

1. 111 Commercial Street Memo

Documents: [HPMEMO111COMMERCIALSTREET11613.PDF](#)

2. 713 Congress Street Memo

Documents: [HPMEMO713CONGRESSST11613.PDF](#)

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING (continued)
111 COMMERCIAL STREET**

TO: Chair Romano and Members of the Historic Preservation Board
FROM: Deb Andrews, Historic Preservation Program Manager
DATE: October 29, 2013
RE: November 6, 2013 Public Hearing (continued from October 9 meeting)

Application For: Certificate of Appropriateness for Rooftop Additions
Address: 111 Commercial Street
Applicant: Blanchard Block LLC
Represented by Scott Lindsay
Architect: Glenn Harmon, Oak Point Associates

Introduction

On October 9th, a public hearing was held on Blanchard Block LLC's application for rooftop additions to the front and rear roof planes of 111 Commercial Street. Following deliberations, the Board voted 6-0 (Ermlich absent) to table a final decision on the application pending receipt of a revised proposal for the rear (Gold Street) roof dormers.

Although there was broad agreement among Board members that the proposed treatment for the Commercial Street roof plane met the historic preservation ordinance standards as presented, at least three members of the Board indicated that they could not support the rear dormers as proposed, based on their finding that the proposal failed to meet Standard # 2. Board member found that the rear dormers were too "massive" and out of scale with the surrounding roof plane and that they unduly altered the architectural character of this historic commercial block. Noting that the rear roof plane was highly visible from numerous vantage points, Board members stressed it warranted just as sensitive a design solution as the Commercial Street roof plane. Following lengthy discussion regarding possible design revisions which might reduce the size of the dormers and make them more visually recessive, the Board elected to table the application to give the architect an opportunity to explore further modifications.

Attached is project architect Glenn Harmon's revised proposal, together with an e-mail describing the changes made in response to the Board's concerns. For comparison purposes,

staff has enclosed the 10/9 elevations as well. *Note that the design for the front roof plane has not changed since the last meeting.*

Final Proposal

As the Board is well familiar with this project and Mr. Harmon has highlighted the final design revisions in his e-mail, there is no need to repeat the information here. The question for the Board is whether the latest modifications satisfy previous concerns about the scale of the rooftop additions relative to the surrounding roof plane, their impact on the building's historic character and their visual impact from various view corridors.

Applicable Review Standards

1) Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.

(2) The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

(3) All sites, structures and objects shall be recognized as products of their own time, place and use. Alterations that have no historical basis or create a false sense of historical development such as adding conjectural features or elements from other properties shall be discouraged.

(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.

(10) Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.

Motion for Consideration

On the basis of plans and specifications submitted for the 11/06/13 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed rooftop additions at 111 Commercial Street **meet (fail to meet)** the Standards for Review of Alterations within the historic preservation ordinance, specifically Standards #..... . **(Board approval was made subject to the following conditions...)**

Attachments

1. E-mail from project architect
2. Revised proposal
3. Plans presented at 10/9 public hearing

Att. 1

Deb Andrews - 111 Commercial Street

From: "Glenn Harmon" <gharmon@oakpoint.com>
To: "Deb Andrews" <DGA@portlandmaine.gov>
Date: 10/28/2013 2:01 PM
Subject: 111 Commercial Street

Good afternoon Deb, here is a summary of the revisions made to the Gold Street roof from our last presentation:

The proposed rear dormers have been reduced in width and height from the previous submission to provide more prominence to the surrounding existing roof such that the appearance is of a dormer sitting atop the gable rather than a 6th story penetrating through it. The height of the outer bays has come down to an 8' ceiling level (from 9'-6" nominal earlier) and the width shrunk back to 4 windows (from earlier 5), resulting in a 15' wide dormer (from the earlier 17' width). The distance from the gable ridge to the dormer roof intersection is now 5'-2" (vs 3'-4" previously so 1'-10" more gable roof exposed). The result is that the center bay dormer housing the mechanical unit is slightly taller, as discussed, because we have set the eave at the minimum clearance possible. The mechanical dormer roof slope is shallower as a result. Material selections remain as previously submitted.

Thanks

GLENN LORING HARMON | Senior Architect
TEL 207.283.0193 | FAX 207.283.4283
www.oakpoint.com | gharmon@oakpoint.com



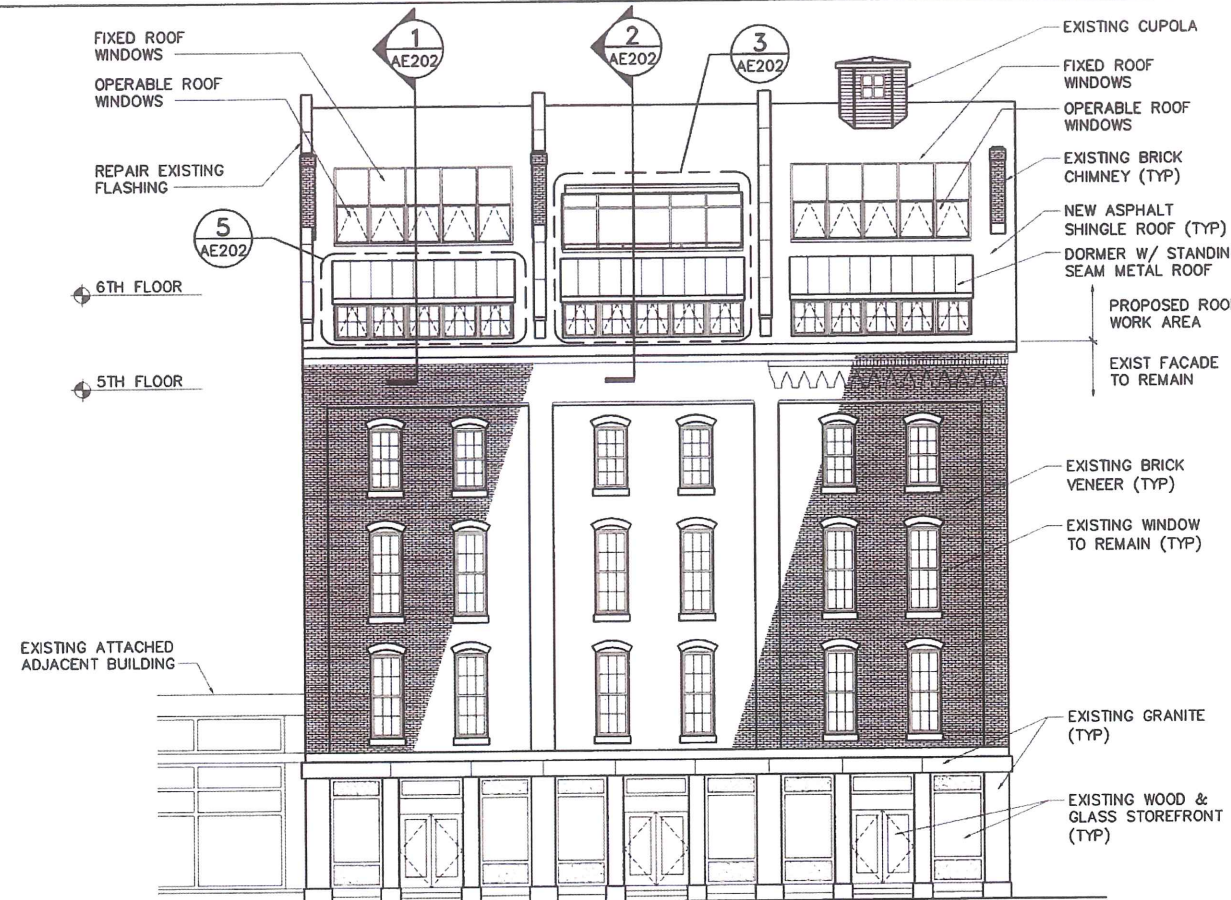
OAK POINT
ASSOCIATES | architecture
engineering
planning

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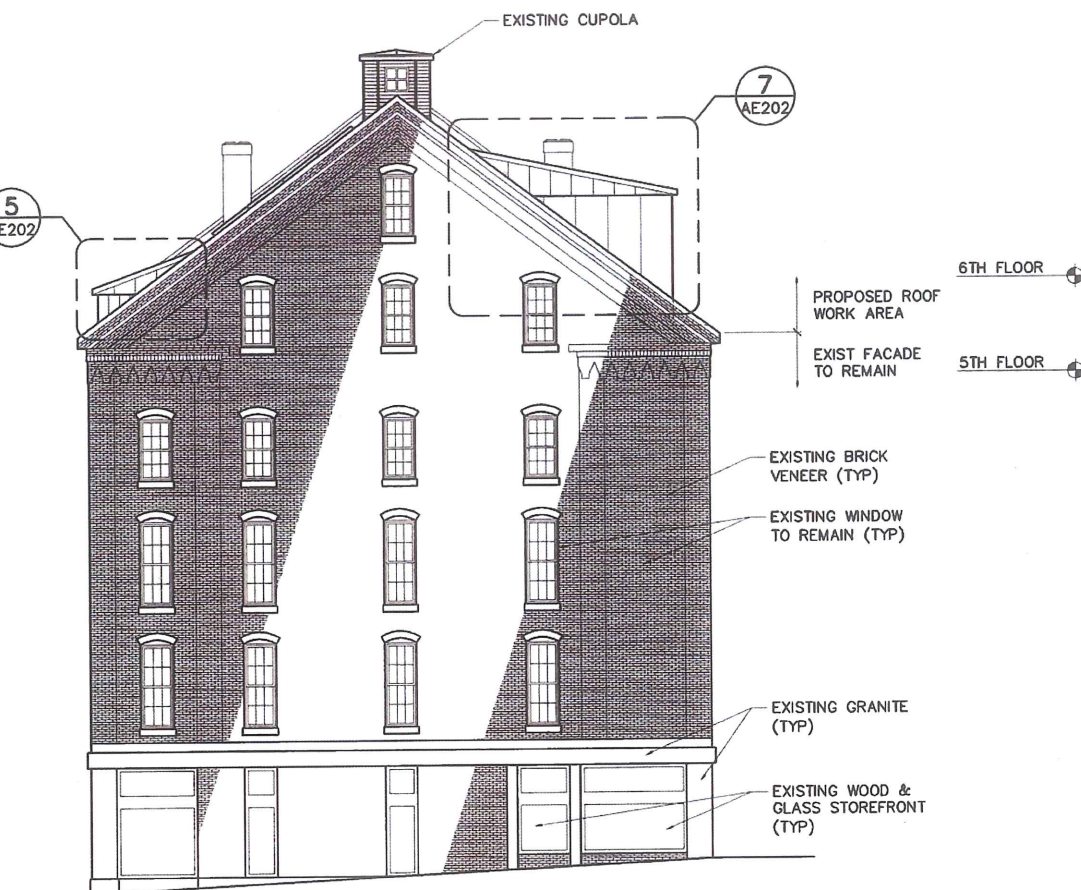


Please consider the environment before printing this email.

ATT. 2
CURRENT
PROPOSAL



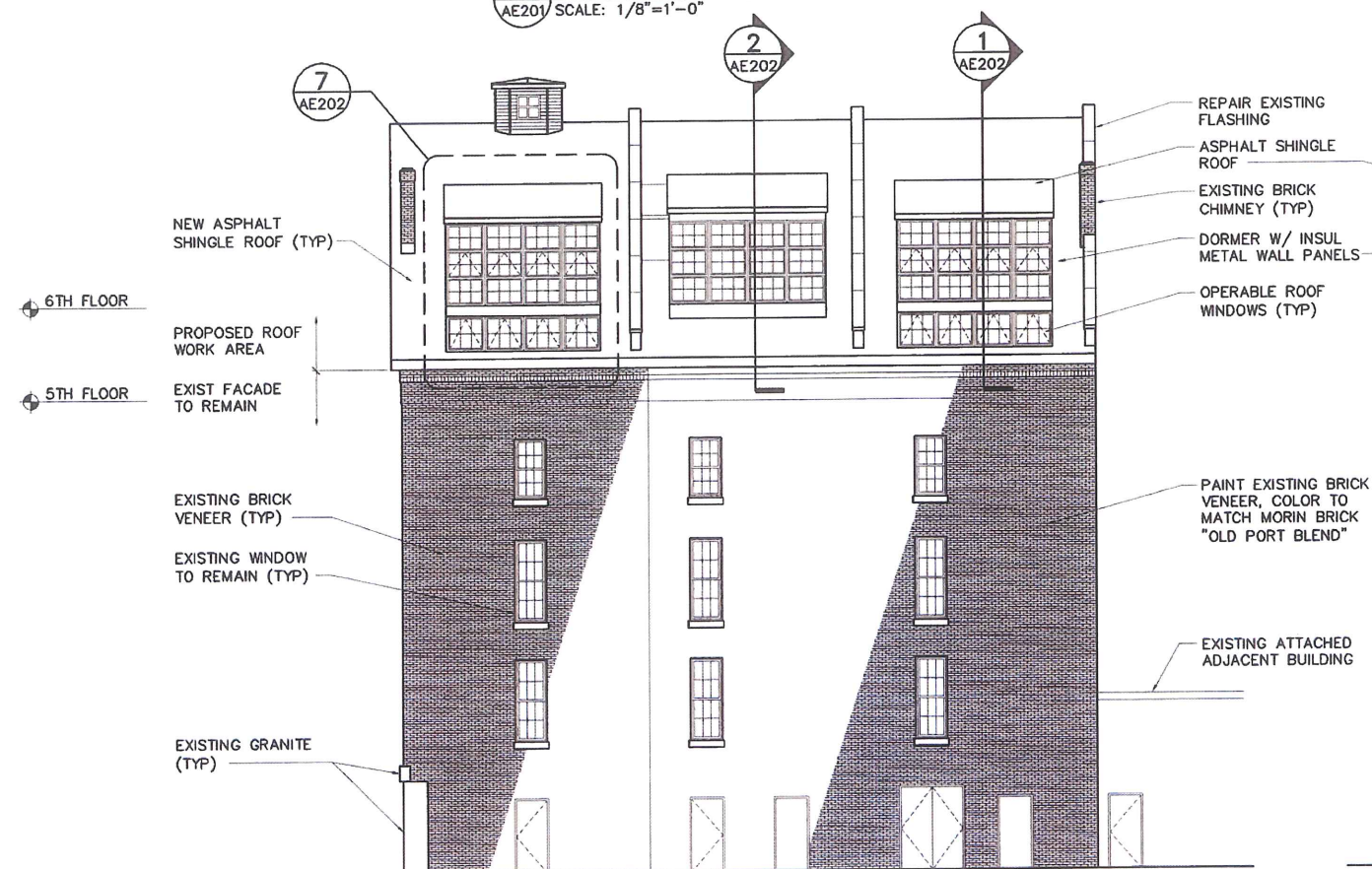
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AE201 SCALE: 1/8"=1'-0"



