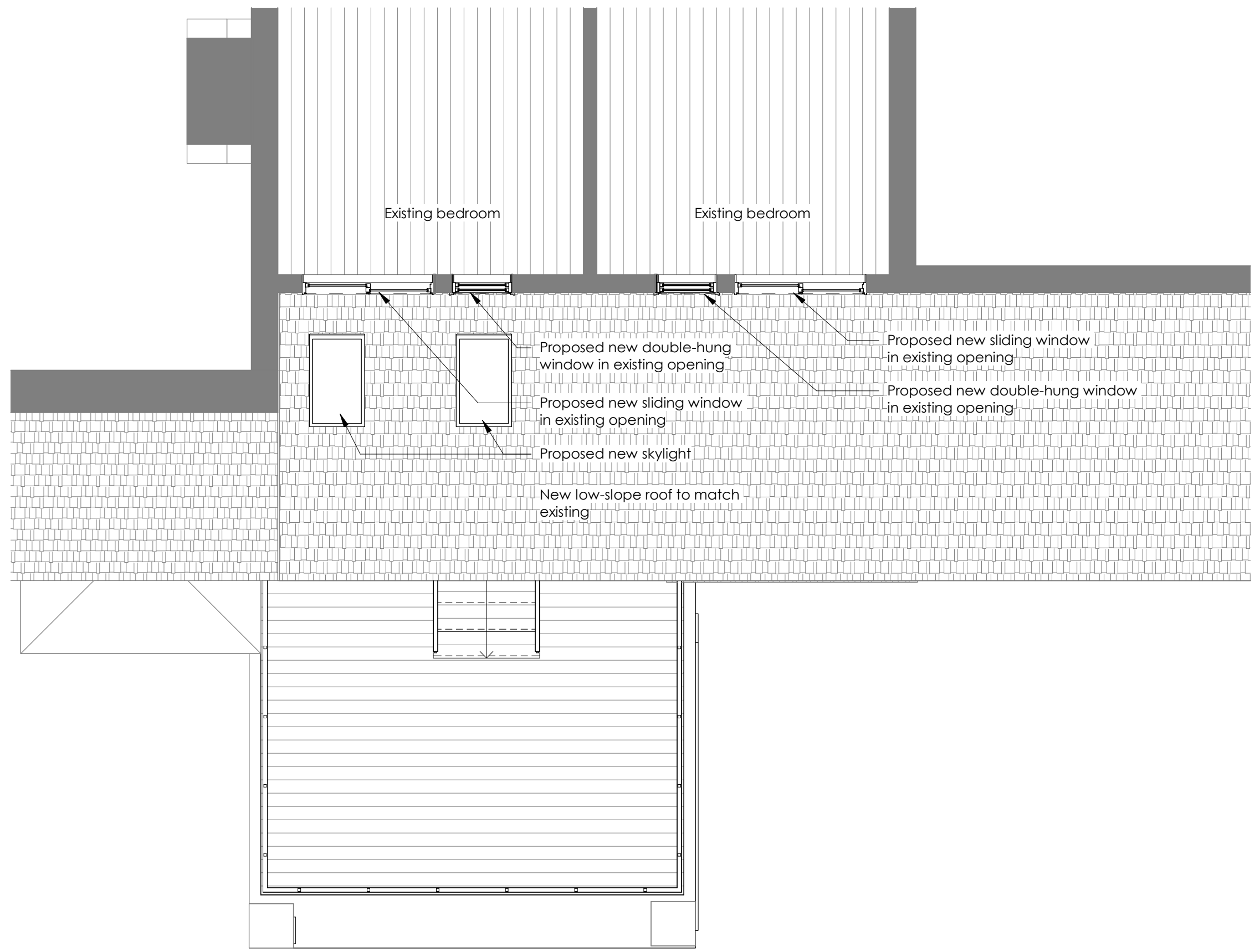
Stadler
Residence
133 Spring Street
Portland, Maine

Stamp:

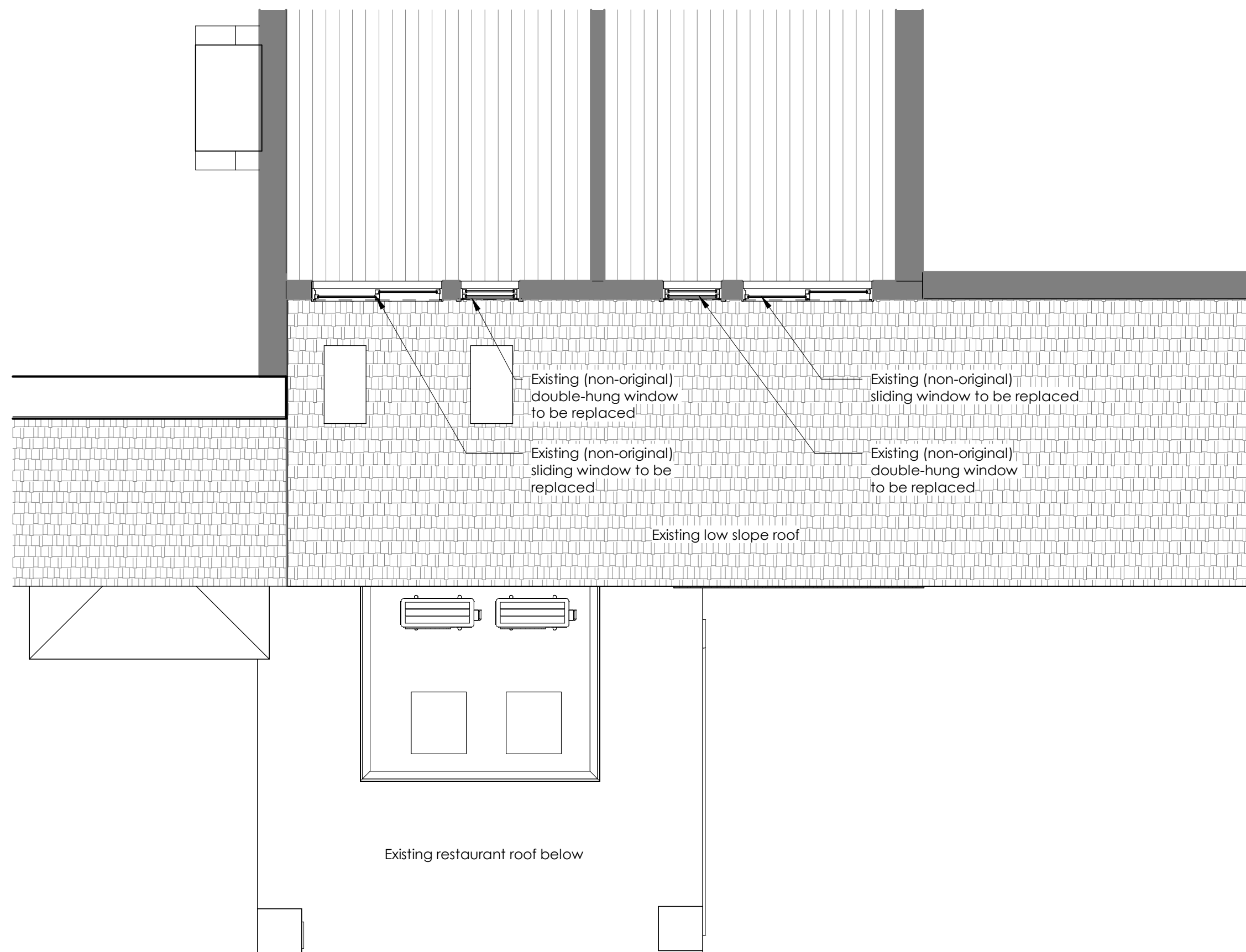
Project No:
Project Number
Date: Issue Date
Scale: 1/4" = 1'-0"
Sheet Title:
Existing and Proposed
Floor Plans
Sheet Number:

A1.1

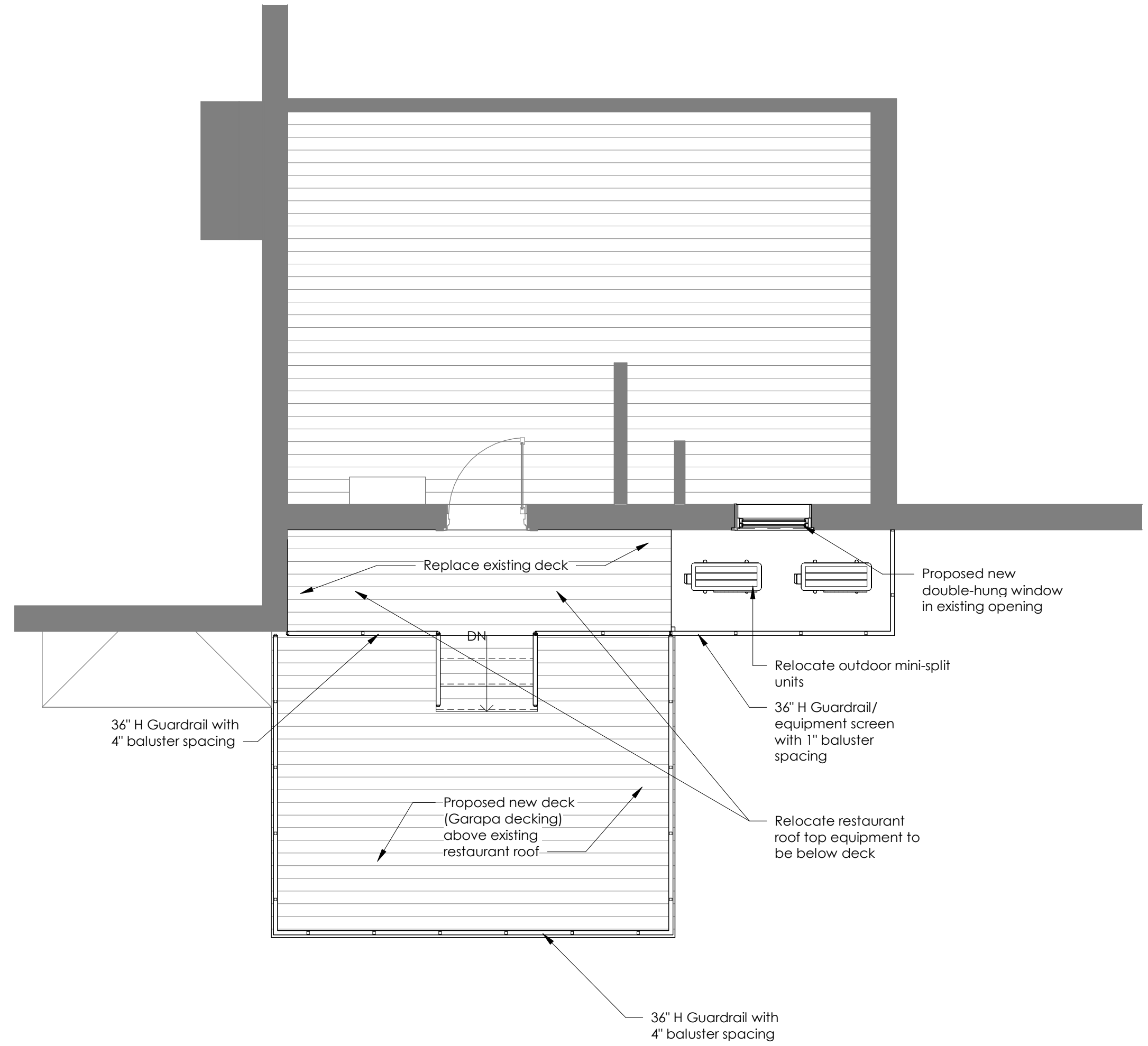
Historic
Review



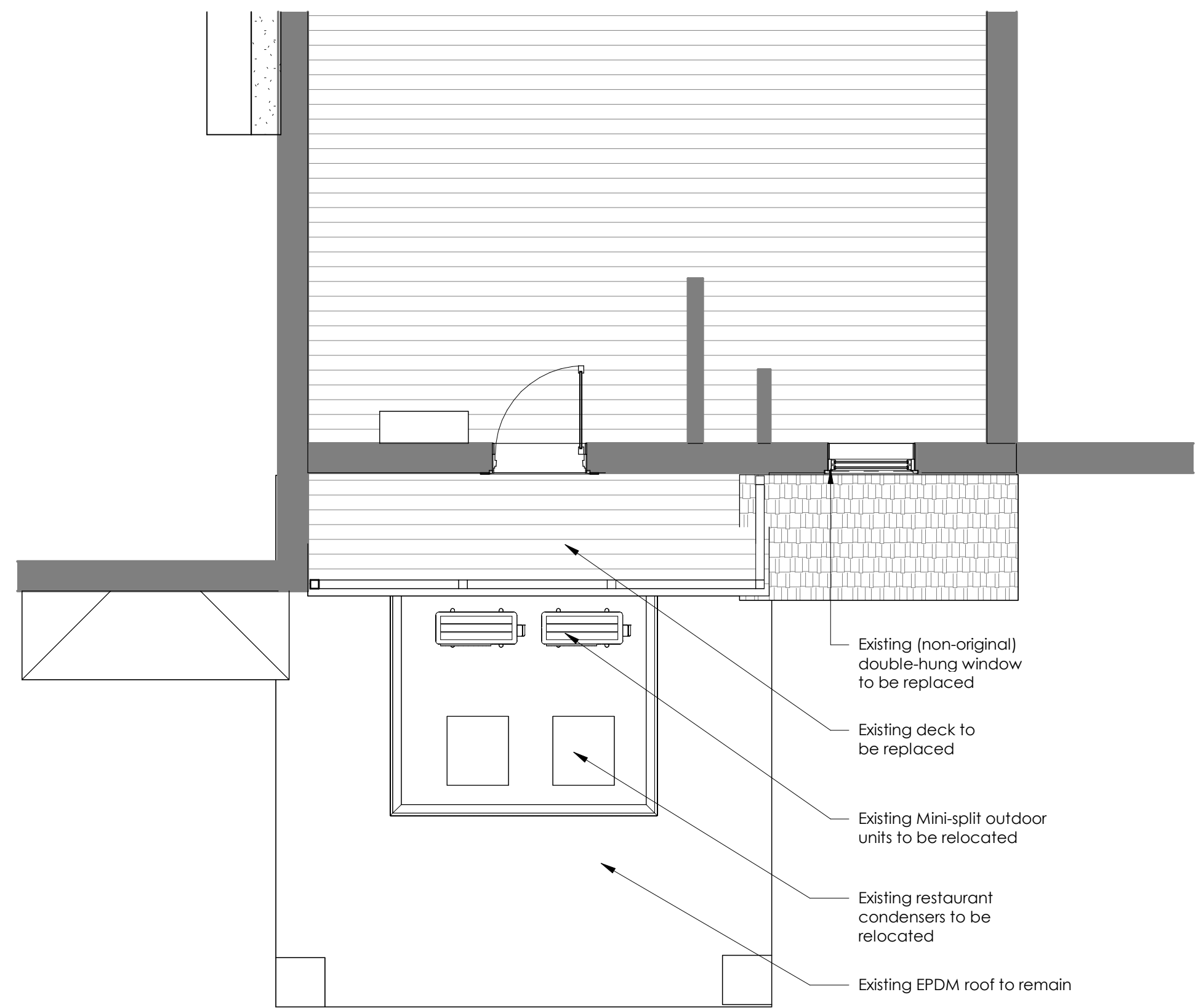
④ Proposed Loft Plan
1/4" = 1'-0"



② Existing Loft Plan
1/4" = 1'-0"



③ Proposed Third Floor Plan
1/4" = 1'-0"



① Existing Third Floor Plan
1/4" = 1'-0"

David Matero

Architecture

49 Centre Street
Bath, ME 04530
207.389.4278
info@davidmatero.com

Consultants:

Revision Schedule

#	Date	Description
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Stadler
Residence

133 Spring Street
Portland, Maine

Stamp:

Project No:

Project Number

Date: Issue Date

Scale: 1/4" = 1'-0"

Sheet Title:

Existing and Proposed
Floor Plans

Sheet Number:

A1.2

Historic
Review

Consultants:

Revision Schedule		
#	Date	Description

Stadler
Residence

133 Spring Street
Portland, Maine

Stamp:

Project No:
Project Number

Date: Issue Date

Scale: 1/4" = 1'-0"

Sheet Title:
Existing South Elevation

Sheet Number:

A2.1

Historic
Review



① Existing South Elevation
1/4" = 1'-0"

Consultants:

Revision Schedule

#	Date	Description
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Stadler Residence

133 Spring Street
Portland, Maine

Stamp:

Project No:
Project Number
Date: Issue Date
Scale: 1/4" = 1'-0"
Sheet Title:
Proposed South
Elevation
Sheet Number:

A2.2

Historic
Review



① Proposed South Elevation
1/4" = 1'-0"



Proposed Spring Street Elevation



Existing Spring Street Elevation

Consultants:

Revision Schedule		
#	Date	Description

Stadler
Residence

133 Spring Street
Portland, Maine

Stamp:

Project No:
Project Number
Date: Issue Date
Scale:
Sheet Title:
Existing and Proposed
Rendered Elevations
Sheet Number:

A2.3

Historic
Review

Consultants:

Revision Schedule

#	Date	Description
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Stadler
Residence

133 Spring Street
Portland, Maine

Stamp:

Project No:
Project Number

Date: Issue Date

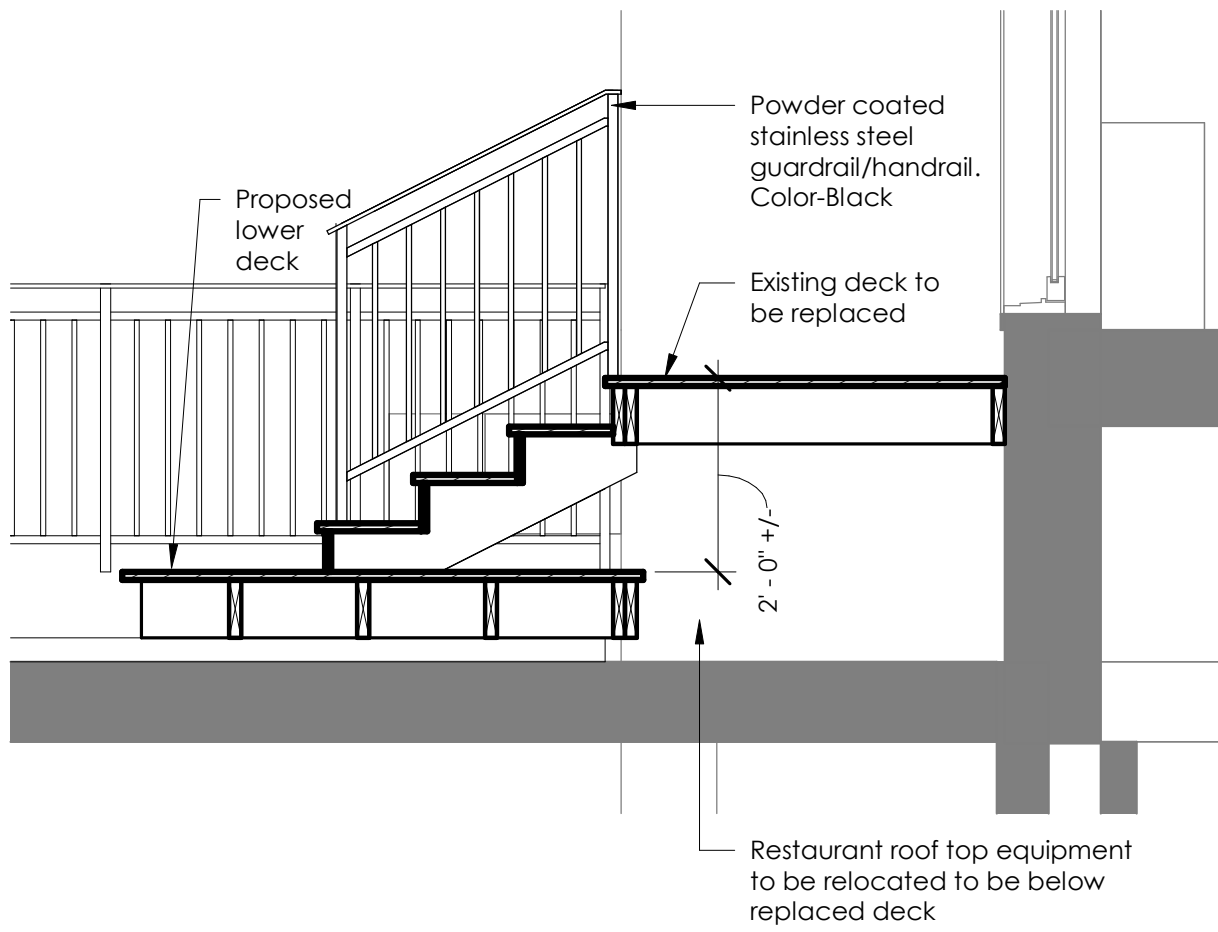
Scale: As indicated

Sheet Title:
Existing and Proposed
Building Elevations

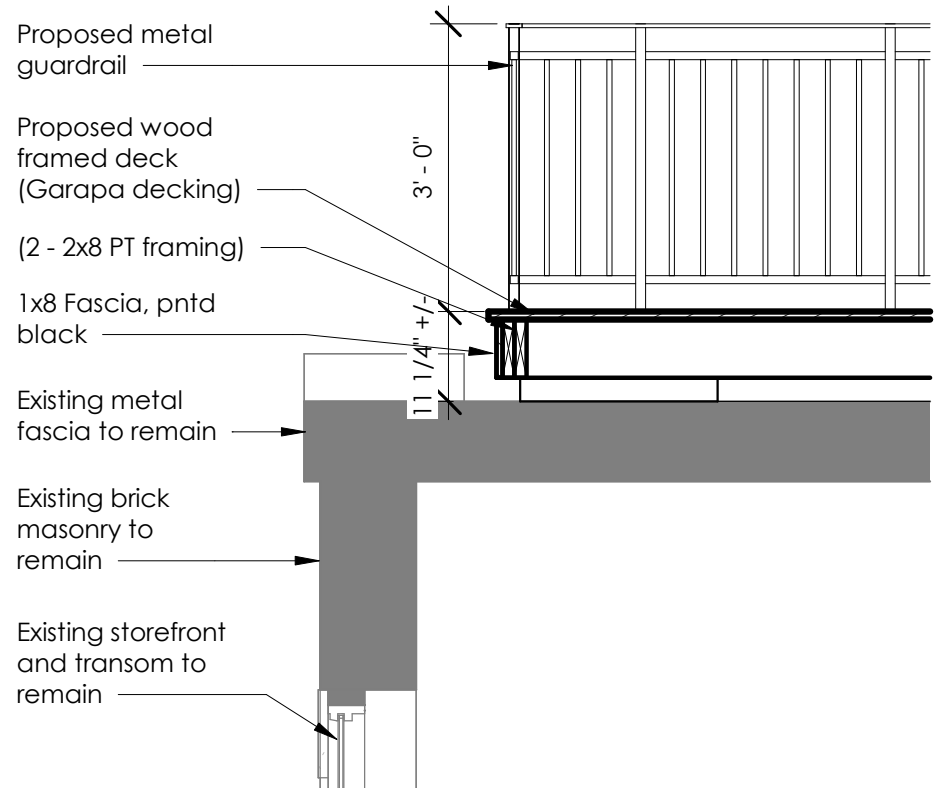
Sheet Number:

A2.4

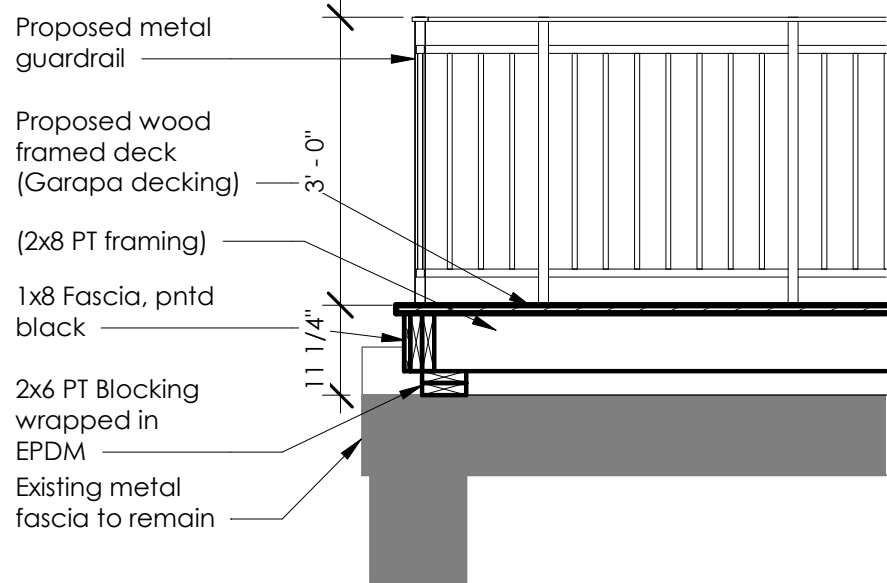
Historic
Review



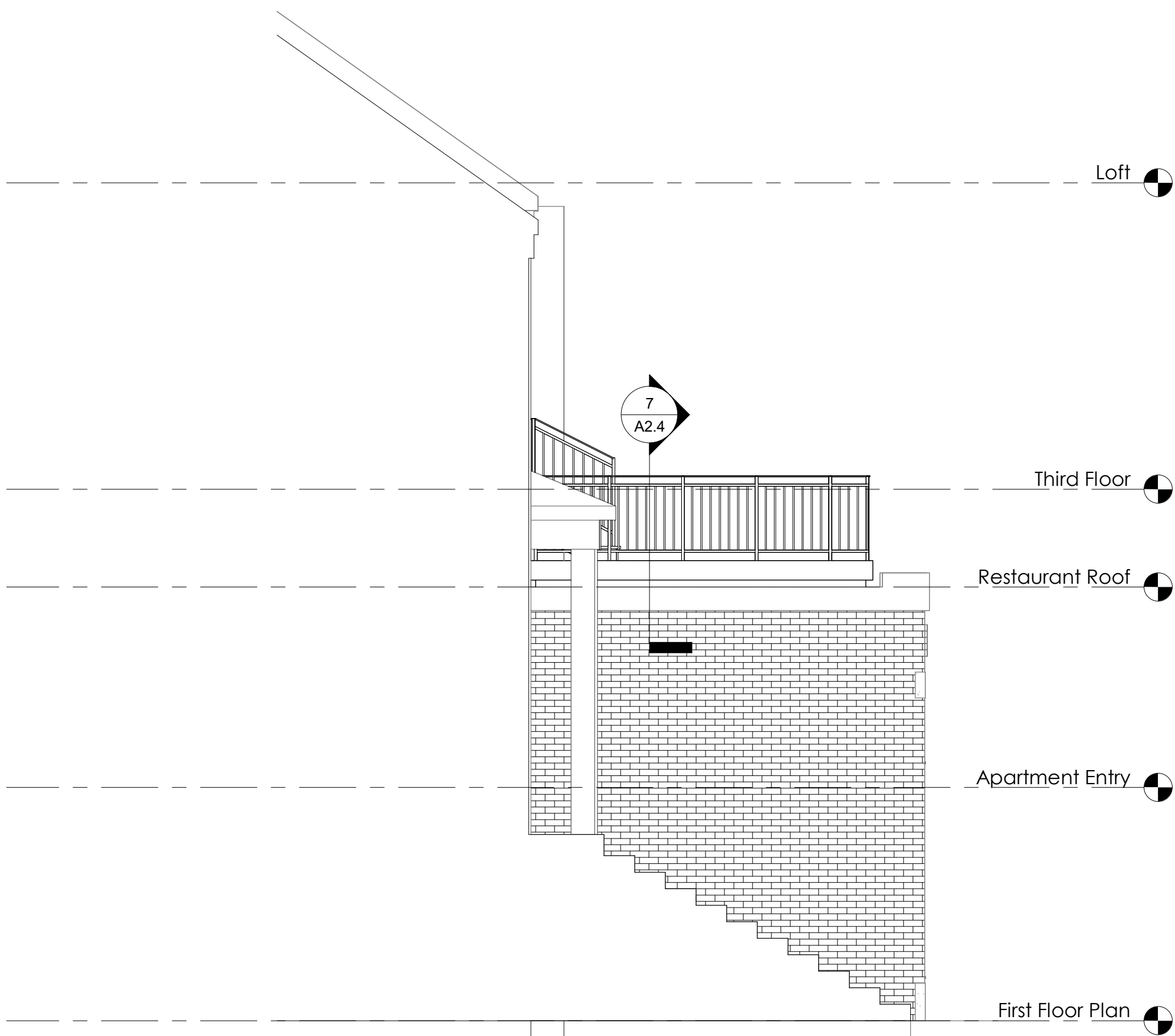
⑤ Deck Stair Section
1/2" = 1'-0"



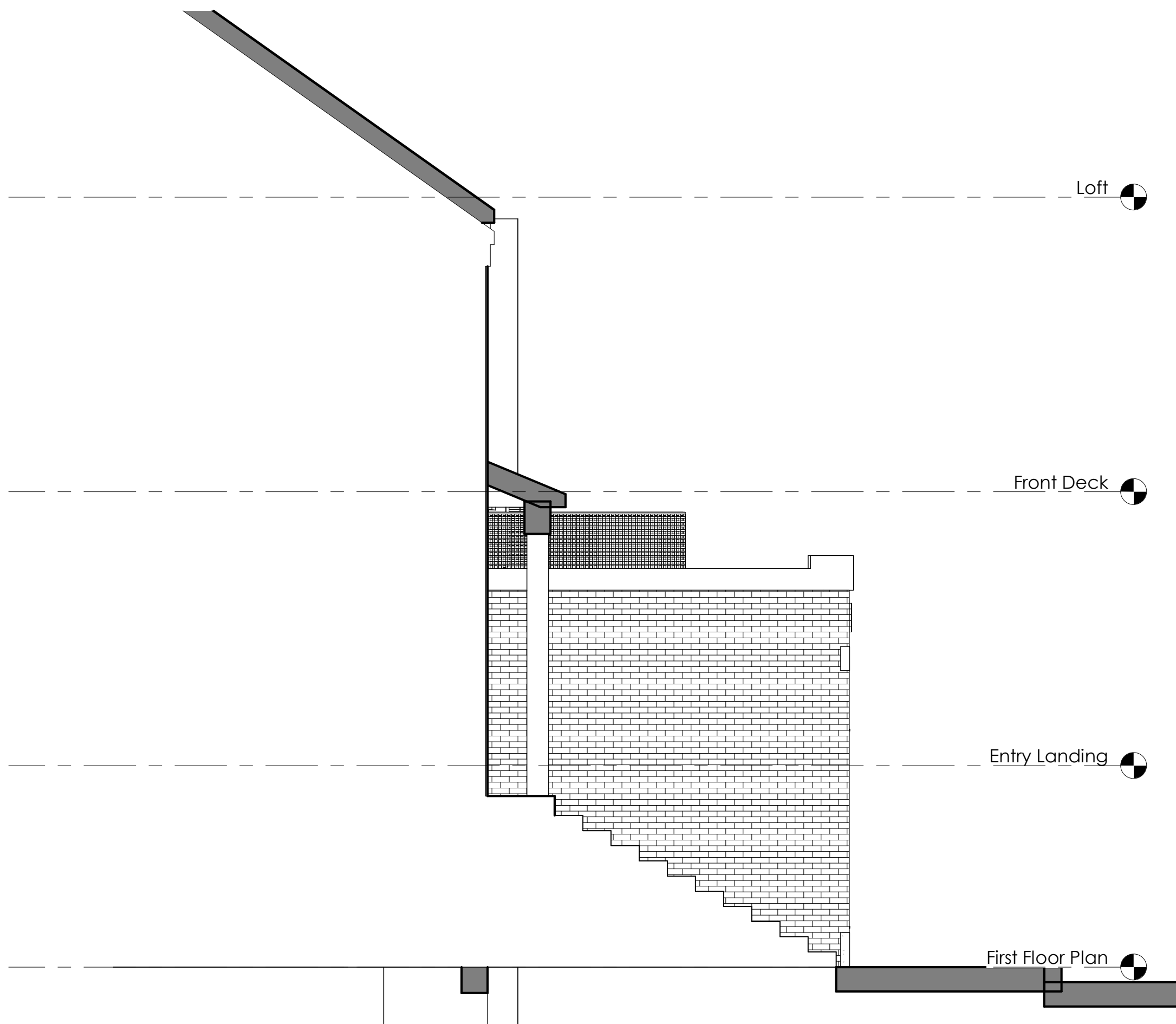
⑥ Deck railing detail at storefront
1/2" = 1'-0"