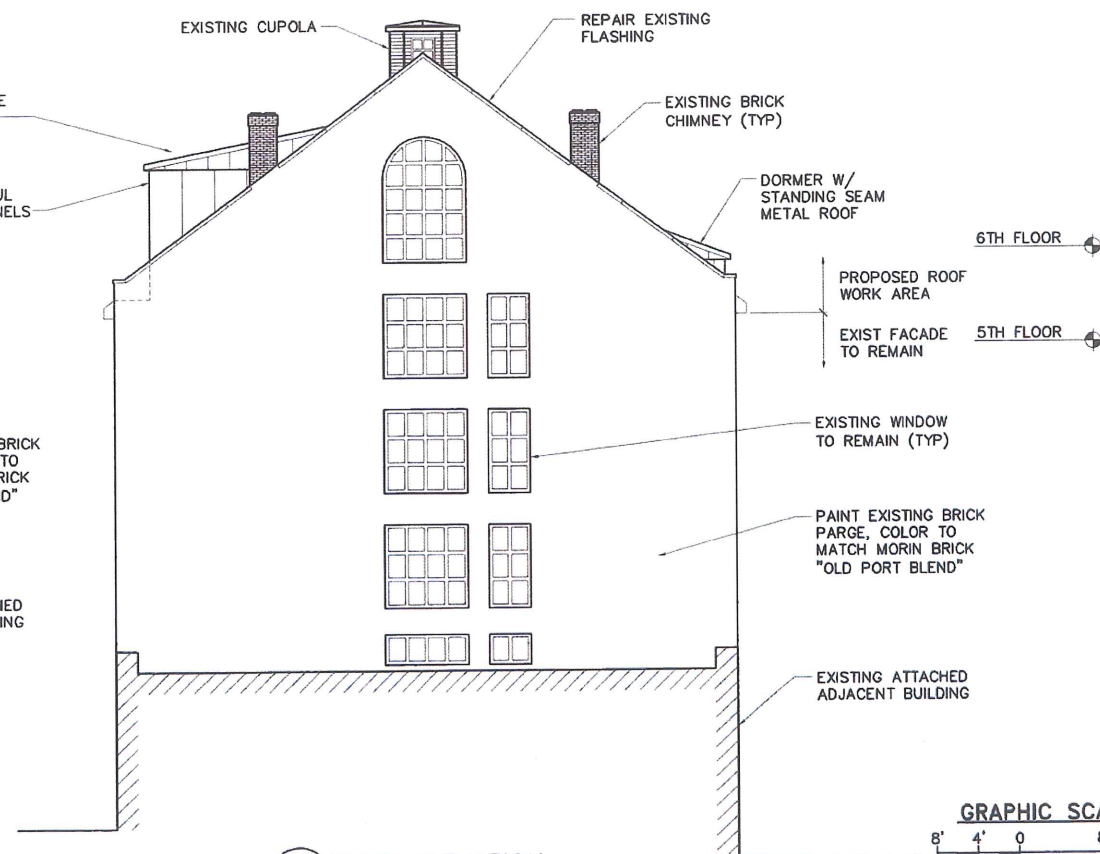
2 PEARL STREET ELEVATION
AE201 SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

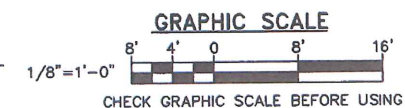
1. COORDINATE MECHANICAL UNIT REMOVAL WITH MECHANICAL SUBCONTRACTOR.



3 GOLD STREET ELEVATION
AE201 SCALE: 1/8"=1'-0"



4 WEST ELEVATION
AE201 SCALE: 1/8"=1'-0"



ISSUED FOR
HPB APPROVAL

GLH CRR GLH
DESIGNED BY:
DRAWN BY:
CHECKED BY:
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK
111 Commercial Street - Portland, Maine

EXTERIOR
ELEVATIONS

SCALE: AS NOTED

DATE: 20 NOV 201:

DWG: AE201

SHEET: 1 of 3

ISSUED FOR
 HPB APPROVAL

DESIGNED BY: GLH
 DRAWN BY: CRR
 CHECKED BY: GLH
 PROJECT: 21304.11

BLANCHARD BLOCK LLC

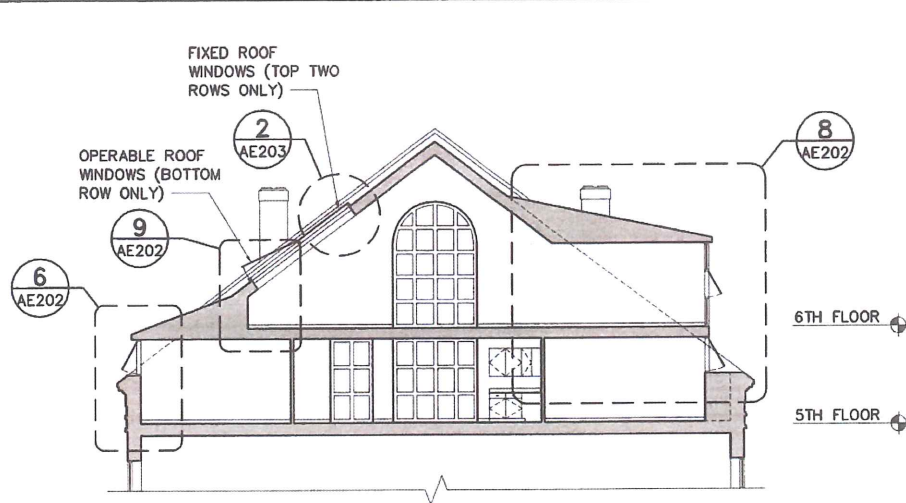
RENOVATION TO
 BLANCHARD BLOCK
 111 Commercial Street - Portland, Maine

BUILDING
 SECTIONS
 AND DETAILS

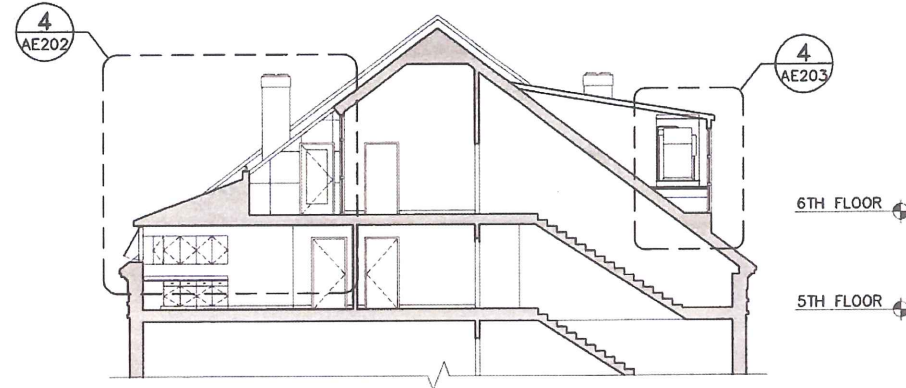
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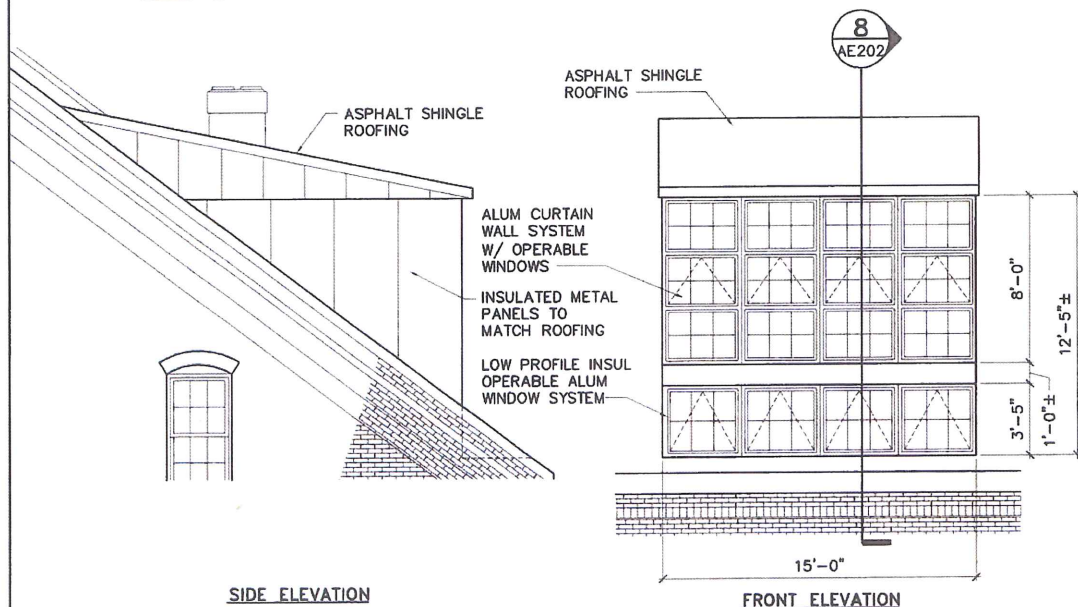
SHEET: 2 of 3



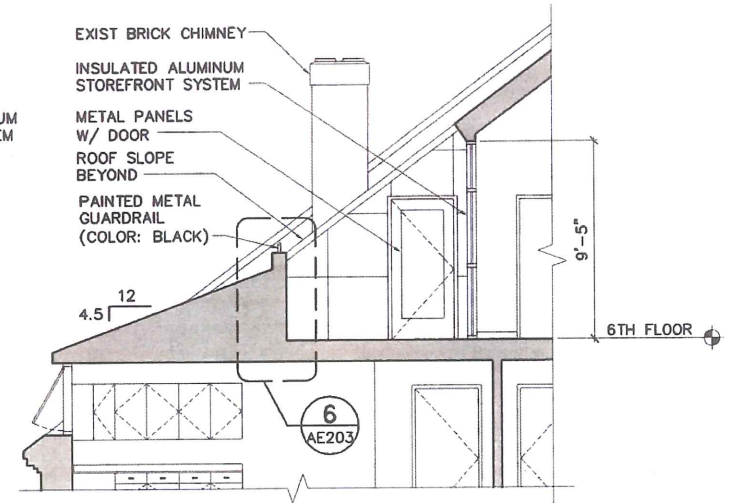
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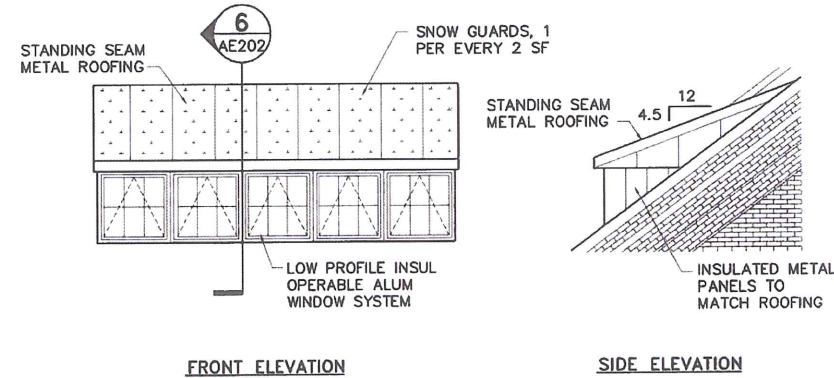
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 AE201 AE202 SCALE: 1/8"=1'-0"



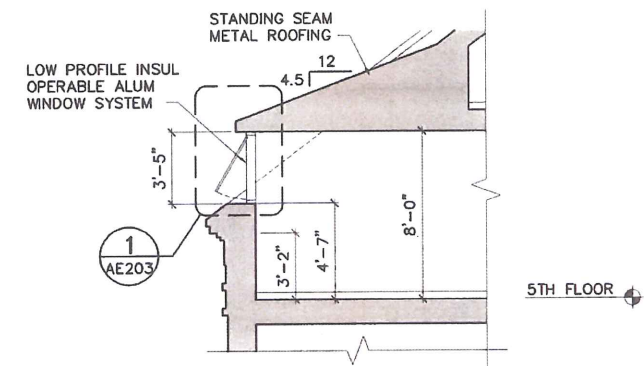
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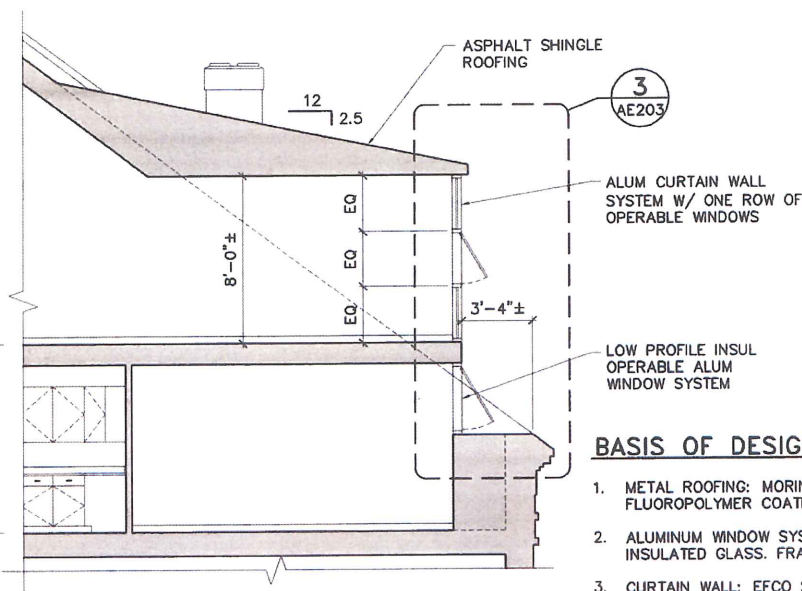
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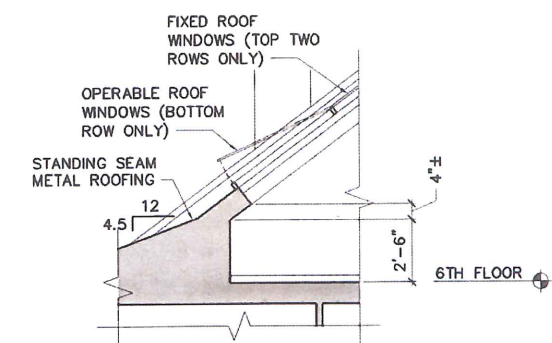
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 AE201 AE202 SCALE: 1/4"=1'-0"



6 FRONT DORMER SECTION
 AE202 SCALE: 1/4"=1'-0"



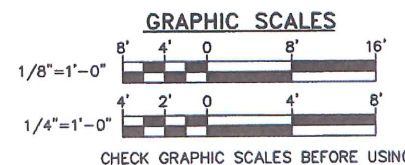
7 REAR DORMER ELEVATIONS
 AE202 SCALE: 1/4"=1'-0"



8 REAR DORMER SECTION
 AE202 SCALE: 1/4"=1'-0"

BASIS OF DESIGN PRODUCT DATA:

- METAL ROOFING: MORIN SCRPROFILE WITH FLUOROPOLYMER COATING COLOR: ZINC GREY
- ALUMINUM WINDOW SYSTEM: EFCO SERIES 2600 INSULATED GLASS. FRAME COLOR: GREY
- CURTAIN WALL: EFCO SYSTEM 5800, INSULATED GLASS. FRAME COLOR: GREY
- SKYLIGHTS: WASCO GSV 2246, COLOR CHARCOAL GREY



Zc

GENERAL NOTES

1. ALL FINISHES: MATTE
2. ALL METAL COLORS: MANUFACTURER'S STANDARD CHARCOAL GREY VARIANT
3. COORDINATE MECHANICAL UNIT REMOVAL, DISCONNECT, REINSTALLATION OF NEW AND RECONNECTION WITH MECHANICAL SUBCONTRACTOR

ISSUED FOR HPB APPROVAL

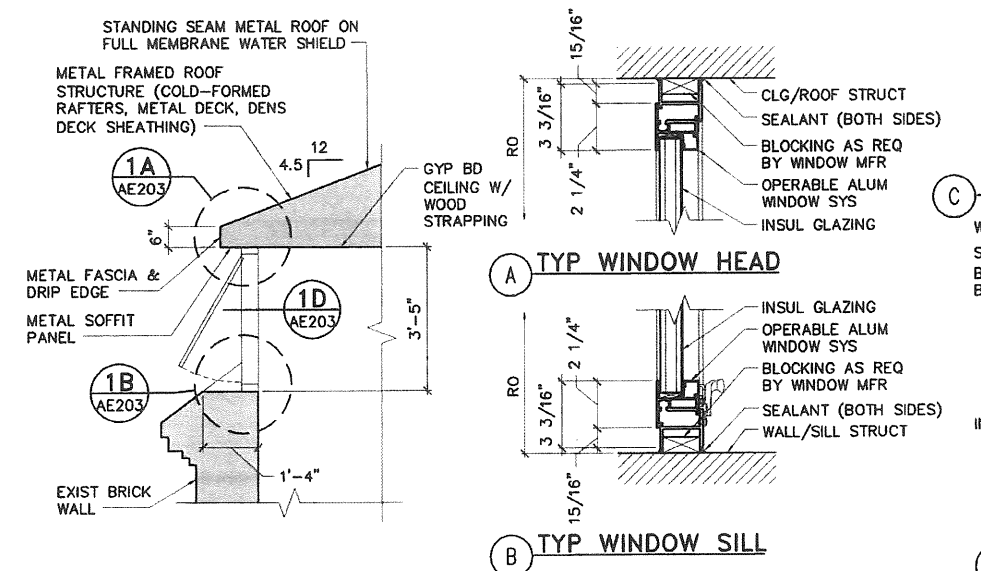
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DRAWN BY: CRK
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

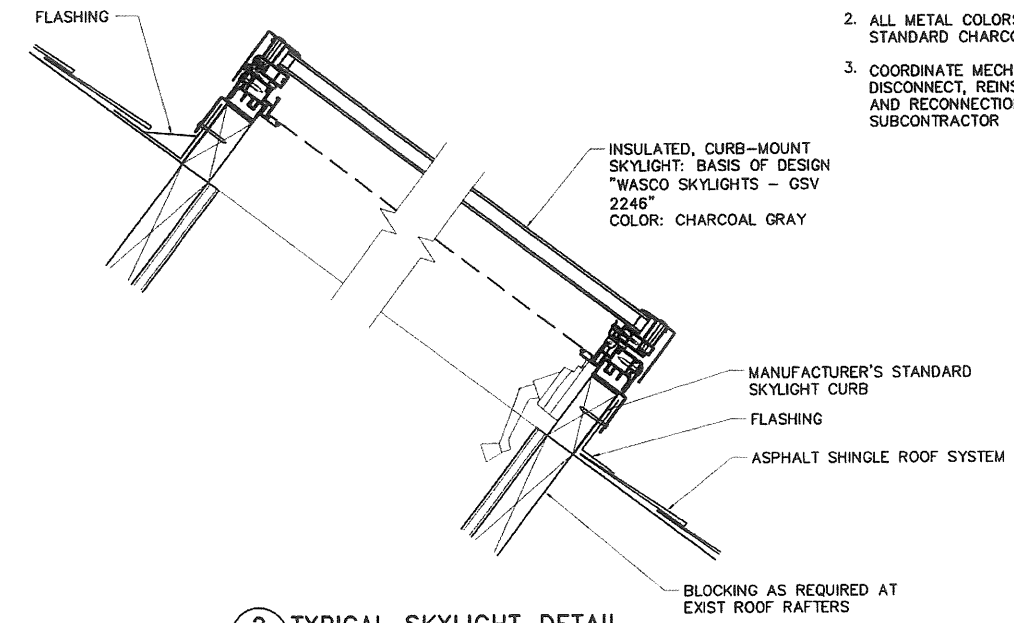
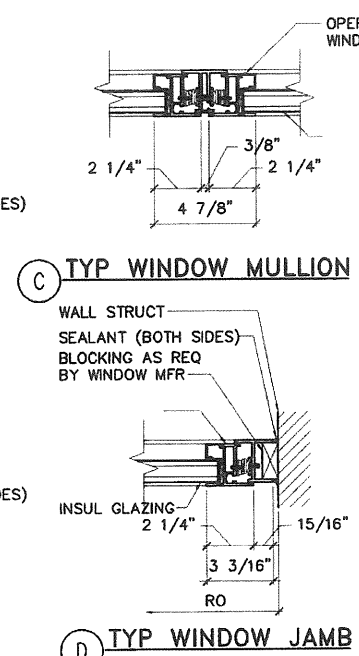
RENOVATION TO
BLANCHARD BLOCK
111 Commercial Street - Portland, Maine

DETAILS

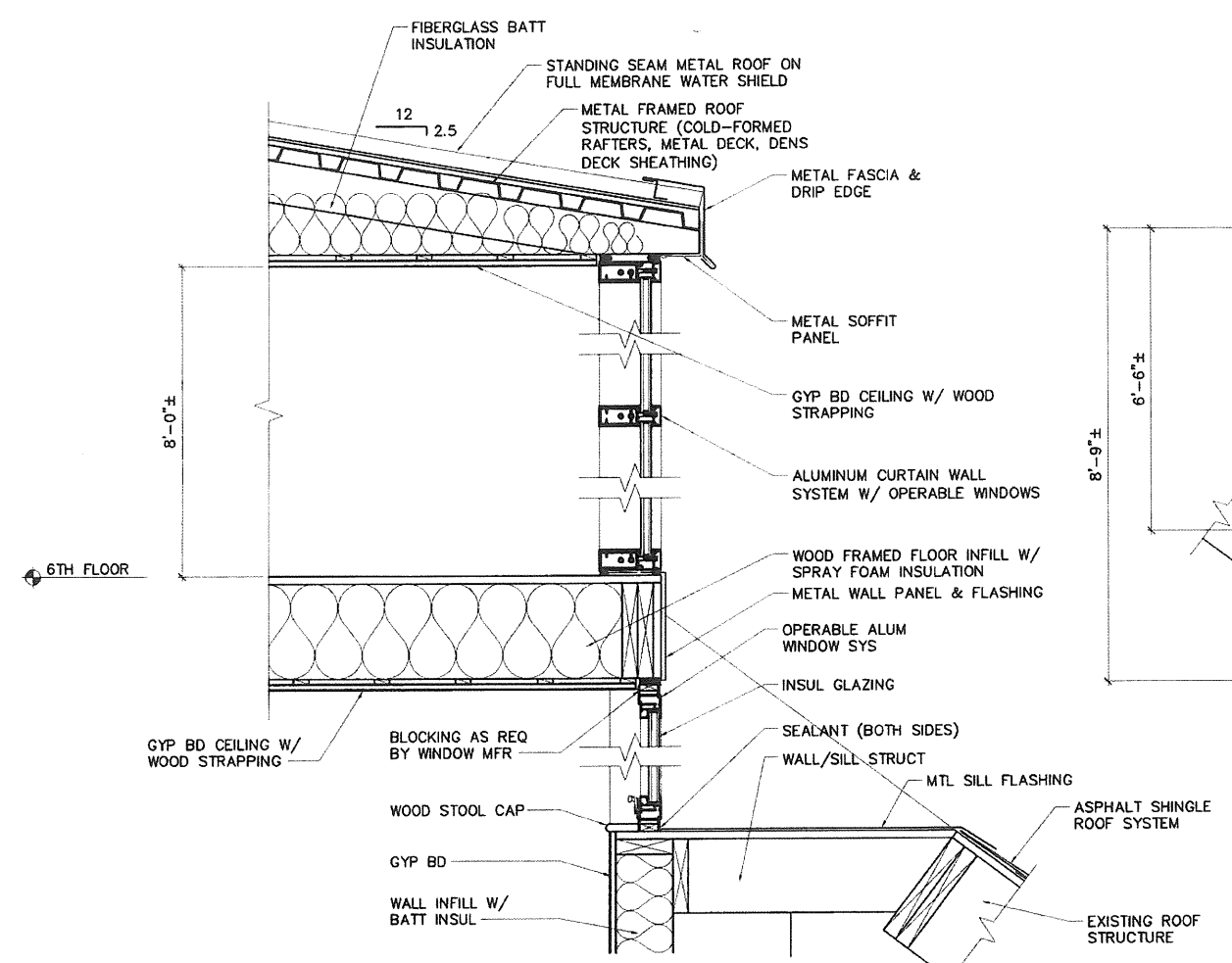
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DATE: 20 NOV 2015
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SHEET: 3 OF 3