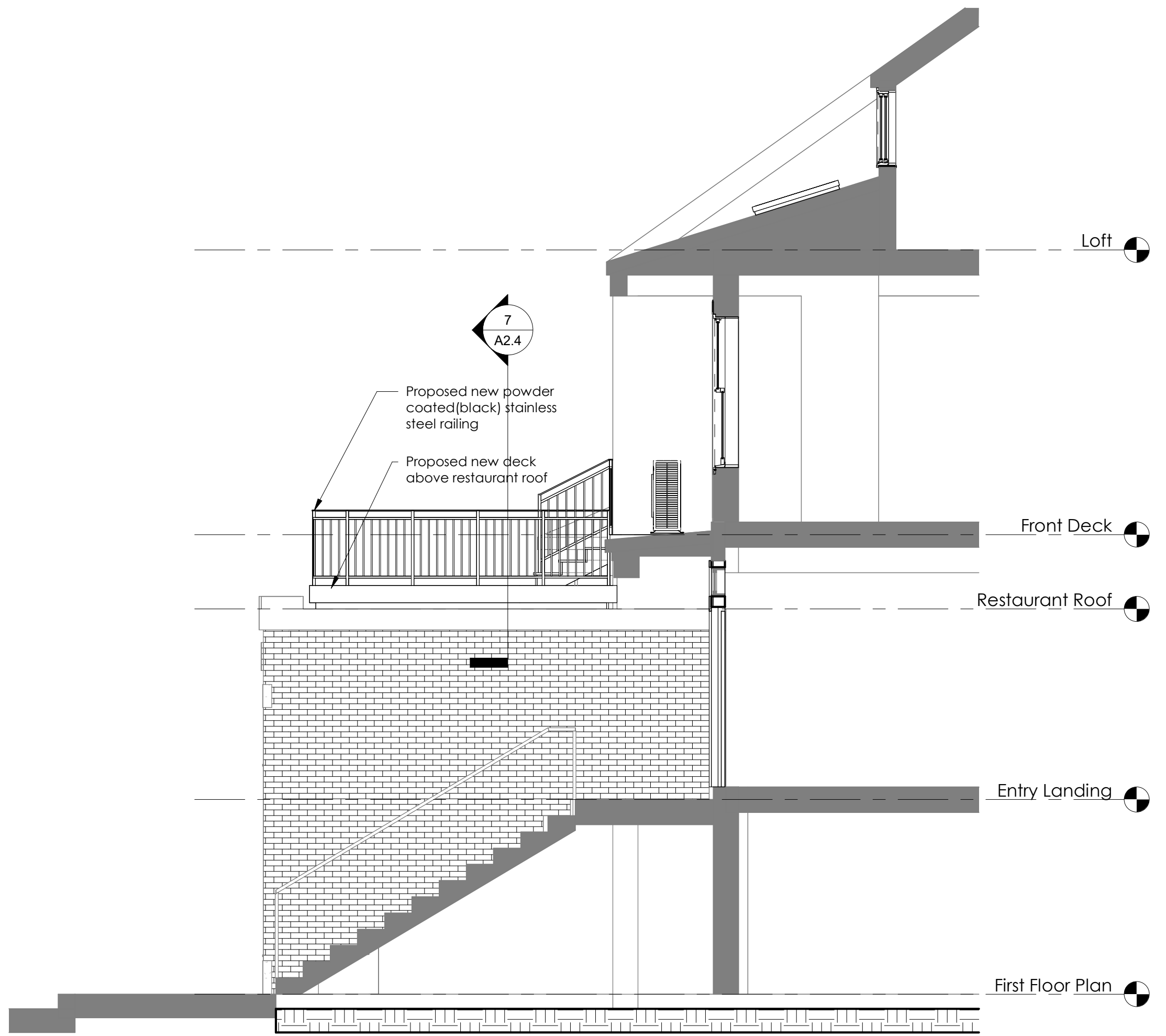
⑦ Deck Railing at Side of Restraunt
1/2" = 1'-0"



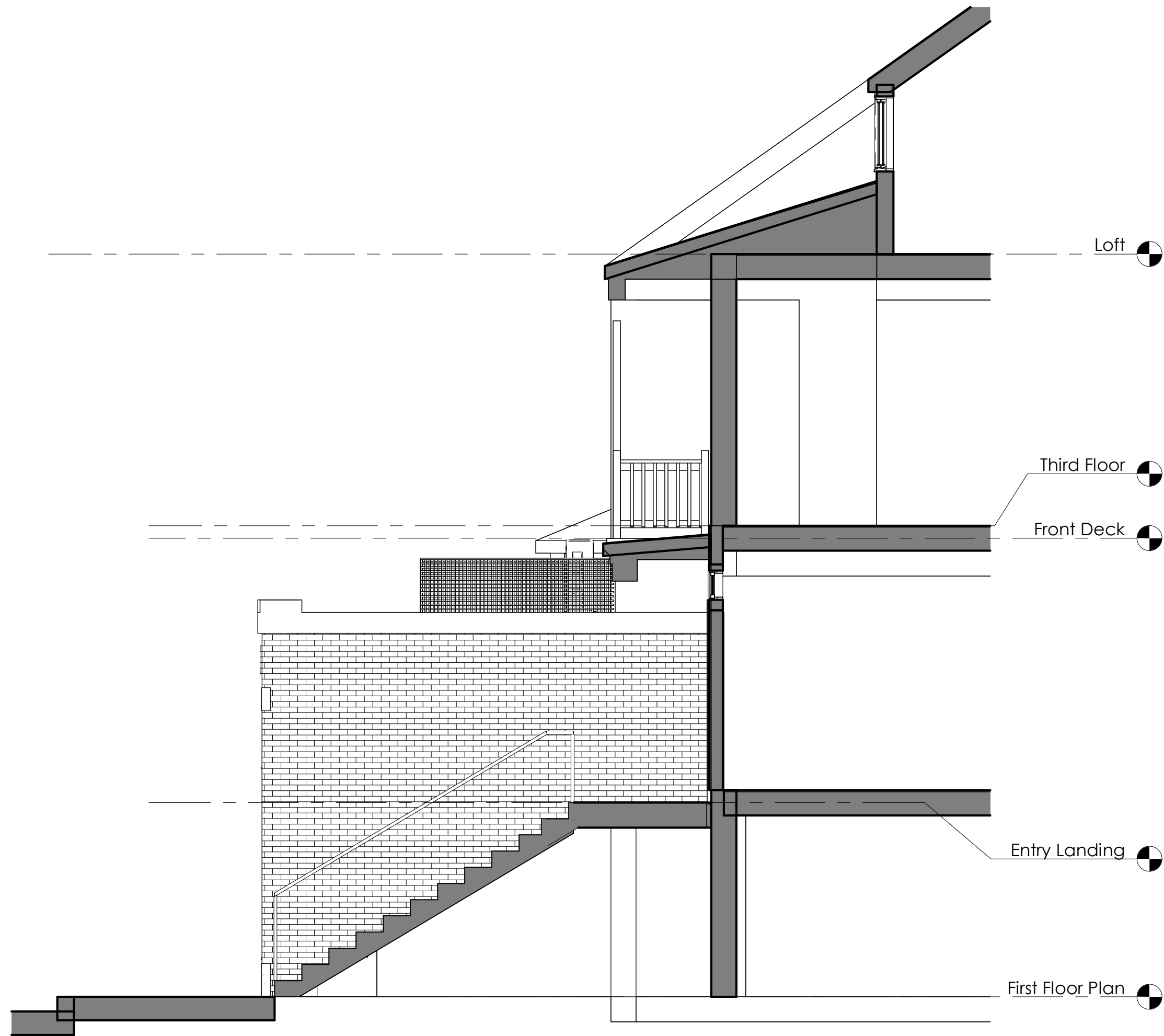
④ Proposed West Elevation
1/4" = 1'-0"



③ Existing West Elevation
1/4" = 1'-0"



② Proposed East Elevation
1/4" = 1'-0"



① Existing East Elevation
1/4" = 1'-0"



② Spring Street Entrance - Proposed
12" = 1'-0"



②x Spring Street Entrance - Existing
12" = 1'-0"



① Proposed 3D View from Street - Proposed
12" = 1'-0"



①x 3D View From Street - Existing
12" = 1'-0"

Consultants:

Revision Schedule		
#	Date	Description

Stadler
Residence

133 Spring Street
Portland, Maine

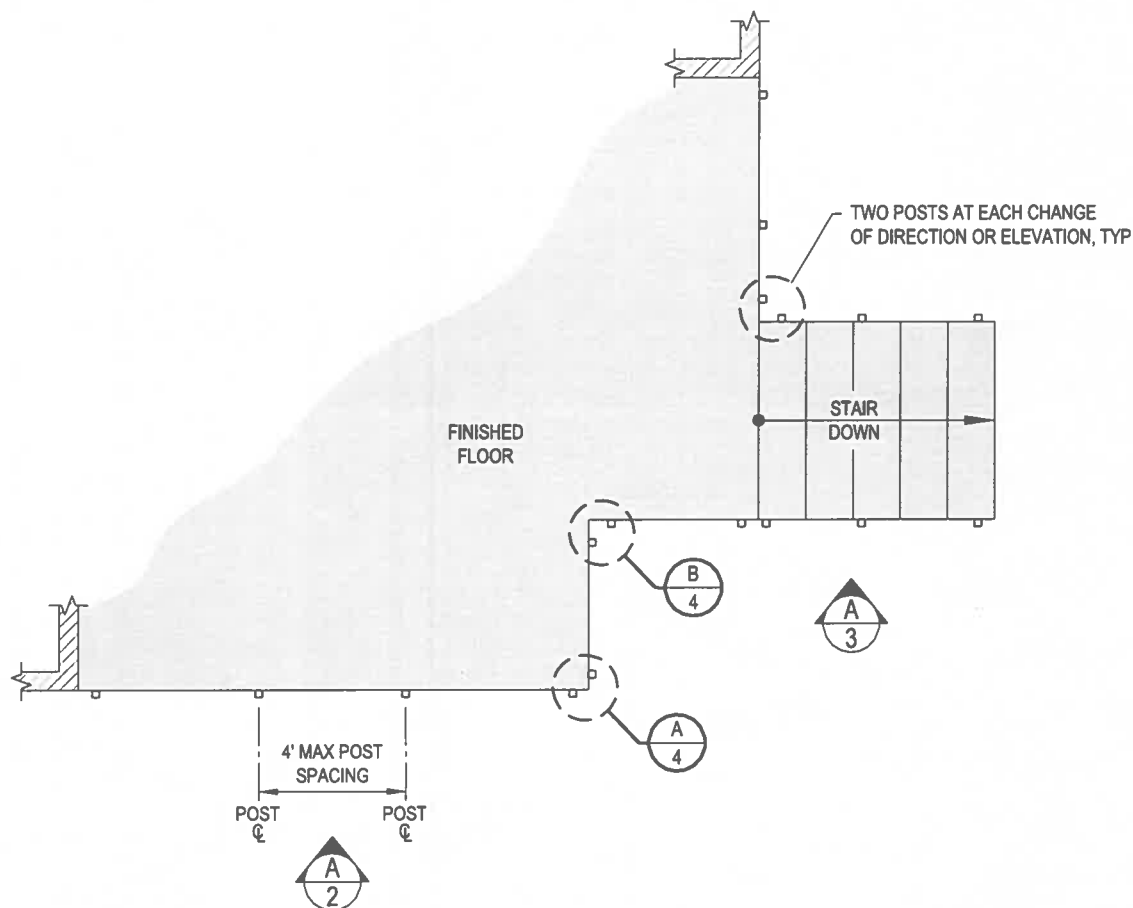
Stamp:

Project No:
Project Number
Date: Issue Date
Scale: 12" = 1'-0"
Sheet Title:
3d Renderings

Sheet Number:

PR1.1

Historic
Review

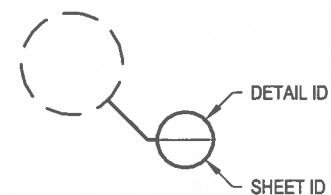


1 EXAMPLE POST LAYOUT
PLAN VIEW

NOTES:

1. TOP RAIL NOT SHOWN FOR CLARITY.
2. ALL PARTS AND COMPONENTS MADE WITH 316 STAINLESS STEEL UNLESS NOTED OTHERWISE.

LEGEND



□ SIDE MOUNT POST

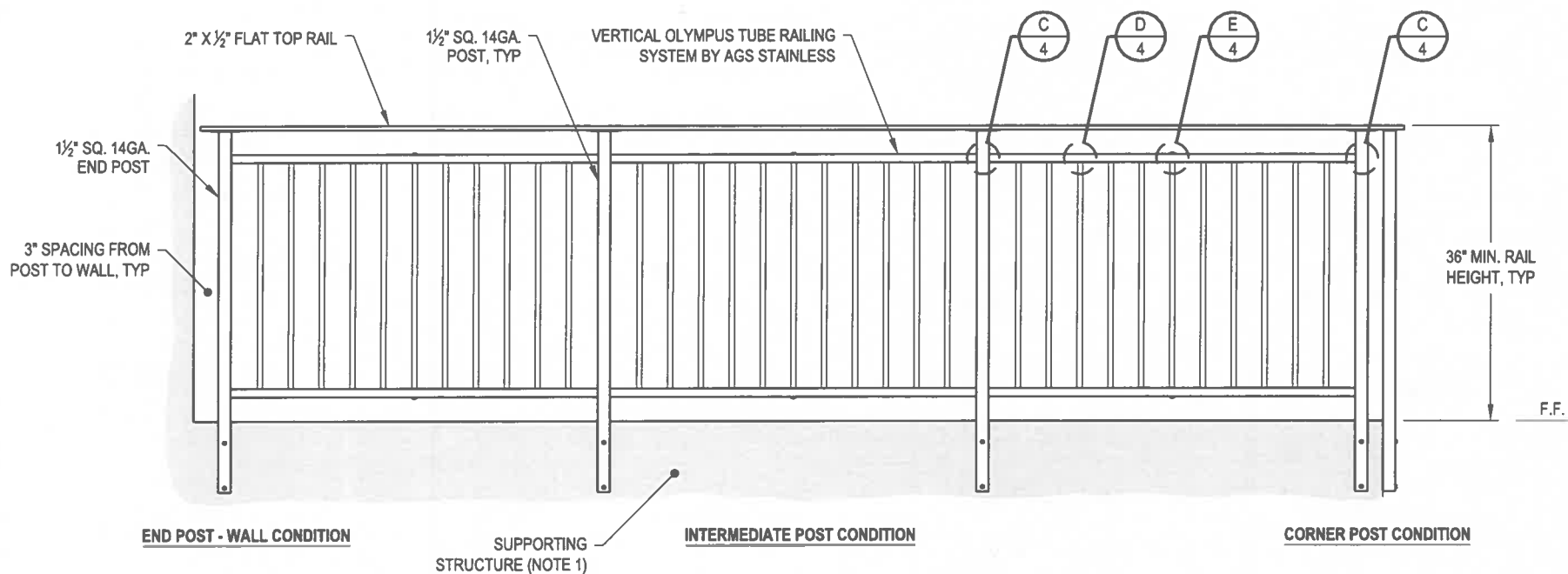
℄ CENTERLINE

F.F. FINISHED FLOOR

TYP TYPICAL CONDITION APPLIES
ELSEWHERE AT SIMILAR CONDITIONS

AGS Stainless Clearview® Railing Systems are designed to meet the requirements of the latest edition of the IRC/IBC.

PROJECT	OLYMPUS SM36F	DATE	2024	SHEET	1 of 4
SCALE	NONE	DRAWN	AGS		
VERTICAL OLYMPUS SPECIFICATION DRAWING ** RESIDENTIAL **					
36" SIDE MOUNT - FLAT TOP					
7873 NE DAY ROAD BAINBRIDGE ISLAND, WA 98110 PHONE - (888) 842-6462 FAX - (206) 842-8179 WWW.AGSTAINLESS.COM					
AGS stainless CLEARVIEW® Railing Systems					



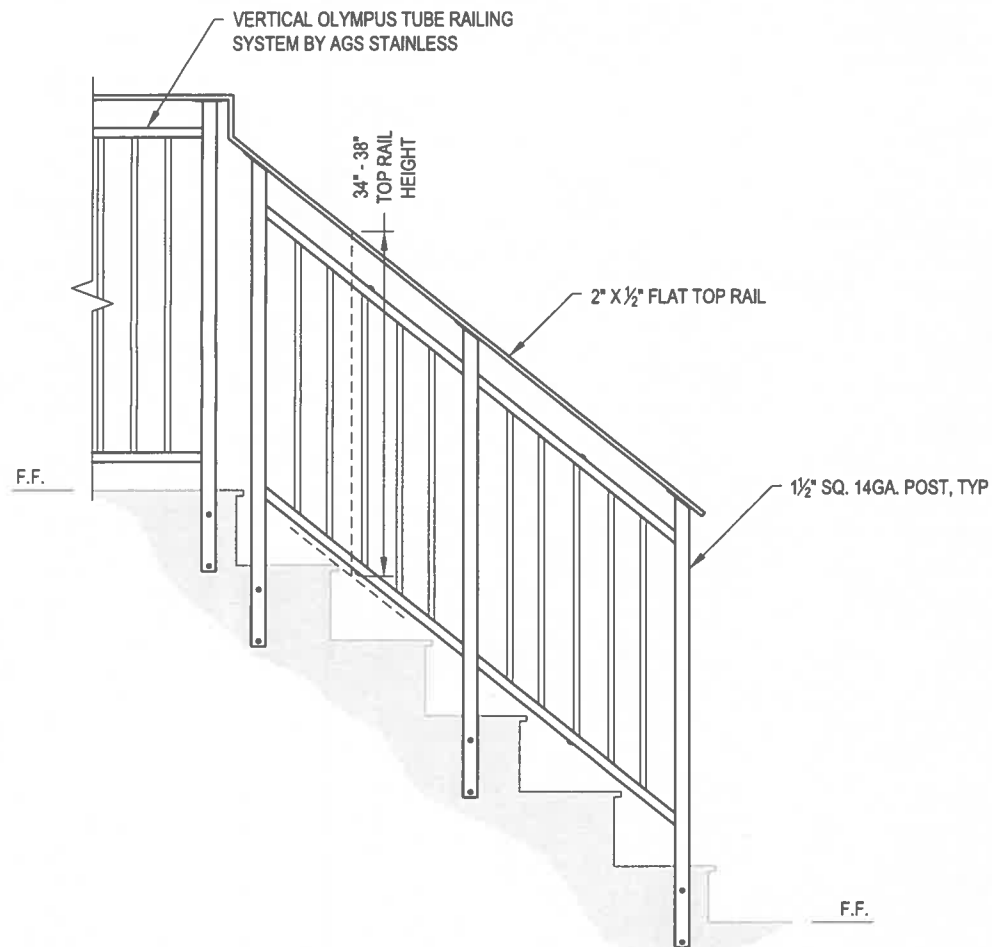
A TYPICAL RAILING CONDITION
ELEVATION

NOTES:

1. DECK STRUCTURE CAN VARY GREATLY. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO VERIFY THAT THE SUPPORTING STRUCTURE IS ADEQUATE TO MEET THE LOAD REQUIREMENTS OF THE GOVERNING BUILDING CODE(S). AGS Stainless Inc. RECOMMENDS CONSULTING A DESIGN OR CONSTRUCTION PROFESSIONAL TO ADDRESS THESE ISSUES.

AGS Stainless Clearview® Railing Systems are designed to meet the requirements of the latest edition of the IRC/IBC.

2072 NE DAY ROAD BAINBRIDGE ISLAND, WA 98110 PHONE: (888) 842-2482 FAX: (206) 842-8178 WWW.AGSTAINLESS.COM	VERTICAL OLYMPUS SPECIFICATION DRAWING ** RESIDENTIAL **	OLYMPUS SK36F	DATE 2024	2 of 4
AGS stainless CLEARVIEW® Railing Systems		SCALE NONE	BY AGS	



A STAIR
ELEVATION

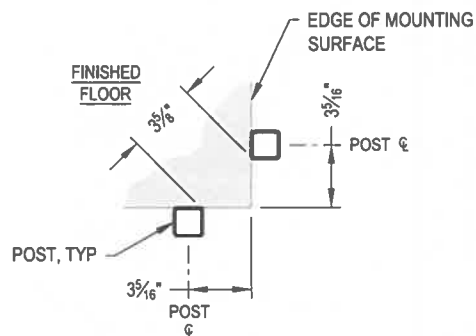
AGS Stainless Clearview® Railing Systems are designed to meet the requirements of the latest edition of the IRC/IBC.

NOTES:

1. STAIR CONSTRUCTION VARIES GREATLY. AS-BUILT CONDITIONS MAY ALTER RAILING DESIGN, INCLUDING POST LOCATION & MOUNTING, INFILL SPACING & TOP RAIL LAYOUT.