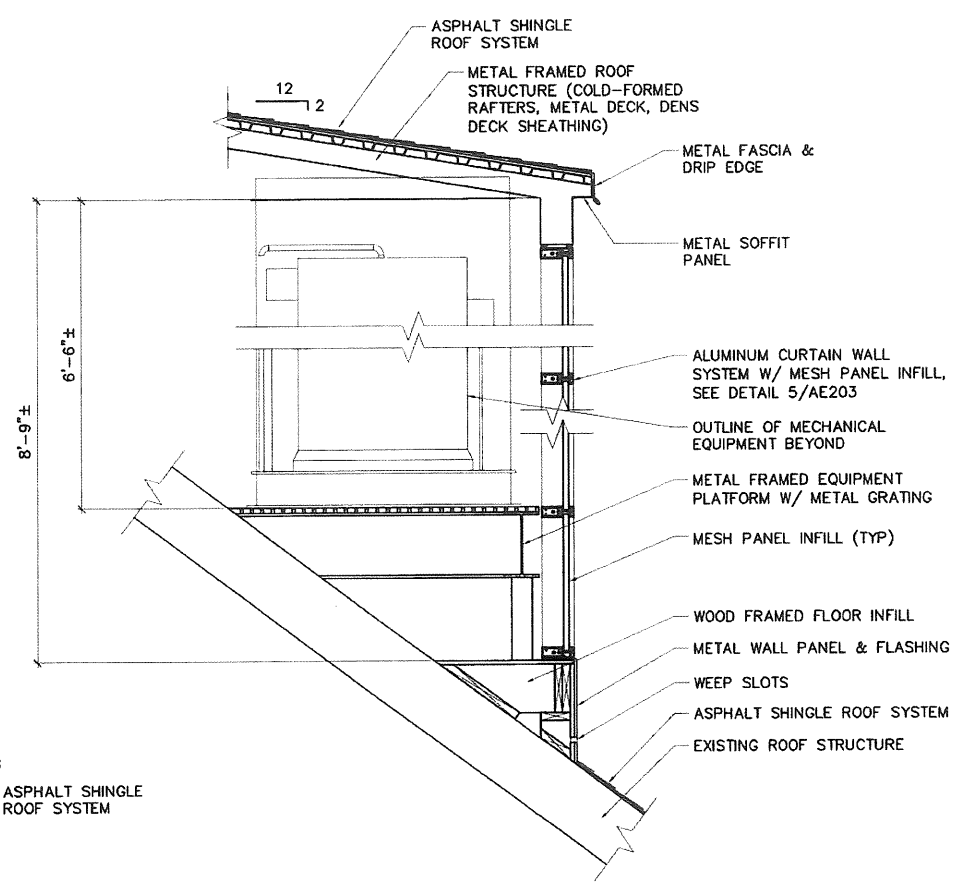
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AE202 AE203 SCALE: 3"=1'-0"



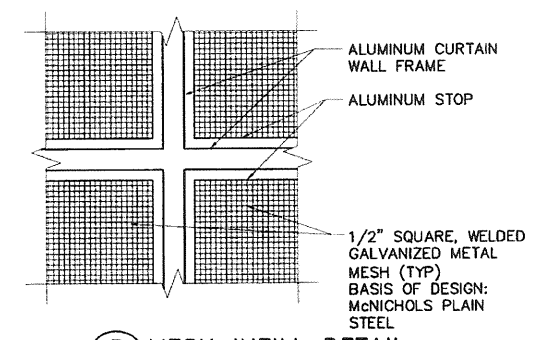
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AE202 AE203 SCALE: 3"=1'-0"



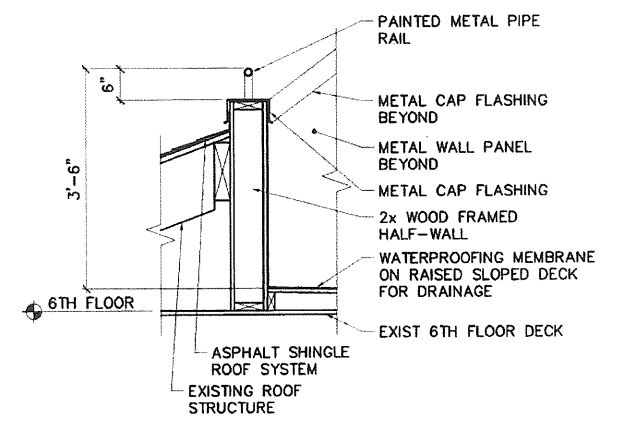
3 TYPICAL REAR DORMER CURTAIN WALL DETAILS
AE202 AE203 SCALE: 1-1/2"=1'-0"



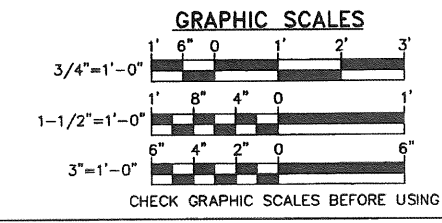
4 EQUIP CURTAIN WALL DETAILS
AE202 AE203 SCALE: 3/4"=1'-0"



5 MESH INFILL DETAIL
AE203 SCALE: 1-1/2"=1'-0"

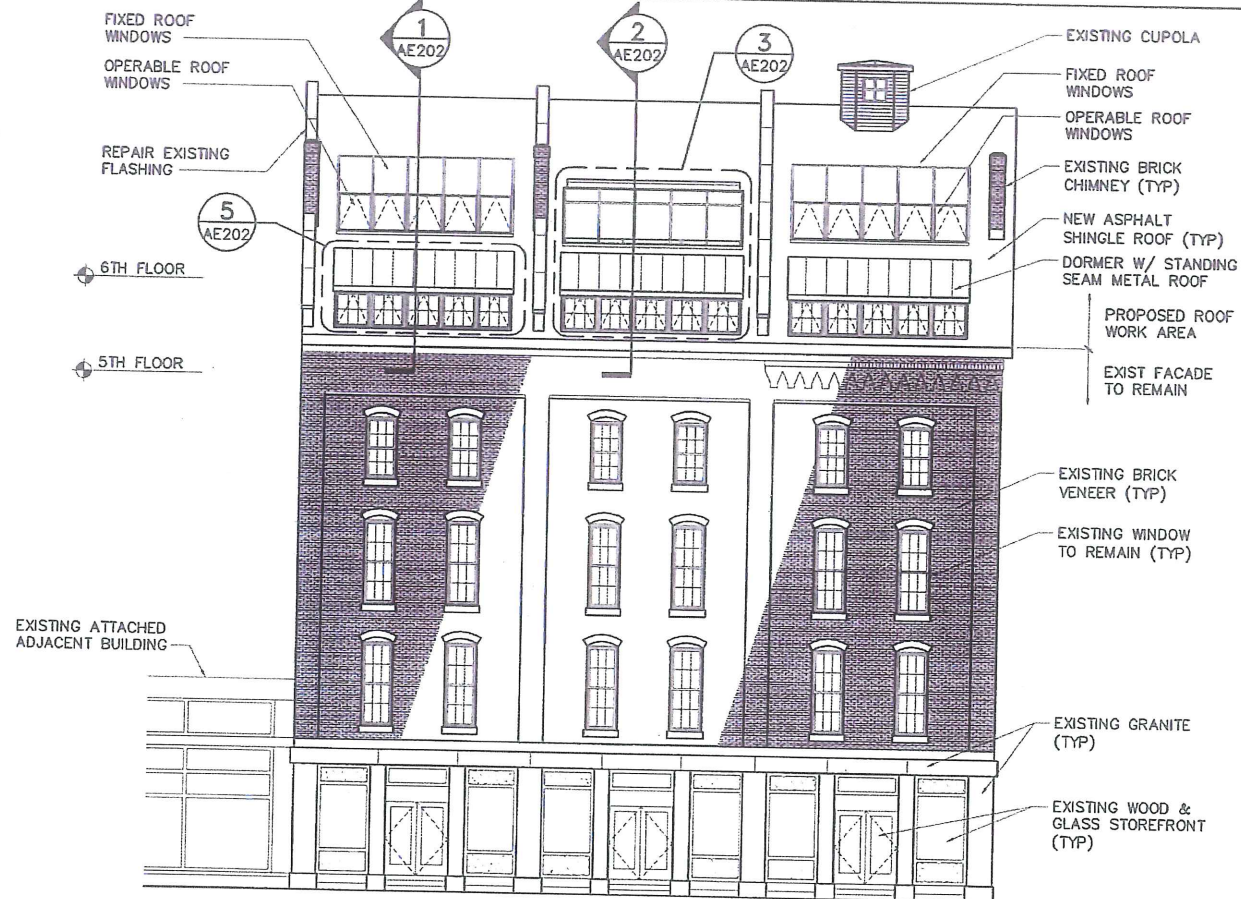


6 RAILING DETAIL
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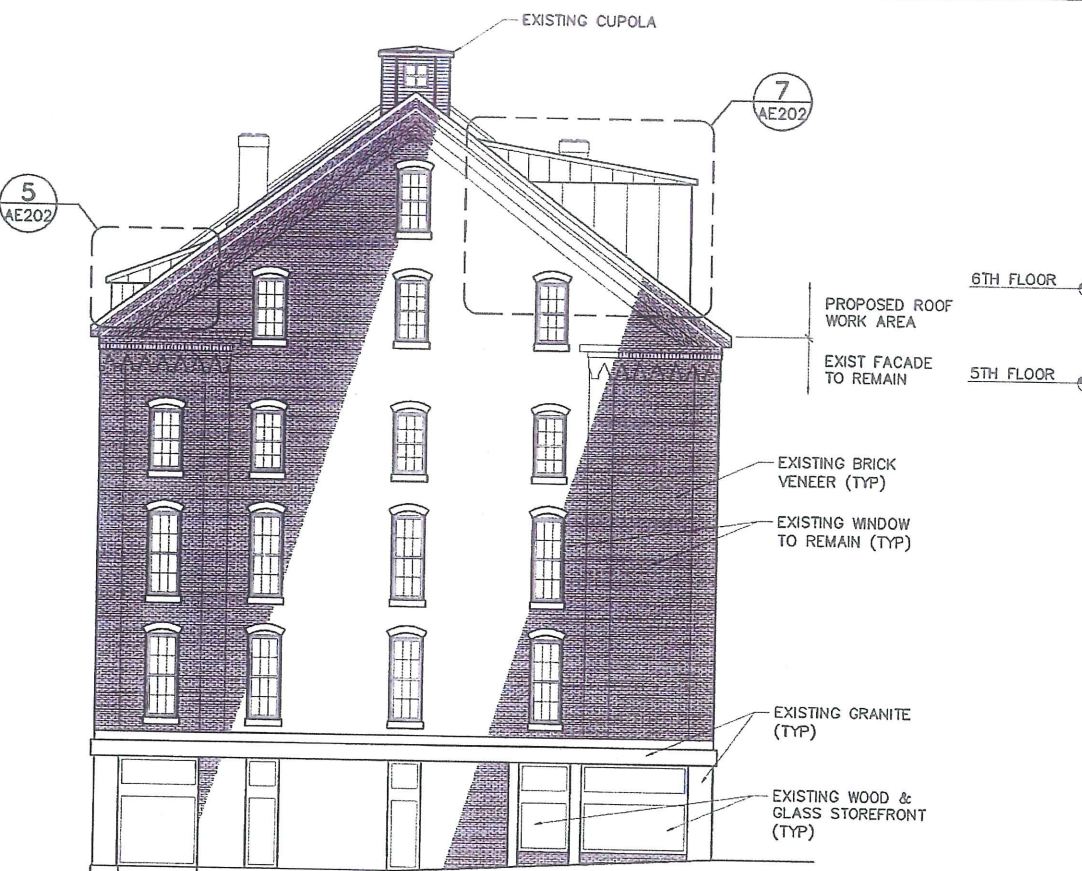




ATT. 3
OCTOBER 9
PROPOSAL



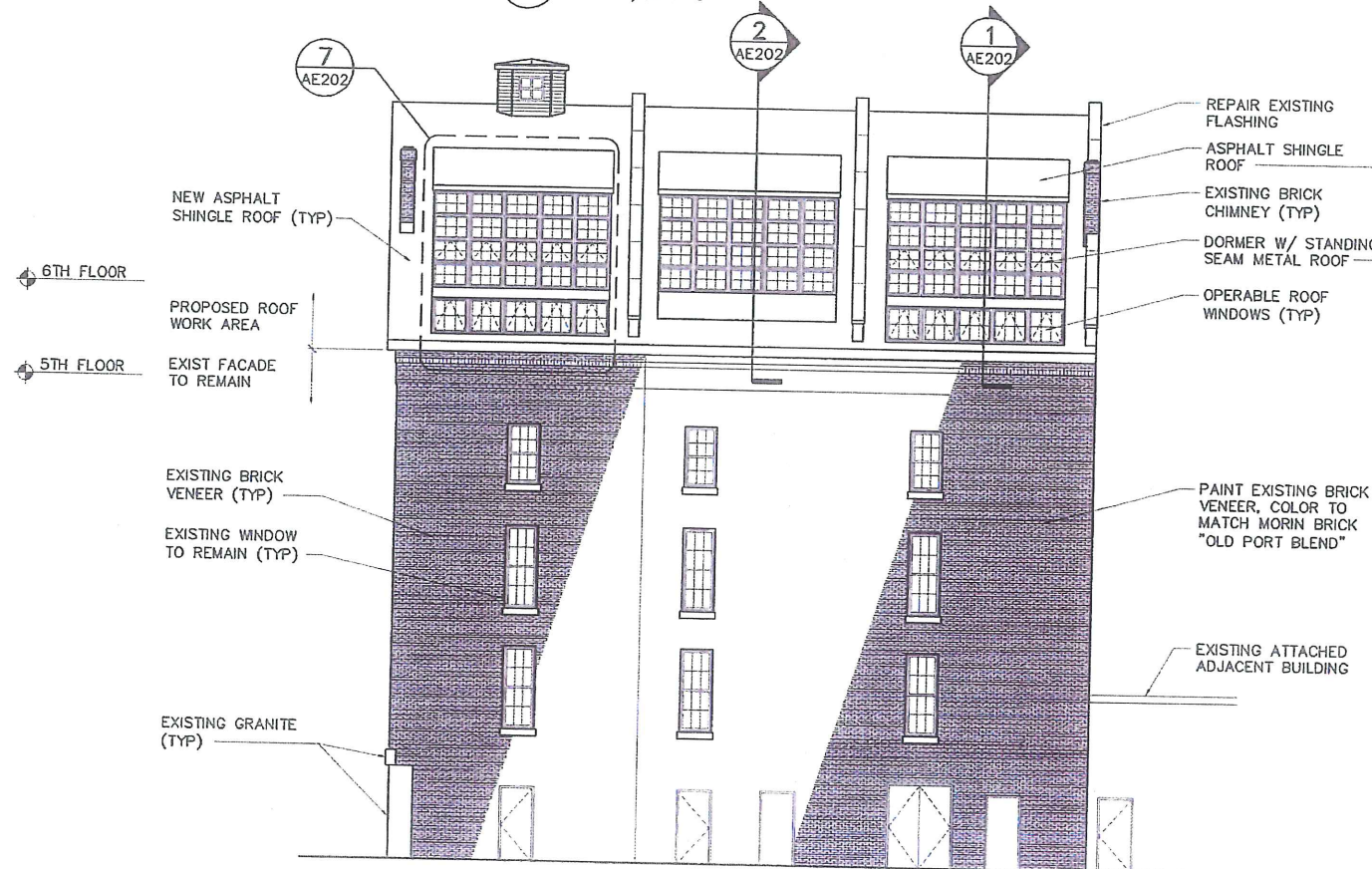
1 COMMERCIAL STREET ELEVATION
AE201/SCALE: 1/8"=1'-0"



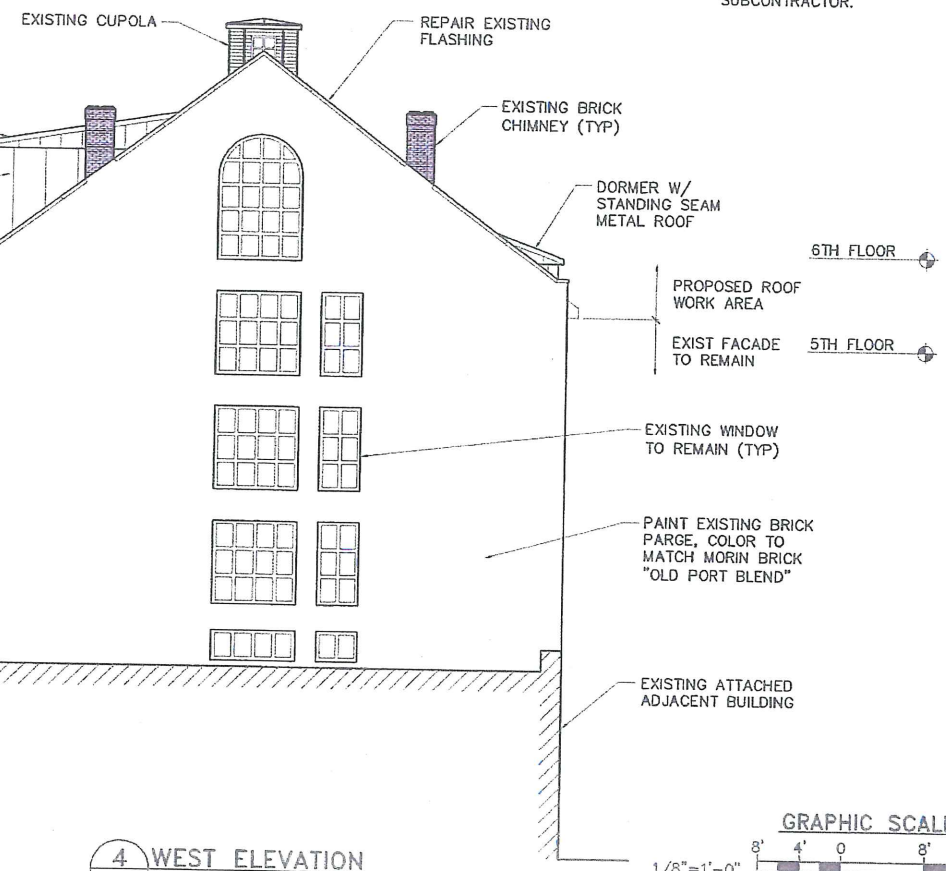
2 PEARL STREET ELEVATION
AE201/SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

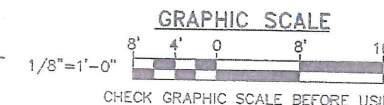
1. COORDINATE MECHANICAL UNIT REMOVAL WITH MECHANICAL SUBCONTRACTOR.



3 GOLD STREET ELEVATION
AE201/SCALE: 1/8"=1'-0"



4 WEST ELEVATION
AE201/SCALE: 1/8"=1'-0"



ISSUED FOR
HPB APPROVAL

DESIGNED BY: GLH
DRAWN BY: CRR
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK

111 Commercial Street - Portland, Maine

EXTERIOR
ELEVATIONS

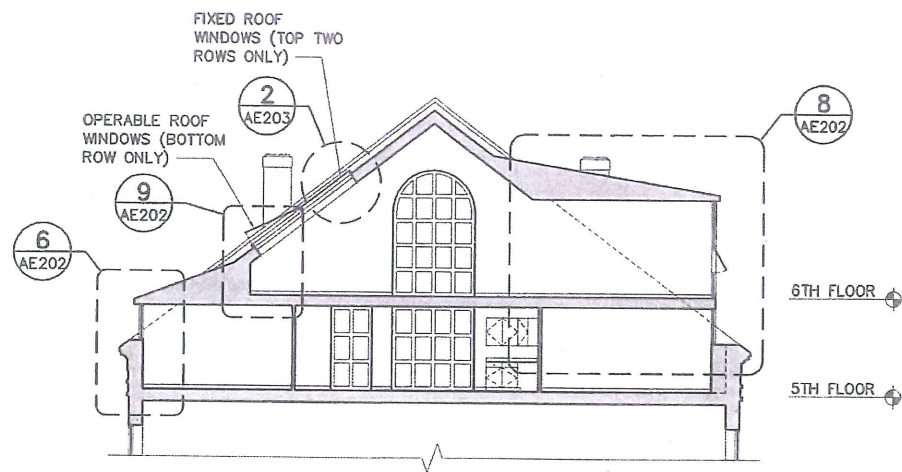
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DATE: 16 OCT 2011

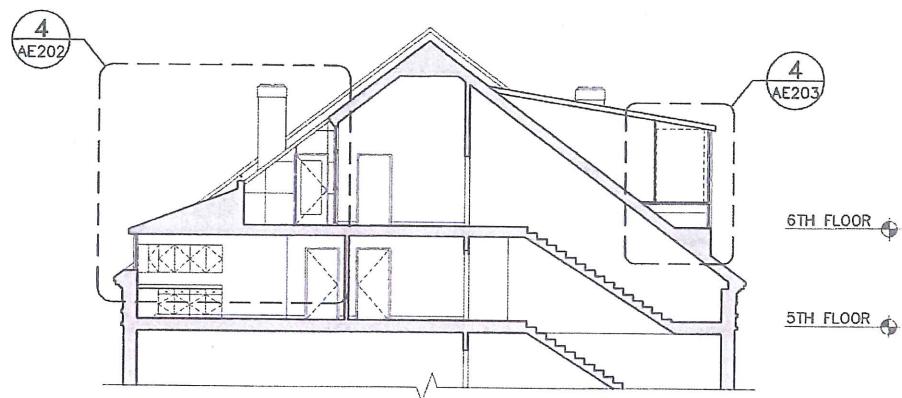
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SHEET: 1 OF 3

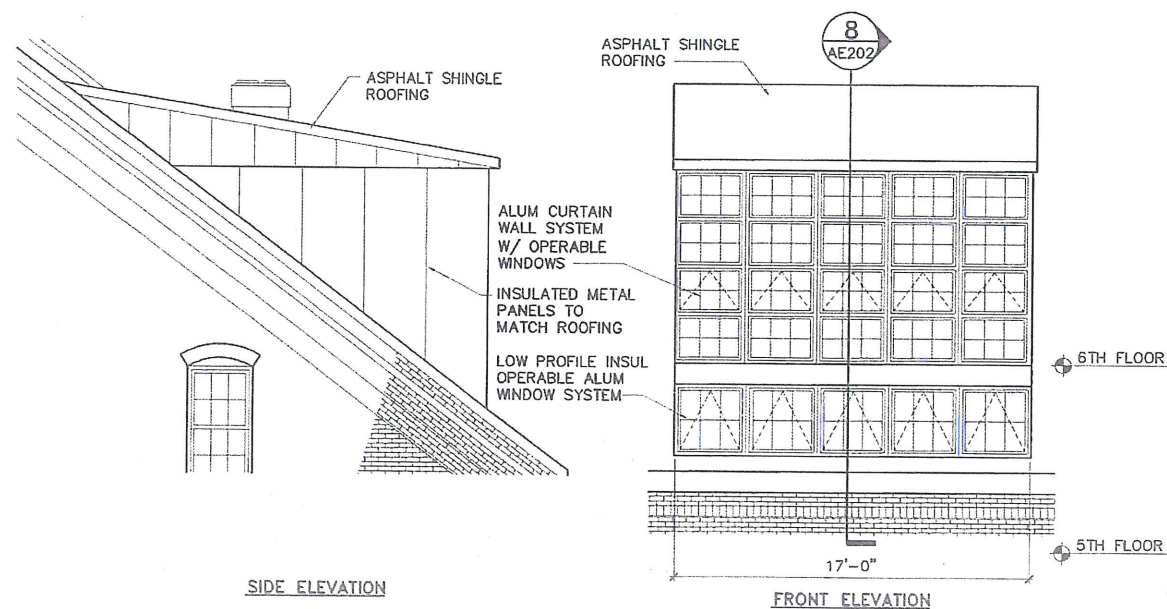
36



1 PARTIAL BUILDING SECTION @ END BAYS
AE201 SCALE: 1/8"=1'-0"



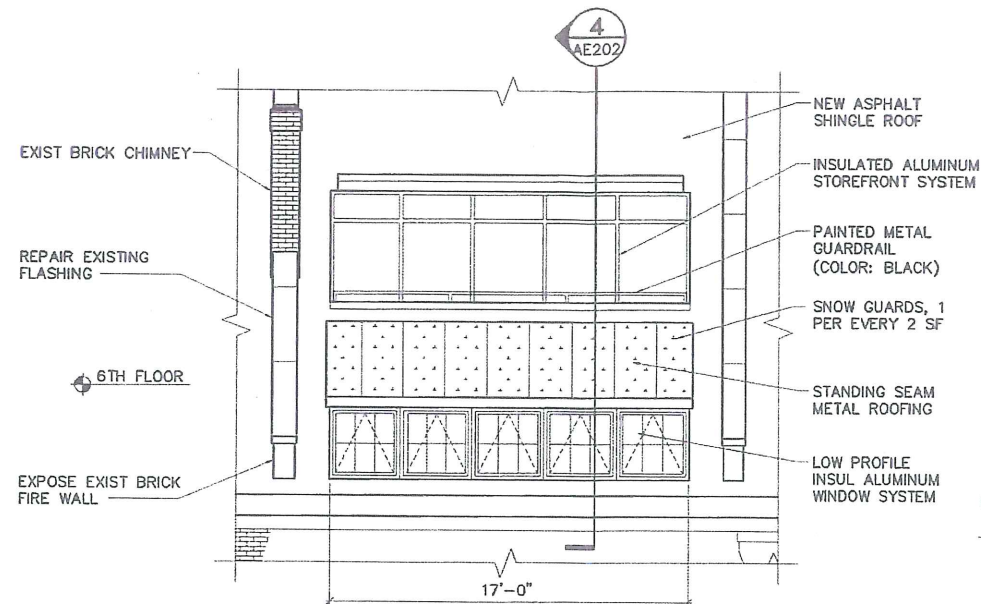
2 PARTIAL BUILDING SECTION @ MIDDLE BAY
AE201 SCALE: 1/8"=1'-0"



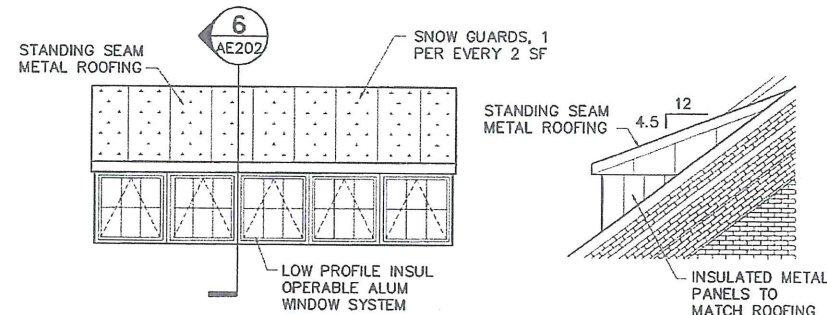
SIDE ELEVATION

FRONT ELEVATION

7 REAR DORMER ELEVATIONS
AE201 SCALE: 1/4"=1'-0"



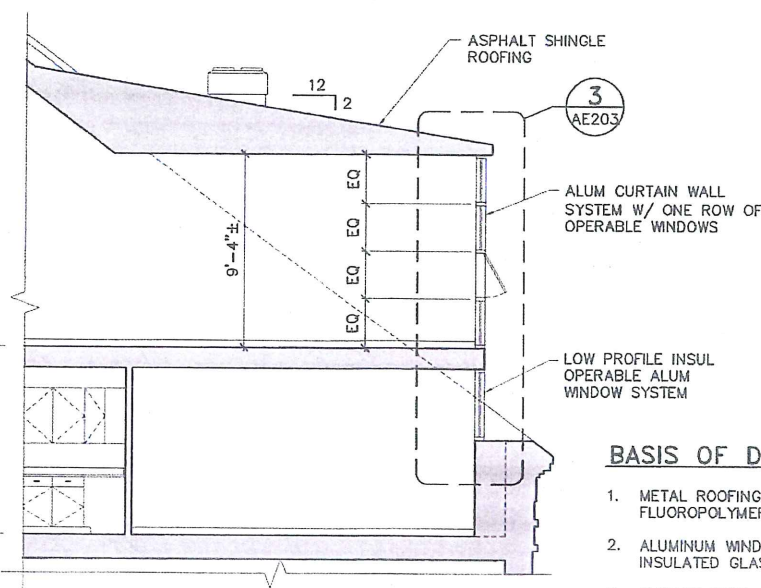
3 FRONT DECK/DORMER ELEVATION
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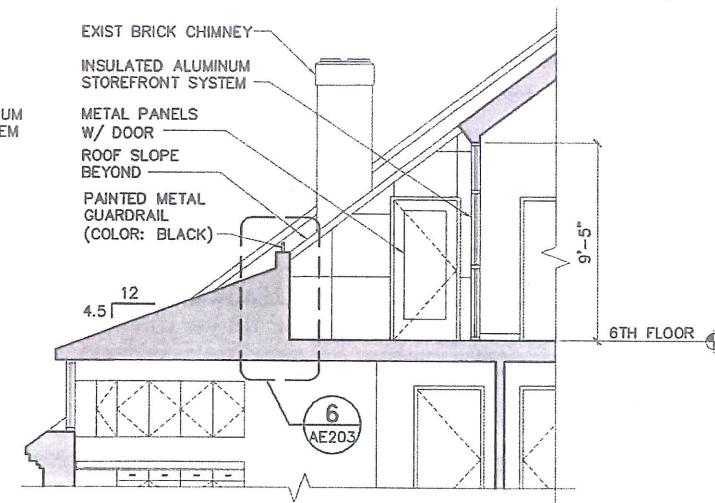
FRONT ELEVATION