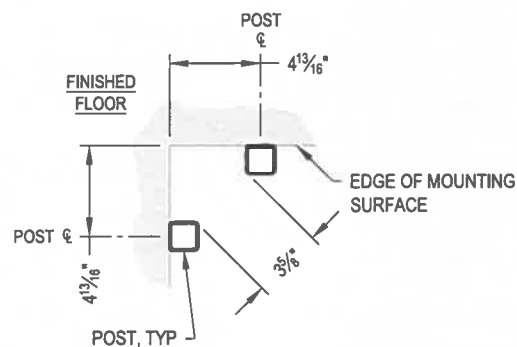
	VERTICAL OLYMPUS SPECIFICATION DRAWING ** RESIDENTIAL **			
	36" SIDE MOUNT - FLAT TOP	OLYMPUS SM36F	DATE 2024	SHEET 3 of 4
	36" SIDE MOUNT - FLAT TOP	AGS	NONE	NONE

3875 NE DAY ROAD
 BANGOR, ME 04401
 PHONE - (207) 642-9422
 FAX - (207) 642-9179
 WWW.AGSTAINLESS.COM



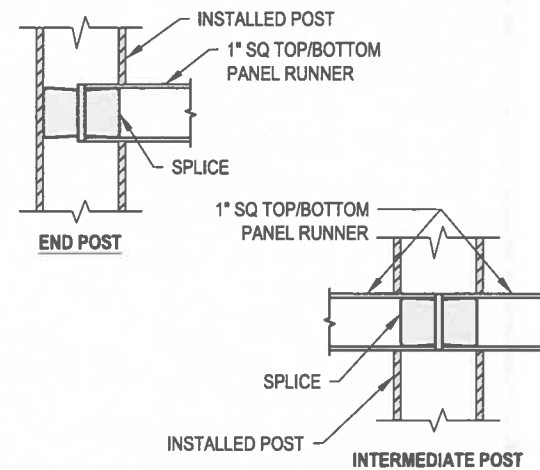
NOTE: 90° SHOWN, OTHER ANGLES SIMILAR

A TYPICAL SIDE MOUNT OUTSIDE CORNER
DETAIL

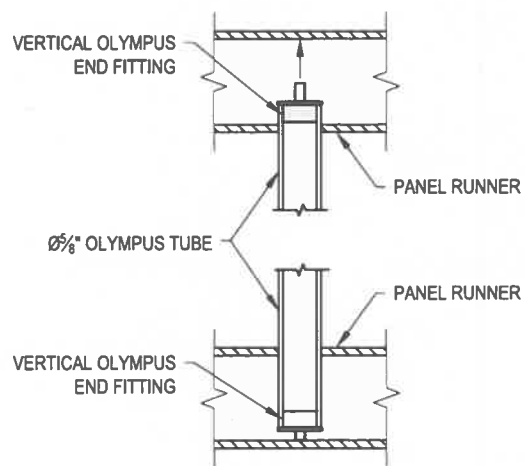


NOTE: 90° SHOWN, OTHER ANGLES SIMILAR

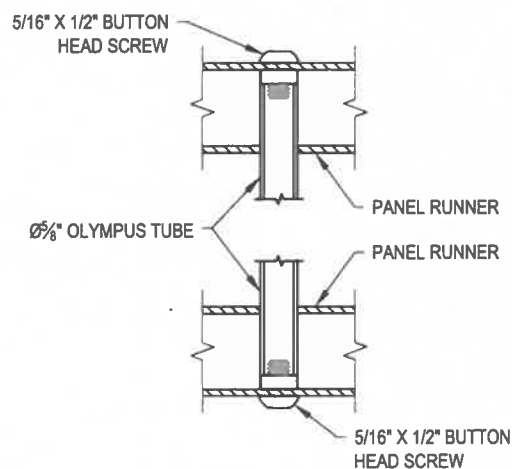
B TYPICAL SIDE MOUNT INSIDE CORNER
DETAIL



C FITTING INSTALLATION - VERTICAL PANEL RAIL SPLICE
DETAIL



D FITTING INSTALLATION - OLYMPUS INSERT
DETAIL



E FITTING INSTALLATION - MIDDLE SUPPORT TUBE
DETAIL

AGS Stainless Clearview® Railing Systems are designed to meet the requirements of the latest edition of the IRC/IBC.

DATE	OLYMPUS SM38F
SCALE	NONE
DATE	2024
REVISION	AGS
SHEET	4 of 4

VERTICAL OLYMPUS SPECIFICATION DRAWING
** RESIDENTIAL **

36" SIDE MOUNT - FLAT TOP

3071 NE DAVY ROAD
BAINBRIDGE ISLAND, WA 98110
PHONE: (206) 842-9492
FAX: (206) 842-8179
WWW.AGSSTAINLESS.COM



ULTIMATE

MARVIN SIGNATURE® COLLECTION



THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



ULTIMATE

Most extensive selection of features, options, and product types



MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



COASTLINE

Custom windows and doors for high velocity hurricane zones in the coastal Southeast



ELEVATE

Wide range of options and product types



ESSENTIAL

Curated options and product types

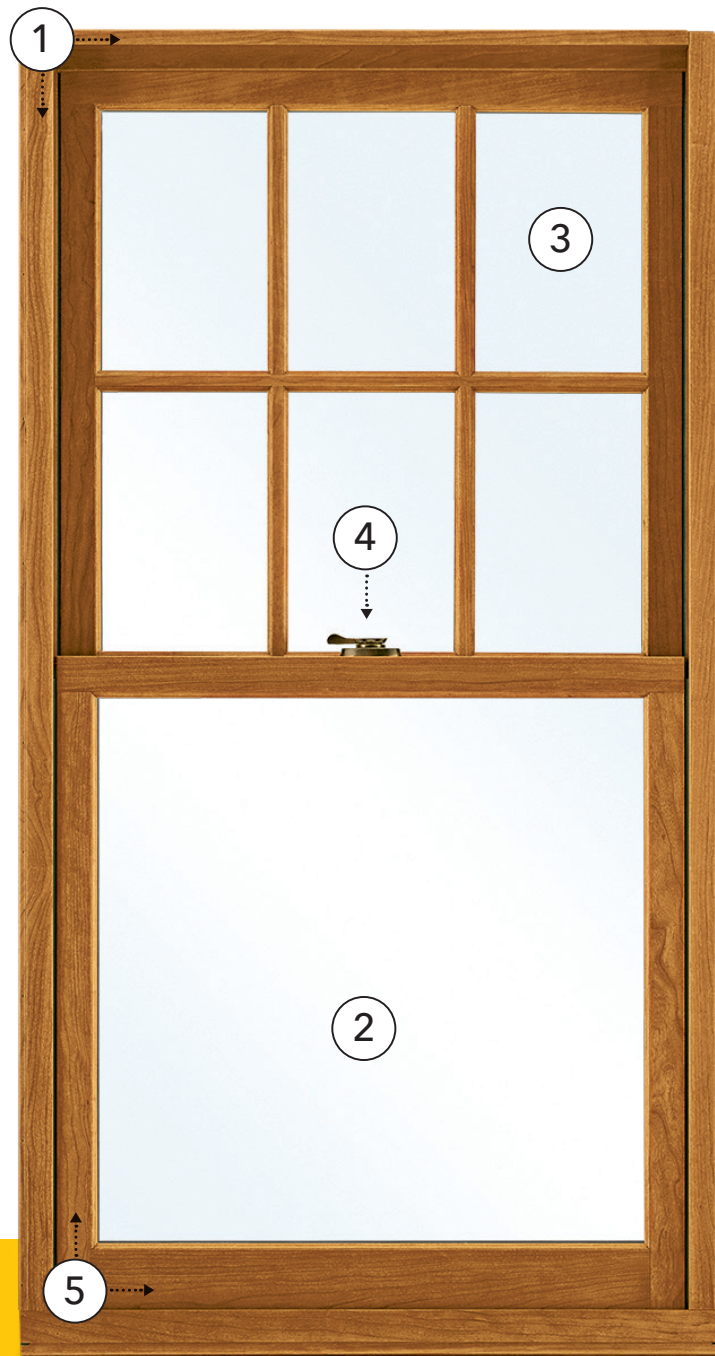
MARVIN SIGNATURE® COLLECTION

MARVIN ELEVATE® COLLECTION

MARVIN ESSENTIAL™ COLLECTION

INTERIORS	WOOD 6 species options + custom 2 painted or primed options 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat	FIBERGLASS 3 color options
EXTERIORS	EXTRUDED ALUMINUM 19 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 5 color options	FIBERGLASS 5 color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle style
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products		All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products	

WINDOW TERMS + DEFINITIONS



1. FRAME

There are three components to the frame: the header across the top, the jambs down each side, and the sill across the bottom. Marvin frames are built strong with a variety of high-quality wood species.

2. GLAZING

The glass in a window is called glazing. Marvin's broad range of glazing options can meet both high-performance and refined aesthetic requirements.

3. LITE

Each area of glass is called a lite. Marvin offers divided lite patterns for whatever look you wish to create.

4. HARDWARE

Marvin uses only the highest quality locks, handles, lifts, pulls, and hinges in a wide variety of durable finishes.

5. SASH

The sash—operating or stationary—is comprised of horizontal rails, vertical stiles, and glazing. Marvin's large solid sash offer precise fit and ease of operation.

WINDOW OPERATING STYLES



DOUBLE HUNG

Double hung windows have two movable sashes which operate vertically.



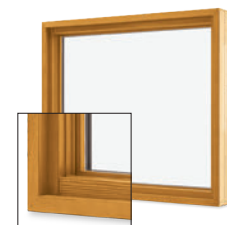
CASEMENT

A window that is hinged to its frame at the side and opens like a door.



FIXED OR PICTURE

An inoperable window with direct glaze or in-sash configurations. Available in a wide range of polygon and radius shapes.



IN-SASH PICTURE

- Fixed window designed to match the profiles of operable windows like casement, awning, or double hung
- Available in large sizes up to 8' wide × 8' high



AWNING

An awning is hinged to the frame at the top and opens outward. If hinged on the bottom, it's called a hopper.



GLIDER

A window with a sash that slides horizontally to open and close.



DIRECT GLAZE PICTURE

- Fixed window with no sash—the glass is glazed directly into the frame
- Available in stunningly large sizes with widths or heights up to 12'

MORE FLEXIBILITY TO MEET ANY DESIGN CHALLENGE.

Marvin has an extensive selection of styles, sizes, shapes, and options.

DOUBLE HUNG WINDOWS

Ultimate Double Hung windows combine state-of-the-art design with classic style. Advanced engineering and high-quality construction make our double hung windows incredibly durable, versatile, and easy to use.



ULTIMATE DOUBLE HUNG G2 WINDOW IN EBONY

ULTIMATE DOUBLE HUNG G2



ULTIMATE DOUBLE HUNG G2 WINDOW IN DESIGNER BLACK



Photo: Laurey W. Glenn

ULTIMATE DOUBLE HUNG G2 WINDOW IN WHITE WITH OIL RUBBED BRONZE HARDWARE

ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



INTERIOR



EXTERIOR



UNIQUE WASH MODE ALLOWS CLEANING OF BOTH SIDES OF GLASS FROM INDOORS

ULTIMATE DOUBLE HUNG G2

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE

RICH WOOD INTERIOR
Offers beauty and warmth with six wood species and ten interior finish options.

NARROW CHECKRAIL
Provides a sleek aesthetic at 1 15⁄16 inches to maximize daylight opening while maintaining historical accuracy.

TILT WASH MODE
Allows easy access to exterior glass for cleaning and maintenance.



EXCLUSIVE AUTOLOCK
Activates when the sashes are closed, locking the window.

ENERGY EFFICIENCY
Multiple glass options for meeting ENERGY STAR® standards in energy efficiency for various regions and climates.