SIDE ELEVATION

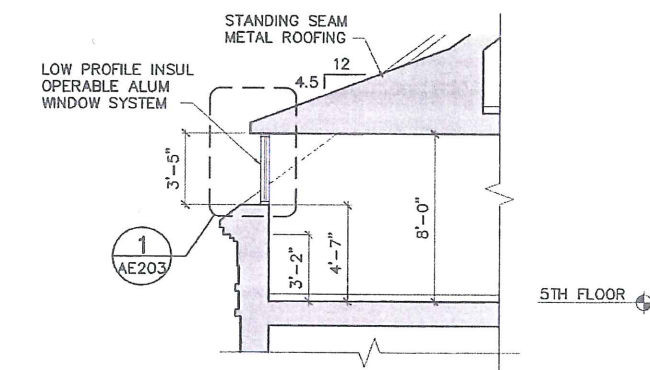
5 FRONT DORMER ELEVATIONS
AE201 SCALE: 1/4"=1'-0"



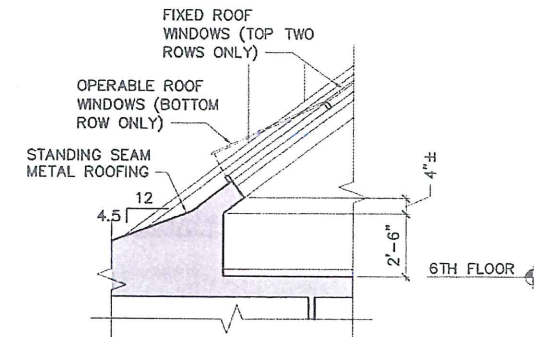
8 REAR DORMER SECTION
AE201 SCALE: 1/4"=1'-0"



4 FRONT DECK/DORMER SECTION
AE202 SCALE: 1/4"=1'-0"



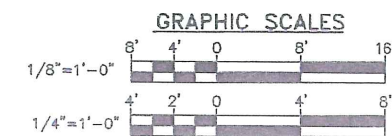
6 FRONT DORMER SECTION
AE202 SCALE: 1/4"=1'-0"



9 6TH FLOOR ROOF WINDOW SECTION
AE202 SCALE: 1/4"=1'-0"

BASIS OF DESIGN PRODUCT DATA:

1. METAL ROOFING: MORIN SCRPROFILE WITH FLUOROPOLYMER COATING COLOR: ZINC GREY
2. ALUMINUM WINDOW SYSTEM: EFCO SERIES 2800 INSULATED GLASS. FRAME COLOR: GREY
3. CURTAIN WALL: EFCO SYSTEM 5800, INSULATED GLASS. FRAME COLOR: GREY
4. SKYLIGHTS: WASCO GSV 2246, COLOR CHARCOAL GREY



CHECK GRAPHIC SCALES BEFORE USING

ISSUED FOR
HPB APPROVAL

DESIGNED BY: GLH
DRAWN BY: CRK
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK
111 Commercial Street - Portland, Maine

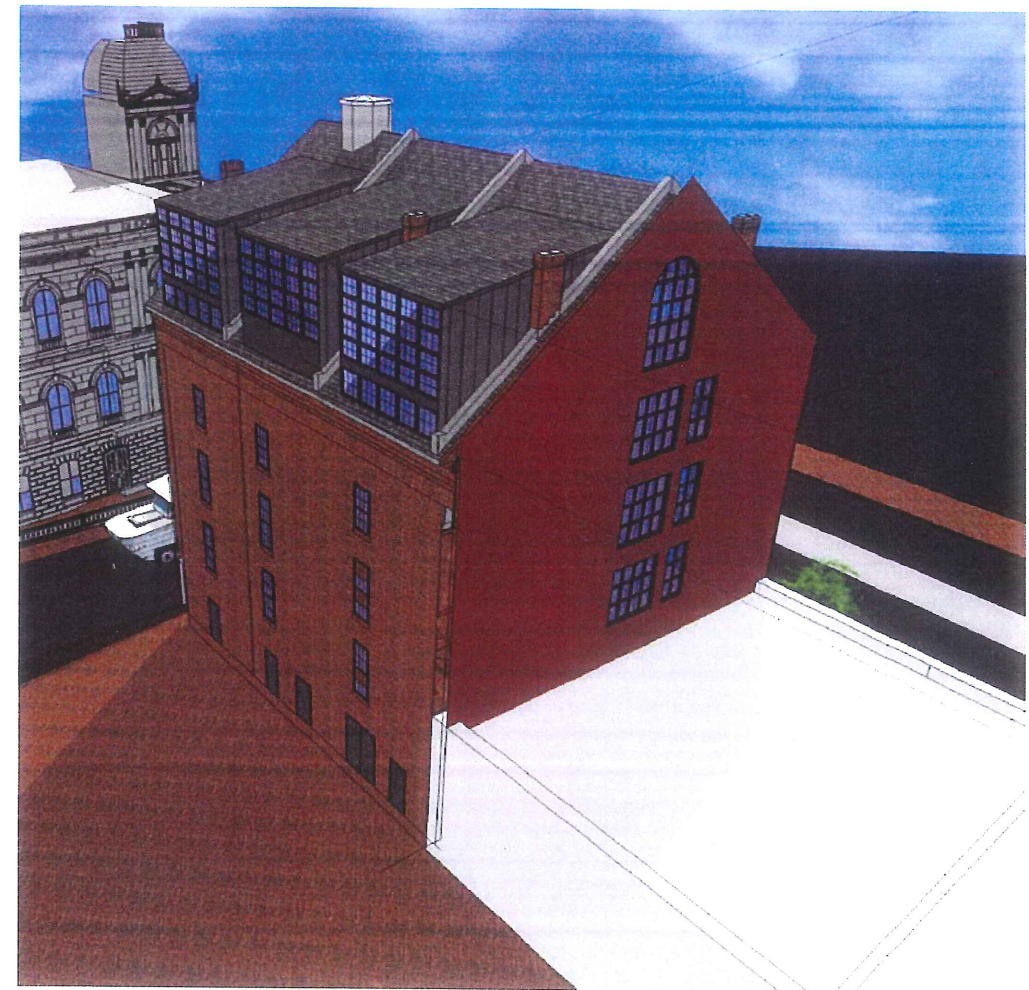
BUILDING
SECTIONS
AND DETAILS

SCALE: AS NOTED
DATE: 16 OCT 2013

DWG.: AE202

SHEET: 2 OF 3

3c



111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

OCTOBER 16, 2013

OAK POINT
ASSOCIATES



ARCHITECTURE ■ ENGINEERING ■ PLANNING

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP (2nd)
713 CONGRESS STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deb Andrews, Historic Preservation Program Manager

DATE: October 29, 2013

RE: November 6, 2013 2nd Workshop – Preliminary Review of Proposed New Construction

Address: 713 Congress Street
(site is occupied by Rite Aid)

Applicant: Skowhegan Plaza Limited Partnership
Represented by Robert Conner

Architect: Alpha Architects
Mark Sengelmann, principal

Introduction

Following an introductory workshop on October 9th, architect Mark Sengelmann is returning for a second workshop with a revised design proposal for a new Rite Aid development at 713 Congress Street. As Board members will recall, the existing Rite Aid will be demolished and replaced with the new structure.

Mr. Sengelmann has provided a memo describing the intent behind the revised design scheme, which attempts to respond to observations and concerns expressed by members of the Board during the 10/9 session—see Attachment 1. A revised site plan and revised elevations are enclosed as Attachments 2 and 3. For reference purposes, staff has enclosed photographs of the property and surrounding context (Attachment 4), as well as a copy of the original design proposal (Attachment 5).

Mr. Sengelmann plans to bring a model of the proposed building to Wednesday's workshop. The model includes the development's immediate abutters and also illustrates the building's relationship to the street. Given some of the questions and concerns raised at the first workshop, the model will be especially helpful in assessing questions of building alignment, etc.

Context of Proposed New Construction

The subject parcel is located on the north side of Congress Street, west of Longfellow Square. Surrounding development is decidedly mixed, reflecting the transitional nature of this section of Congress Street. Immediately west of the Rite Aid property are stately, well-preserved mid- and late-19th century residences. The 2 ½ story houses are elevated above a raised basement and set back a few feet from the sidewalk, providing for a small front yard. On the east side, a Queen Anne brick double house features a one-story commercial addition that occupies the original front yard. Additions of this type are found on a number of residential structures in this area, providing evidence of the first wave of change from a solidly residential neighborhood to an increasingly commercial corridor. Across the street are more recent and more dissonant commercial developments, including a gas station or adaptively reused former gas stations with front yard parking. Also across the street is a recently constructed 6-story apartment building that fills the block between Walker and Carleton Streets.

The current Rite Aid structure comes right to the sidewalk line, interrupting the typical setback of its neighbors. This absence of setback, together with the fact that Congress Street curves toward the north in this location, has the effect of obscuring the handsome historic residence to the west and making this incompatible development even more prominent as one approaches from the east. Other incongruous aspects of the existing development include the scale of the building, the material palette, the lack of architectural interest, the fact that the building does not fill the width of the frontage and the dominance of the large surface parking area.

Summary of 10/9 Workshop--see Attachment 3 for plan presented on 10/9

At the first workshop Mr. Sengelmann described Rite Aid's standard specifications for its pharmacies and explained that a number of these requirements put constraints on the design solution. For example, the basic footprint and layout of the store is fixed and the nature of Rite Aid's merchandising limits the opportunity for fenestration. Also, Rite Aid requires that all their stores feature a single point of entry. This makes the option of filling most of the width of the frontage, locating the main entrance on the front façade and creating a second entrance on the rear elevation off a rear parking lot impossible. Notwithstanding these limitations, Mr. Sengelmann indicated that he had succeeded in convincing Rite Aid that a more contextual design solution would be required in this location and had incorporated materials and architectural details from the property's context into his proposed design solution.

In commenting on the preliminary design proposal, Board members appeared to be fairly comfortable with most aspects of the proposed site plan, which called for locating the replacement building toward the eastern property line. Members noted that the current building's position immediately adjacent to and forward of its westerly neighbor succeeded in obscuring the historic building and created an inordinately wide open parking lot. The siting of the new building succeeded in separating the new structure from its neighbors and (more closely) reflecting the rhythm of spacing between buildings along this stretch of Congress Street. Board members did ask that the parking shown immediately behind the sidewalk line be pushed back to create a green space at the front of the lot. Also, Board members

encouraged the project architect to re-orient the front façade of the building, or at least a portion of it, to be parallel to the property line. As proposed, the building did not align with the street. This was particularly important here, as the street pivots turns toward the north at this location.

Regarding the form and massing of the proposed building, Board members acknowledged the fact that this type of development essentially calls for a one-story box and that creating some architectural artifice to hide that fact was neither necessary nor appropriate. To that end, some Board members questioned the inclusion of the tower element at the corner, given that there is no real second story space in the building. (The tower is also a standard feature on most Rite Aids and other formula pharmacies in suburban locations; its inclusion in the design was felt to harken to these suburban prototypes.)

Board members were supportive of the proposed material palette (brick and cast stone) and felt that the materials went a long way in improving the building's compatibility with its context.

In terms of architectural design, Board members were in general agreement that the overall design expression should be revisited. Among the concerns identified was the lack of glazing on the front façade, adjacent to the sidewalk. Board members also noted the proposal's reliance on traditional "historic" details--like the arched simulated "windows", traditional cornice on the tower and large divided-light window above the main entry—to achieve compatibility. Board members did not find this approach successful, calling it "historicist" and false on this type of structure. Board members encouraged the project architect to explore a more honest contemporary architectural treatment and expressed confidence that just as the early single-story 20th century commercial blocks closer to Longfellow Square were both true to their own time *and* compatible with their 19th century neighbors, the same was possible for this early 21st century commercial structure.

Revised Proposal

Mr. Sengelmann has provided a written description of the revised design, along with the new site plan and elevations. The written narrative explains his rationale behind the new treatment. Note that on the model he will be bringing to the workshop, the open arcade feature can be removed in order to assess the proposed design with or without this element.

Standards for Review of New Construction

Following is an abbreviated list of the building characteristics which should be used in assessing the visual compatibility of new construction within an existing context:

Scale and Form:

Height

Width

Proportion of principle facades

Roof shapes

Scale of the structure

Composition of Principle Facades

Proportion and position of window and door openings

Rhythm of solids to voids in facades

Rhythm of entrance porch and other projections

Relationship of materials, texture and color

Signs, canopies and awnings

Relationship to the street

Walls of continuity – Facades and site structures such as masonry walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the structures, public ways and places to which such elements are visually related.

Rhythm of spacing and structures on streets – The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related.

Directional expression of principal elevations – A building shall be visually compatible with the structures, public ways, and places to which it is visually related in its directional character, whether this be vertical, horizontal, or non-directional character.

Attachments

1. Memo from project architect
2. Revised site plan and elevations
3. Original proposal
4. Photos of subject property and context

ATT. 1

October 28, 2013

Deb Andrews
Historic Preservation Program Manager
City of Portland
389 Congress Street
Portland ME 04101

ALPHAarchitects

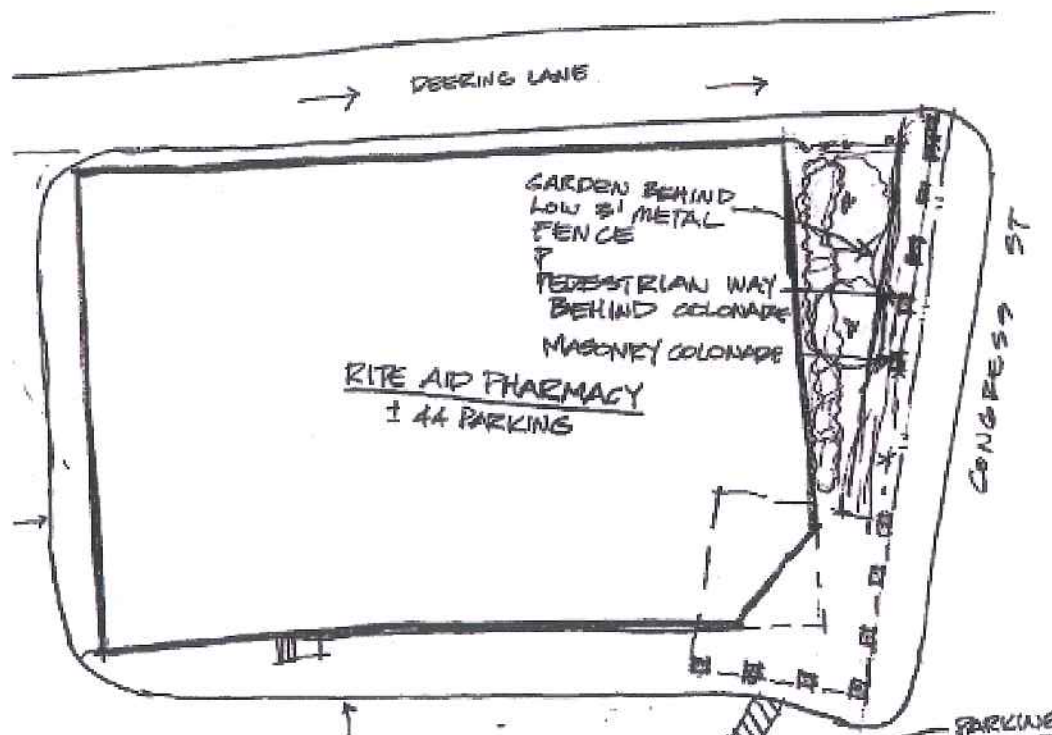
Architect's Memo

HP Board Sketch Review #2

RE: **Rite Aid Pharmacy**
713 Congress Street
Portland ME 04101

Deb and members of the Historic Preservation Board,

During our initial Sketch Workshop we listened to your varied concerns and went back to work crafting a revised design for the reconstructed Rite Aid. The site plan sketch below illustrates how we rotated the tower element 12 degrees to align with the Congress Street Grid. This 12 degree rotation now aligns the building façade with the 'urban street wall'. The Tower façade design is now more subdued and replaces the crown molding with a more traditional banded masonry parapet. The tower and the building no longer have any arched openings or panel tops, instead the design has been made more contemporary with flat topped openings and recesses.



Sketch Site Plan 'K'

P:\Commercial-Retail\12146-RITE_AID-713_Congress_80PDF\HP Application\Arch Memo - HPBd #2.doc

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Congress Street Elevation Sketch 'K'

Additionally, we added a new 12'-6" high masonry Arcade feature which parallels the Tower rotation strengthening the realignment. This new Arcade stretches 63' along Congress Street with four large brick arches rhythmically spaces like the tower arches. The Arcade also compliments the horizontality of the two adjacent Victorian residential entrance porches.

The Arcade contains 50' long vest-pocket garden with two large trees visible above and through the Arcade. A low, black metal fence will protect the much needed green space along Congress Street. The decorative black metal fencing for the garden will be repeated between matching masonry piers along Congress Street in front of the side parking area garden. This new black metal decorative fencing will compliment the 8 unique existing black metal fences on this block of Congress Street.

The building and site will make use of contextual materials to create a quieter facade that is a contributing building to the streetscape. The masonry exterior elevations are modulated into distinct bays for a rhythmic façade that is complimentary to the neighboring brick buildings. High wall design elements that were previously confused for windows have been simplified and converted to brick panels. The three primary elevations feature flat arched top elements with strong vertical elements dividing the bays.



Low Aerial Model View

P:\Commercial-Retail\12146-RTTB AID-713 Congress_S\PDF\HP Application\Arch Memo - HPBd #2.doc

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Halo-lit signage is now only shown on the Congress St facade. Three sign types are shown. 'Pharmacy' is 3' x 20', the Logo Shield is 4'-4" x 3'-10" and the blade sign is 1'-6" x 5'-0". The allowable area is 150sf or 129sf based on 84lf of façade. The total area on the Congress Façade is 84.1sf.



Model in Aerial Perspective View

The Site Plan rear parking has been realigned and a connection has been made to the rear of Deering Lane. Matching brick pavers and reclaimed granite curbing will infill the existing curbcut, extend under the arcade to the garden, extend under the tower and extend down the central sidewalk under the new tree colonnade to the rear parking.

The revised design is now appropriately interwoven into the historic fabric of the neighborhood. This project is a suitable neighbor to the Neal Dow House Museum and the other significant buildings that together make up this historic block of Congress Street. We look forward to our next meeting,

Sincerely,
ALPHAarchitects

A handwritten signature in black ink, appearing to read 'Mark Sengelmann'.

Mark Sengelmann NCARB
Maine Licensed Architect

REVISED SITE
PLAN

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PRITE AID Pharmacy
713 Congress Street
Portland ME 04102

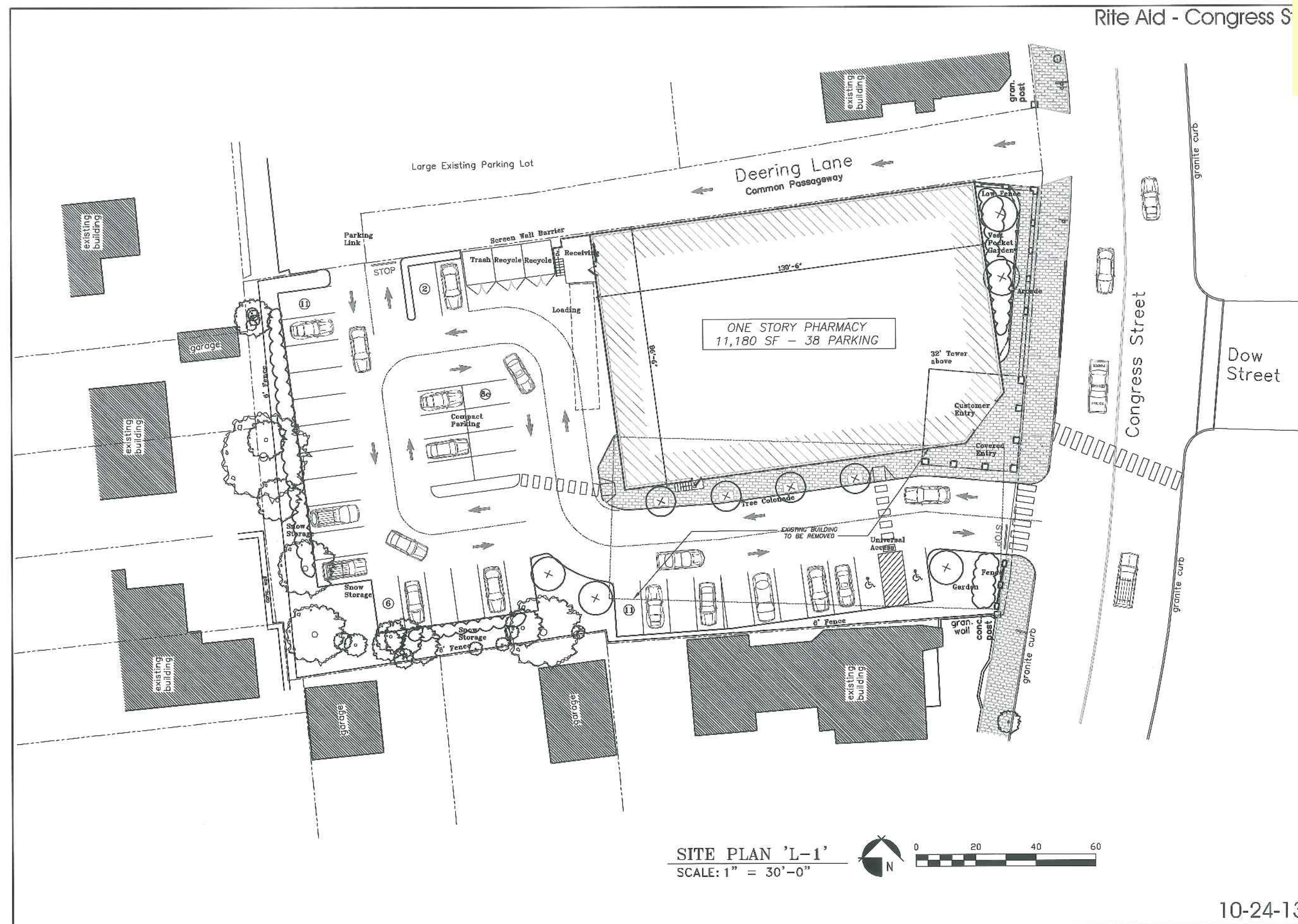
JOB: 12146

ISSUE DATE	
HPres. #2	11-6-13
PBoard	TBD
CD's	-
REV. 1	-
REV. 2	-
PRINT	10-24-13

PROPOSED SITE PLAN

L-1

10-24-13



SITE PLAN 'L-1'
SCALE: 1" = 30'-0"

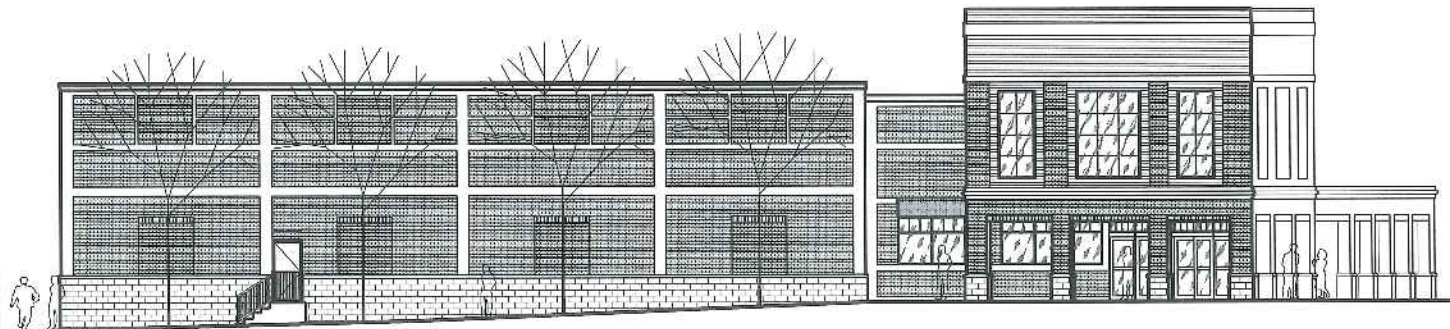


2B
REVISION ELEVATIONS

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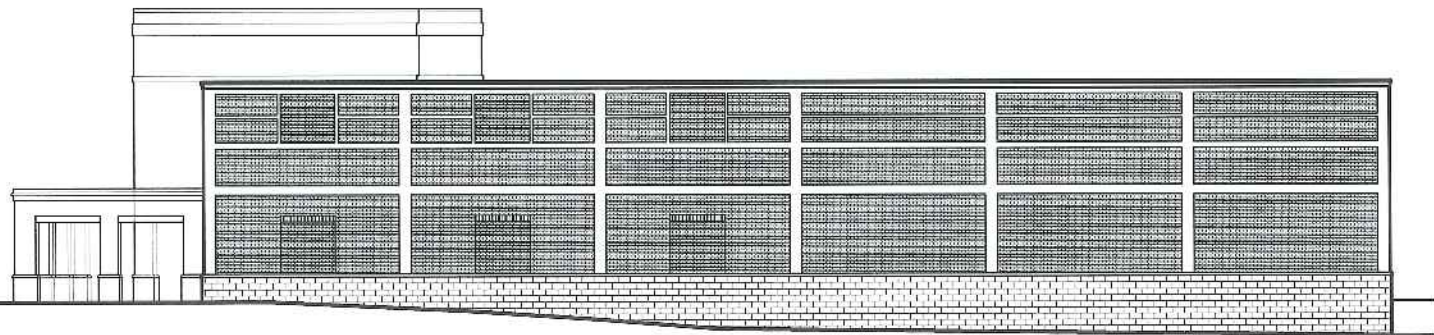
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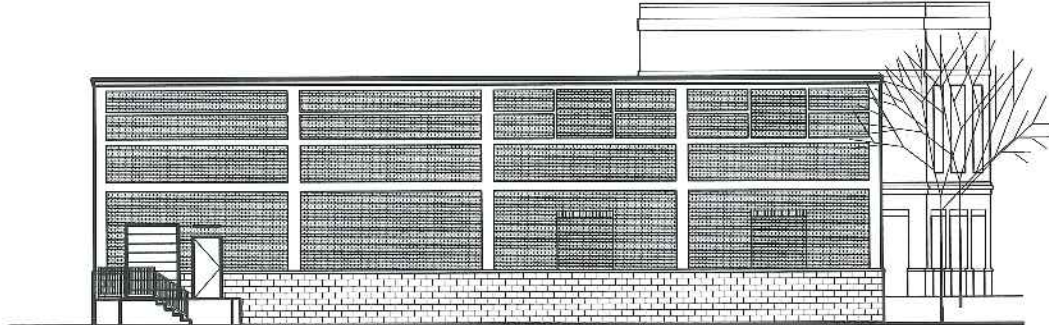
PARKING (WEST) ELEVATION
SCALE: 1" = 20'-0"