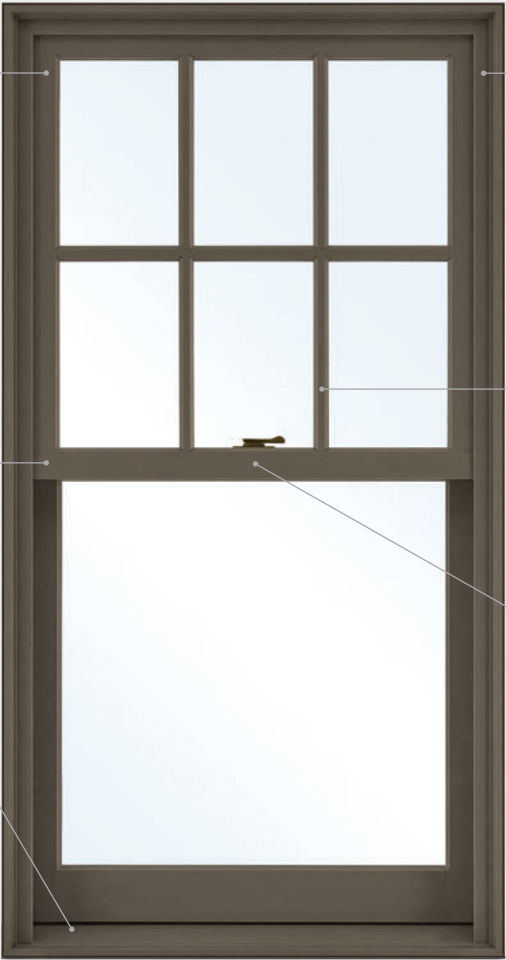
SASH BALANCE SYSTEMS
Enables smooth operation at the largest sizes.

EXTERIOR FEATURES AND PERFORMANCE

DURABLE CLADDING
Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

EXPANSIVE SIZES
Larger than 5 feet wide by 10 feet high.

TRADITIONAL SILL BEVEL
The 14-degree bevel provides optimal water management while maintaining a classic look.



SUPERIOR WEATHER PERFORMANCE
LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

DESIGN VERSATILITY
An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archtop models.

ALUMINUM INTER-LOCK
Eliminates drafts and improves the window's overall structural integrity.

CASEMENT + AWNING WINDOWS

Ultimate Casements and Awnings are innovative, high-performing windows. Delivering exceptional versatility and clean profiles, these state-of-the-art windows are designed to suit virtually any application.



ULTIMATE CASEMENT PUSH OUT WINDOW WITH WOOD INSWING SCREENS

ULTIMATE CASEMENT STYLES



ULTIMATE CASEMENT WINDOW

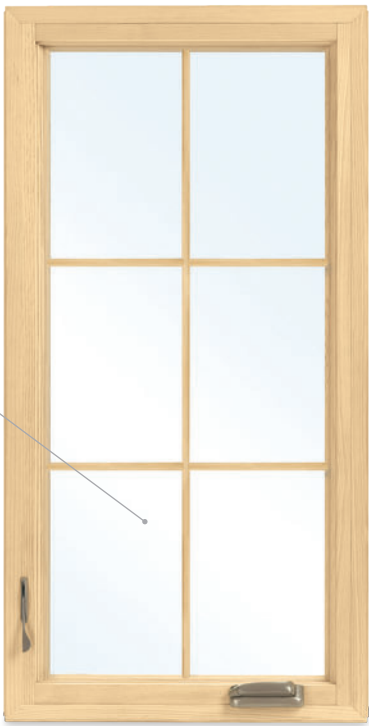
FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Ultimate Casement styles feature concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



ULTIMATE CASEMENT

A recessed sash for a traditional look, plus a full jamb, offers design flexibility for new construction or full frame replacement.



ULTIMATE CASEMENT NARROW FRAME

A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.



ULTIMATE CASEMENT EXTERIOR WITH 4 3/8" FULL JAMB



ULTIMATE CASEMENT NARROW FRAME EXTERIOR WITH 2 3/8" NARROW JAMB

JAMBS + PROFILES

The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.

ULTIMATE CASEMENT EASY WASH MODE

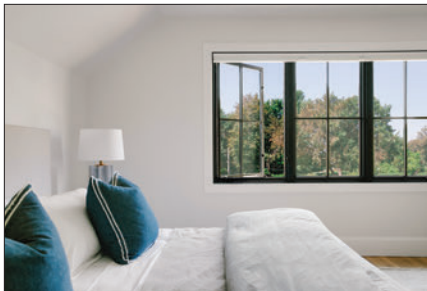
Ultimate Casement operates in a way so revolutionary that we've patented it, making Marvin the only place you'll find it. The hardware allows access to both sides of the glass from the inside of your home, making window washing stress- and ladder-free.



Marvin exclusive Wash Mode not available on Ultimate Casement windows in sizes less than 20 inches wide or Ultimate French Casement, Ultimate Awning, or Round Top windows.



ULTIMATE CASEMENT FEATURES + OPTIONS



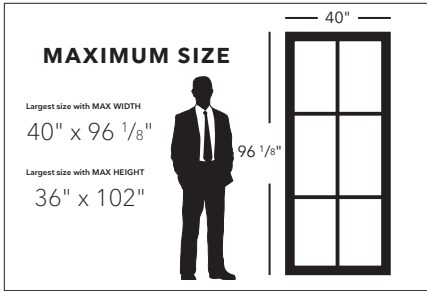
MULTI-POINT LOCKING SYSTEM
Multi-point locking mechanisms enhance performance and make large casements easy to operate.



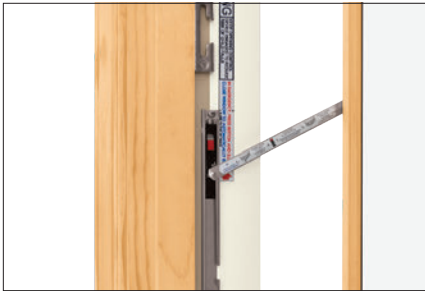
ENDLESS DESIGN OPTIONS
A variety of divided lite patterns, including a double hung look make energy-efficient casements the perfect replacement window in older homes.



LOCK STATUS SENSOR
Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked.



LARGE SIZES OPEN WITH EASE
We have developed the most durable hardware in the industry, which provides easy opening and smooth operation on even the largest casements.



WINDOW OPENING CONTROL DEVICE
Limits the casement sash opening to less than 4 inches when engaged. The release mechanism allows for operation beyond 4 inches. This option meets the ASTM F2090-21 standard.



FRICTION LIMITER
Flip a lever to lock the sash securely in place at multiple set angles, allowing you to open your window on windy days. Available for push out only.

ULTIMATE CASEMENT



ULTIMATE CASEMENT WINDOW IN DESIGNER BLACK PAINTED INTERIOR FINISH WITH MATTE BLACK HARDWARE



Photographer: Sara Tramp

ULTIMATE CASEMENT WINDOW WITH MATTE BLACK HARDWARE

ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin’s exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



CASEMENT INTERIOR WITH FOLDING HANDLE IN SATIN NICKEL



CASEMENT PUSH OUT INTERIOR WITH HANDLE IN MATTE BLACK





VELUX®

Skylights

Residential Skylights 2025 Catalog

Skylights, Sun Tunnel® Skylights, and Roof Windows

Our Best Skylight Is Now Even Better

① Glass Skylight

The base of the VELUX Skylight System is our world-famous skylight! With multiple installation options, the skylight can be fixed or venting to provide fresh air. Venting models are available in solar-powered (pictured below), electric, and manual operations.

② Solar-Powered Shade

The included room-darkening skylight shade is solar-powered and offers total light control, increasing the Skylight System's energy performance up to 45%*.

*Actual percentage varies by skylight model and size

③ Remote Controls

Each shade included in a Skylight System comes with a factory-paired remote control for easy set-up and operation. Electric and solar venting Skylight Systems also include a pre-paired remote to open and close the skylight.

Manual venting Skylight Systems can be operated with a handle or control rod, sold separately. See all remote options on page 17.

④ Standard Safety Glass

Our Standard Safety Glass is a laminated glass that is safe for out-of-reach applications. It is double-paned with an argon fill to help reduce unwanted outside noise while providing a clear view of the skies above.

⑤ Rain Sensors

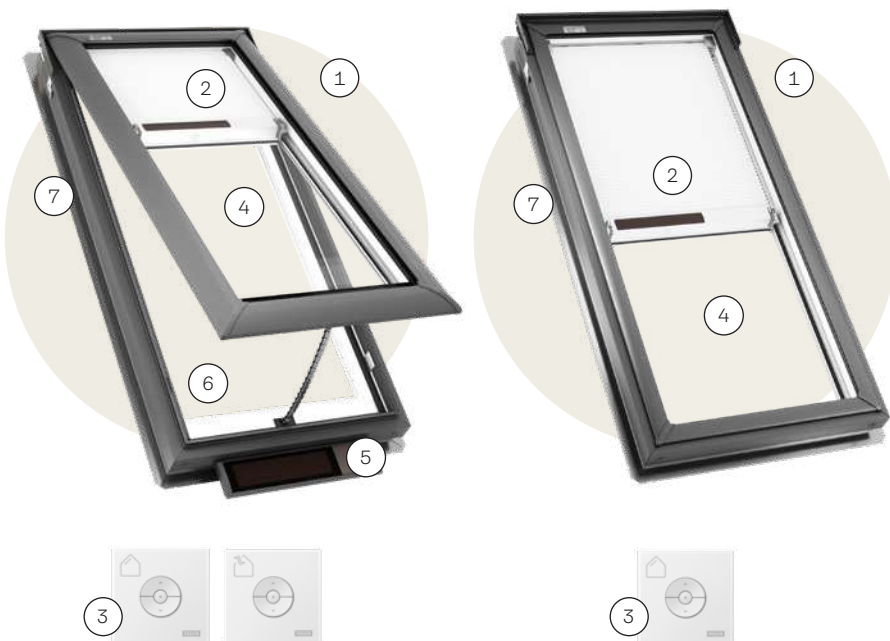
Each solar and electric venting Skylight System features an integrated rain sensor to close the skylight automatically at the first signs of inclement weather.

⑥ Insect Screens

Every venting Skylight System includes an insect screen to prevent bugs and debris from entering the home through an open skylight.

⑦ Weathertight Guarantee

VELUX flashing is required to create a weathertight seal around deck- and curb-mount Skylight Systems, as well as to qualify for our 10-year installation warranty.



VELUX SKYLIGHT SYSTEM

Skylight + Shade + Remote

Why Skylight Shades?

Your skylight wants shades.

It's simple: a skylight isn't complete without a shade! VELUX skylights have always provided abundant natural light, and now it's our standard that they also provide light control. Not only does this create a better overall experience, adding shades to skylights also improves their energy efficiency and helps create an overall more sustainable home.

Skylight Shade Benefits

How shades improve the System.

- **Light Control:** Easily open and close shades with a remote control to let in light or prevent glare on your terms.
- **Climate Control:** Shades help better insulate the skylight, blocking heat gain in the summer and keeping heat in during the winter.
- **Energy Efficiency:** VELUX solar-powered shades can increase a skylight's energy efficiency up to 45%¹ while natural light allows you to rely less on electricity.

More Skylight System Benefits

Other ways the System works for you.