CONGRESS ST. (SOUTH) ELEVATION
SCALE: 1" = 20'-0"



DEERING LANE (EAST) ELEVATION
SCALE: 1" = 20'-0"



REAR (NORTH) ELEVATION
SCALE: 1" = 20'-0"

RITE AID Pharmacy
713 Congress Street
Portland ME 04102

JOB: 12146

ISSUE DATE	
Pres. #2	11-6-13
PBoard	TBD
CD's	-
REV. 1	-
REV. 2	-
PRINT	10-24-13

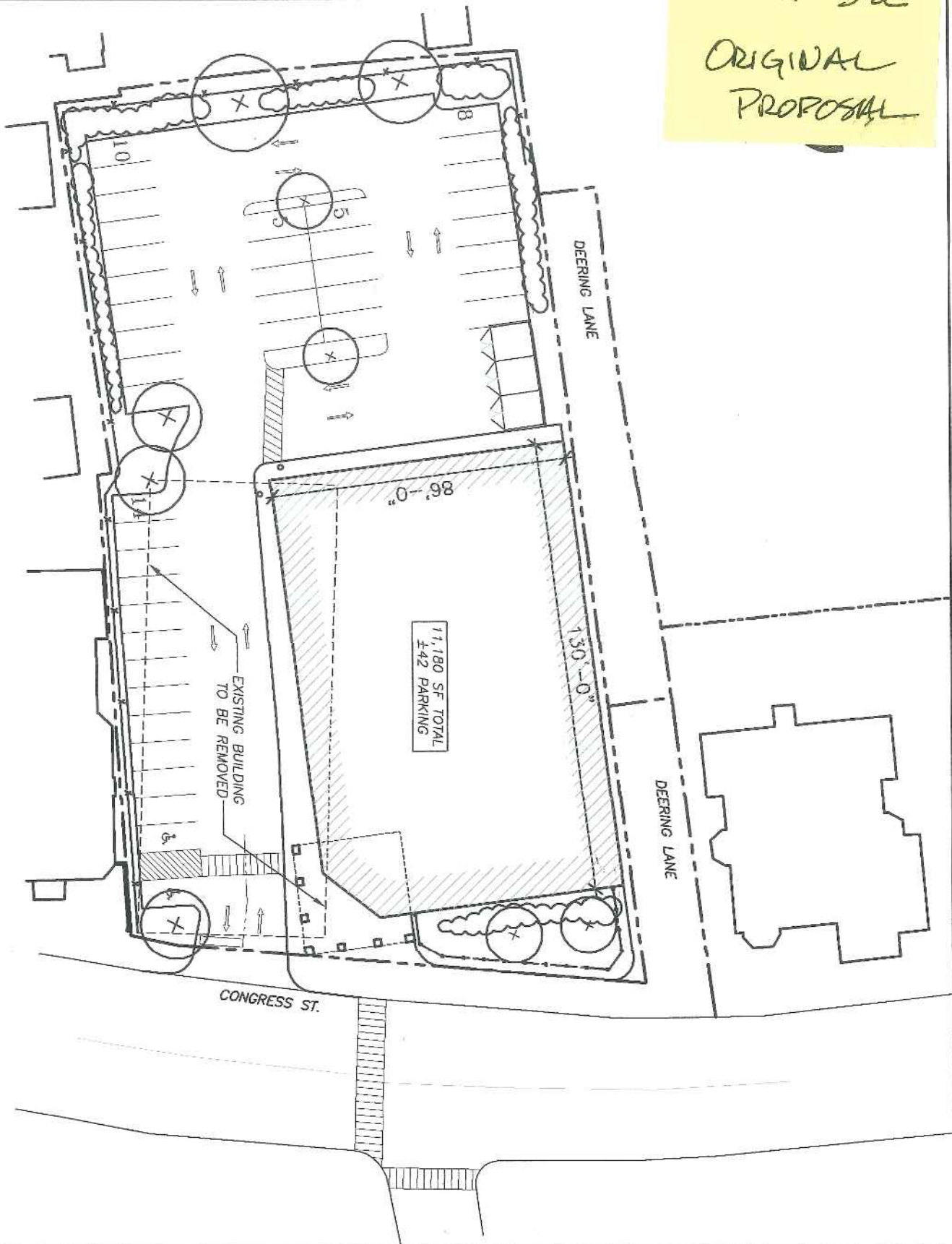
PROPOSED
EXTERIOR
ELEVATIONS

A2

10-24-13

8/8

ATT. 3a
ORIGINAL
PROPOSAL



SITE PLAN 'J1'
SCALE: 1" = 40'-0"

09-12-13

SITE
PLAN
J-1

ISSUED	08-12-12
PRELIM.	08-12-12
REV 1	-
CDs	-
PRINT	09-12-13

JOB: 12146

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Project Description



Current Rite Aid as seen from Congress Street

The existing low, flat, block Pharmacy building (54' x 130') was built in 1941 with little regard to the adjacent brick 3 story building at 723 Congress Street. The new site plan design relocates the building to the easterly side of the site along Deering Lane. This placement allows visual access to the adjacent 707-705 Congress St two story brick multi-family building to the east and greatly improved the visual access to 723 Congress St two story brick multi-family building to the west.

The existing building will be demolished and the new building will be built in one phase rather than two phases as was initially envisioned. Temporary quarters will be established in temporary modular trailers at the rear of the site to keep the Pharmacy and other essential services open to the public during construction.

Initially we attempted to convince Rite Aid to modify the footprint of their prototype to give us more flexibility in the design and unfortunately Rite Aid declined our request. Their stores operate at optimal efficiency when all their products are in the same place in every store. As a result, our footprint is locked in as a 86' x 130' rectangle with a corner entry.



CONGRESS ST. (SOUTH) ELEVATION

We have designed a brick and precast masonry exterior that we feel will greatly improve the contextual character of the existing building in the historic Congress Street neighborhood. The building and site will make use of contextual materials to create a quieter facade that is a contributing building to the streetscape.

The new masonry exterior elevations are modulated into distinct bays to for a rhythmic façade that is complimentary to the neighboring brick buildings. The three primary elevations feature infill arched top elements with strong vertical elements dividing the bays. The Rite Aid prototype entry is on an angled section of the corner. A large 32' high masonry tower has been designed to partially conceal the angled entry while giving the public a clear entrance element on the Congress and Parking elevations. The tower features (3) three pedestrian scale openings on the Congress Street side and Parking side to the west.

Pedestrian scale elements are featured including a granite Post and metal fence along the Congress Street sidewalk similar to other metal fences in the neighborhood. Landscaping, highlighted by two street trees, has been added along Congress Street which will greatly add to the site which is currently void of any significant vegetation. Two low, pedestrian scale blade signs are mounted low on the tower façade easily seen from the sidewalks and crosswalks in the area. Completing the pedestrian scale elements are fabric awnings over the windows adjacent to the tower.



Halo-lit signage has been shown on the two principal facades. Three sign types are shown. 'Pharmacy' is 3' x 20', the Logo Shield is 4'-4" x 3'-10" and the blade signs are 1'-6" x 5'-0". The allowable area is 150sf or 129sf based on 84lf of façade. The total area on the Congress Façade is 84.1sf with the same 84.1sf on the Parking elevation to identify the building when heading west on Congress Street.

Overall we feel that this new Rite Aid site design, building design and materials are contextually compatible with the historic buildings in the neighborhood and as such make this project a contributing building to the Congress Street historical corridor.

3c

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Portland ME 04102

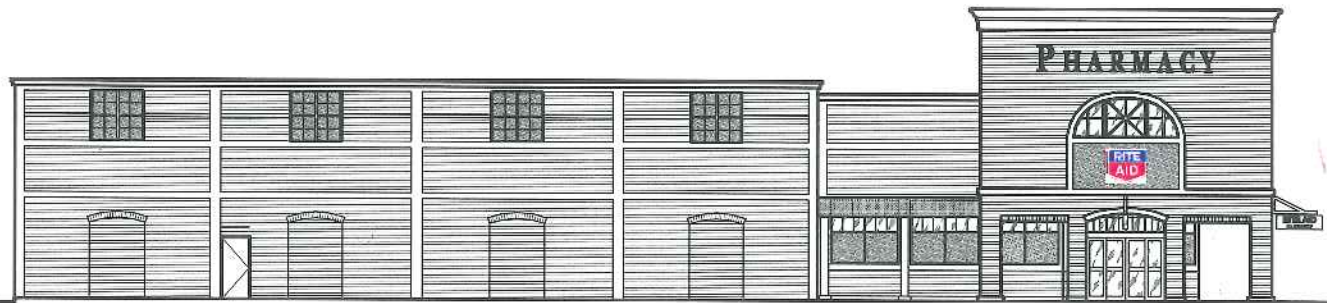
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ISSUE DATE	
PRELIM.	08-17-12
PBoard	-
CD's	-
REV. 1	-
REV. 2	-
PRINT	09-12-13

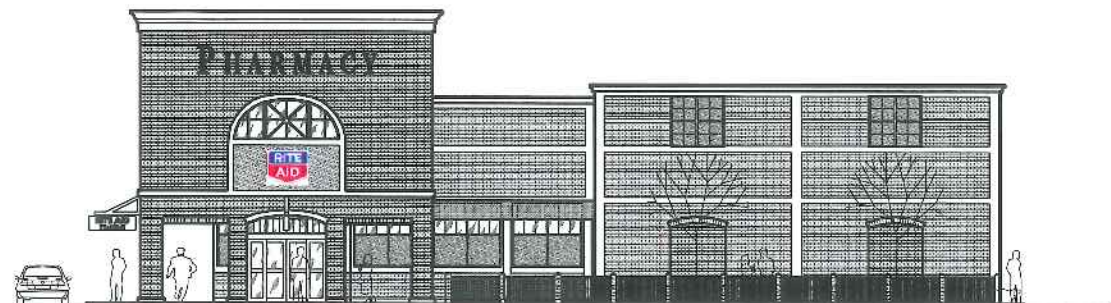
PROPOSED
EXTERIOR
ELEVATIONS

J-2

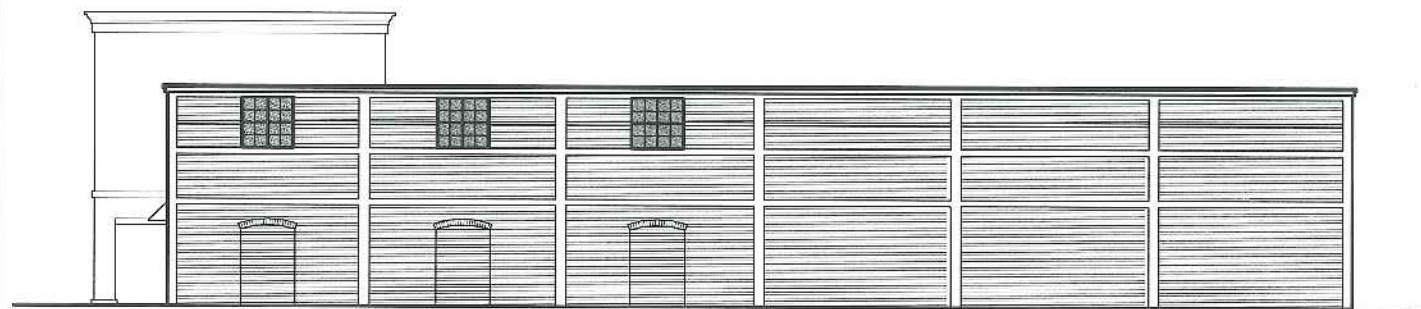
09-12-13



PARKING (WEST) ELEVATION
SCALE: 1" = 20'-0"



CONGRESS ST. (SOUTH) ELEVATION
SCALE: 1" = 20'-0"



DEERING LANE (EAST) ELEVATION
SCALE: 1" = 20'-0"



REAR (NORTH) ELEVATION
SCALE: 1" = 20'-0"

ATT. 4
PHOTOS