- **Easy Installation:** Everything your installer needs to install your skylight system is ready to go when they arrive at your home, helping cut down on project time and the need for follow-up fixes.
- **Quality You Trust:** VELUX has been the world-leader in skylights and roof windows for over 80 years, and we're using that expertise to make your daylighting experience even better than before.



VELUX SKYLIGHT SYSTEM

Skylight + Shade + Remote

HGTV
**URBAN
OASIS**
PROUD SPONSOR
— 2023 —

Deck-Mounted Skylight Systems

Explore our range of classic deck-mounted skylights with shades, including solar, electric, and manual versions. Deck-mounted skylights attach directly to your roof with no need for a curb, resulting in a quick, seamless, and watertight installation.

VIEW FULL BROCHURE



Deck-Mounted Skylight Systems



VSS

A B C D E

Solar-Powered Fresh Air Skylight System

- Powered by a discreet solar panel allowing you to open and close your skylight with the touch of a button without using your home's electricity
- Equipped with a built-in rain sensor to close the unit in the event of inclement weather



VSE

A B C D E

Electric Fresh Air Skylight System

- Concealed motor and control system easily opens and closes skylight with a remote
- Equipped with a built-in rain sensor to close the unit in the event of inclement weather



VS

A C D E

Manual Fresh Air Skylight System

- Opens and closes by hand with a smooth turning handle for in-reach applications and a rod for out-of-reach ones
- Choose from a variety of different glass types, such as impact or snowload



FS

A C E

Fixed Skylight System

- Designed to visually expand a space by bringing in an abundance of natural light
- Choose between a variety of different glass types, such as impact or snowload
- Clean, low-profile appearance allows this skylight to fit in on any roof

Optional Upgrades: Impact Glass¹ | Snowload Glass² | Copper Cladding³ | Stain Grade Wood Interior⁴

¹ Available as special order, excluding FS, C01, FS, C04, C06, M06, M08, S06 stocked. ² Special Order for all standard sizes. ³ Excluding VSS. ⁴ VSS, VS, FS sizes C04, C06, M06, M08, S06 stocked. VSE available as Special Order.

A Add the VELUX App Control system, Gateway + App:

Automate operation of your VELUX venting skylights and shades to match your schedule anytime, anywhere with your smartphone or smart home device. See page 17



B Add VELUX ACTIVE:

Improve indoor air quality and climate based on temperature, humidity, and CO₂ levels with smart sensor automation of your VELUX skylights and shades. See page 17



C Wireless remote included. D Equipped with insect screen. E 10-year installation warranty when installed with VELUX Flashing, see page 25.

Standard Sizes	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
														
Rough Opening (W-in. x H-in.)	14 1/2 x 45 3/4	21 x 26 7/8	21 x 37 7/8	21 x 45 3/4	21 x 54 7/16	21 x 70 1/4	22 1/2 x 22 15/16	22 1/2 x 45 3/4	30 1/16 x 30	30 1/16 x 37 7/8	30 1/16 x 45 3/4	30 1/16 x 54 7/16	44 1/4 x 26 7/8	44 1/4 x 45 3/4
VSS Solar / VSE Electric		•	•	•	•					•	•	•	•	•
VS Manual		•	•	•	•				•	•	•	•	•	•
FS Fixed	•	•	•	•	•	•	♦	♦	•	•	•	•	•	•

Unless noted, all base models include pre-installed room-darkening, double pleated white shade. ♦ Model FS sizes D26 and D06 fit perfectly between roof trusses.

VELUX SKYLIGHT SYSTEM

Skylight + Shade + Remote



HGTV
**URBAN
OASIS**
PROUD SPONSOR
2023

Curb-Mounted Skylight Systems

Enjoy the benefits of fresh air and natural light even if you have a flat or lower pitched roof with our specially designed curb-mounted skylights with shades. This skylight is built like a shoe box with a site-built curb as the box and the skylight as its top, allowing for installation on a wider variety of rooftops.

VIEW FULL BROCHURE



Curb-Mounted Skylight Systems



VCS

A B C D E

Solar-Powered Fresh Air Skylight System

- Solar-powered battery control system easily opens and closes skylight with remote or smartphone app
- Equipped with a built-in rain sensor to close the unit at the first sign of rain



VCE

A B C D E

Electric Fresh Air Skylight System

- Concealed motor and control system easily opens and closes skylight with a remote
- Rain sensor automatically closes skylight at the first sign of rain



VCM

A C D E

Manual Fresh Air Skylight System

- Manually open and close the skylight with smooth-turning handles or control rods
- White frames and sashes create a sleek, high quality finish



FCM

A C E

Fixed Skylight System

- Low profile creates a clean, streamlined appearance on the roof
- Positioning allows for twice the natural light as vertical windows
- Custom sizes available

Stocked & Special Order
Custom Sizes
Available

Optional Upgrades: Impact Glass¹ | White Laminated Glass² | Triple Pane Glass³

¹ Excluding VCE. VCS 2222, 2246 stocked. FCM sizes 2222, 2234, 2246, 3030, 3046, 3434, 4646 stocked. Excluding FCM sizes 2270, 3055, 4672. ² Excluding VCE.

³ Available only for FCM as Special Order in standard sizes, excluding 2270, 3055, 3171, 4672. FCM with Triple Pane Glass cannot accommodate a solar shade.

- A Add the VELUX App Control system, see page 17. B Add VELUX ACTIVE, see page 17. C Wireless remote included.
D Equipped with insect screen. E 10-year installation warranty when installed with VELUX Flashing, see page 25.

Standard Sizes	1430*	1446*	1943	2222	2230	2234	2246	2270	2347	3030	3046
											
Outside Curb (W-in. x H-in.)	17 1/2 x 33 1/2	17 1/2 x 49 1/2	22 1/2 x 46 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	26 1/2 x 50 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2
Max Skylight Clearance (W-in. x H-in.)	18 5/8 x 34 5/8	18 5/8 x 50 5/8	23 1/8 x 47 5/8	26 5/8 x 26 5/8	26 5/8 x 34 5/8	26 5/8 x 38 5/8	26 5/8 x 50 5/8	26 5/8 x 74 5/8	27 5/8 x 51 5/8	34 5/8 x 34 5/8	34 5/8 x 50 5/8
VCS Solar				•		•	•			•	•
VCE Electric				•		•	•			•	•
VCM Manual				•		•	•			•	•
FCM Fixed	•	•	•	•	•	•	•	•	•	•	•

Standard Sizes (cont.)	3055	3171	3422	3434	3446	3737	4622	4630	4646	4672
										
Outside Curb (W-in. x H-in.)	33 1/2 x 58 1/2	35 x 75	37 1/2 x 37 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	40 1/2 x 40 1/2	49 1/2 x 25 1/2	49 1/2 x 33 1/2	49 1/2 x 49 1/2	49 1/2 x 75 1/2
Max Skylight Clearance (W-in. x H-in.)	34 5/8 x 59 5/8	36 1/8 x 76 1/8	38 5/8 x 38 5/8	38 5/8 x 38 5/8	38 5/8 x 50 5/8	41 5/8 x 41 5/8	50 5/8 x 26 5/8	50 5/8 x 34 5/8	50 5/8 x 50 5/8	50 5/8 x 76 5/8
VCS Solar				•		•	•	•	•	
VCE Electric				•					•	
VCM Manual				•					•	
FCM Fixed	•	•	•	•	•		•	•	•	•

*Shades are not available for FCM sizes 1430 or 1446.



129-135 SPRING ST, 1990-1

Portland Historic Resources Inventory

Property Address: 129-135 Spring Street

Inventory #: SP-121

Assessor's C/B/L: 39-A-28-29-31

District: Spring Street

Map #: 121

Rating:

Local Code: CONTRIBUTING

National Register: Ind. Listing N/A District Spring Street

Date of Placement: Local 08/01/1990 National 04/03/1970

Description of Significant Features and Subsequent Alterations:

This four unit row house has undergone extensive facade alteration. To accomodate two storefronts, the integrity of the block and its site placement have been marred. The ground floor storefront at #129 was installed prior to 1924 as was the slate sheathed shed dormer on the roof. The small windows inserted in the boarded up original openings, however, are fairly recent alterations. Its recessed doorway is topped by a flush granite lintel (as the windows are) and though the door is not original, this unit gives us a semblance of the way the Greek Revival doorways were configured. The steps of this unit have also been changed. Next door at #131, the roof has been cut away and a dormer inserted. A broad two-story, 4 part bay window has also been added. The doorway is not original for it would have been recessed and topped by a granite lintel as at #129. The steps and random coursed stone retaining wall are not original. The roofline of #133 has been similarly altered for upper story windows. A second floor window has been shortened and a panel inserted in the original opening. This unit has a Queen Anne front door. After 1924, the ground floor was altered to accomodate a storefront which is not unattractive as a 1920s commercial structure, but which is disfiguring to the rowhouse. It has a glass transom and the indented storefront windows lead to a recessed door. The roofline has a parapet shape and gives an idea of what the storefront addition at #106 High Street originally looked like. #135 is in the best condition, but is also the result of alterations done during the Italianate period. The first floor was altered before 1882 by a 4 part bay window and portico. It has a new cement retaining wall. The original parapet side gabled roofline is best understood from this unit, for there has only been a skylight inserted. There is a bay window attached to the west elevation on the ground floor, as well as a fire escape.

City Review of Certificates:

Date	Action	Type	Summary of Work
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Property Name: John J. Frost Block I
Property Name(Other):
Street Address: 129-135 Spring Street
Town: Portland County: Cumberland
Date Surveyed: 06/1990 Surveyor: Rick Redlon
Updated: by
(date) (surveyor)
by
by

Owner Name: #129:Peter&Mary Rogers #131:Larry Alderstein #133:
Owner Address: Gilbert & Rebecca Coppersmith #135:Ptld Vntre Prtn

Primary Use (Present): MULTI FAMILY

Condition: POOR

ARCHITECTURAL DATA

Primary Stylistic Category: GREEK REVIVAL

Other Stylistic Category: ITALIANATE

Height: 2 1/2 STORY

Primary Facade Width (Main Block; Use Ground Floor): +5 Bay

Appendages: REAR ELL FRONT ADDED STORIES
DORMERS

Porch:

Plan: SIDE HALL

Primary Structural System: BRICK

Chimney Placement: INTERIOR INTERIOR END

Roof Configuration: GABLE SIDE

Roof Material: ASPHALT

Exterior Wall Materials: BRICK

Foundation Material: BRICK GRANITE

Outbuildings/Features: FENCE OR WALL

HISTORICAL DATA

Documentated Date of Construction: 1845-1846

Estimate Date of Construction:

Date Major Additions/Alterations:

Architect:

Contractor: John J. Frost, Builder

Original Owner: John J. Frost

Subsequent Signific. Owner:

Dates:

Cultural/Ethnic Affiliation:

Historic Context(s): HABITATION

Comments:

PHRI 1976; 1924 Tax Assessor's Report; 1969 Survey Forms; Portland Street File; 1882 Reevaluation Map

Historical Drawings Exist N
Location:

ENVIRONMENTAL DATA

Site Integrity: Original Y Moved N Date Moved