

1. 111 Commercial St. Memo

Documents: [HPMEMO111COMMERCIALST100613.PDF](#)

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
111 COMMERCIAL STREET**

TO: Chair Romano and Members of the Historic Preservation Board
FROM: Deb Andrews, Historic Preservation Program Manager
DATE: October 3, 2013
RE: October 9, 2013 Public Hearing

Application For: Certificate of Appropriateness for Rooftop Additions
Address: 111 Commercial Street
Applicant: Blanchard Block LLC.
Represented by Scott Lindsay
Architect: Glenn Harmon

Introduction

Following three workshop sessions, architect Glenn Harmon is returning to the Board for final review and approval of proposed rooftop additions on the front and rear roof planes of the Blanchard Block at 111 Commercial Street. Mr. Harmon is representing the building owner, Blanchard Block LLC.

At the conclusion of the final workshop on September 18th, Board members appeared to be supportive of the general design direction presented, and appeared satisfied with the efforts made to limit the visual impact of the proposed additions, make the two-story elements visually cohesive and integrate the new work with existing rooftop elements. While they did recommend some final design modifications (outlined below), Board members felt that the 9/18 design proposal, once further detailed, was ready for final review and approval.

Attached is a copy of the final proposal including elevations, wall sections, details and computer-generated perspective views. For reference purposes, staff has enclosed the 9/18 elevations as well.

Summary of Board Comments at 9/18 Workshop

Based on the drawings presented (see **Attachment 2**), Board members recommended the following final design revisions.

Commercial Street roof plane:

- Eliminate the top row of skylights. Board members felt that eliminating the top row would reduce crowding of the historic cupola and result in a skylight assembly that was in better proportion with the overall roof plane.
- To reduce the potential for visual distraction resulting from random open skylights, Board members suggested that only one row of the skylights be operable.
- Board members recommended that the inverted dormer at the 6th floor level be the same width as the projecting dormer below it.
- To provide more visual relief in the fifth floor dormers, Board members requested that the plane of the windows themselves be further recessed.

General recommendation for both roof planes:

- Board members recommended that all contributing elements of the rooftop additions, as well as the roofing material itself, be uniform in color.

Final Plans and Specifications

As expected, the final submission includes a number of design modifications. While some of these revisions are in response to feedback from the last workshop, other changes were not discussed at that time. These include:

- The width of the front and rear dormer/skylight assemblies has increased. In the 9/18 proposal, the dormers accommodated four mulled windows. (The ganged skylights matched this width.) In the final proposal, the dormers and skylights have been widened such that they accommodate five mulled windows. The Board will need to determine whether this increased width is acceptable or whether it occupies too much of the roof plane. This question should be considered for both the front and rear roof planes.
- The individual skylight units on the Commercial Street roof plane are larger (and fewer in number) than in the previous proposal.
- In the previous proposal, the 5th floor level of the rear roof plane featured skylights. In the final proposal, the skylights have been replaced with windows. This change increases the overall scale of the rear dormers considerably.

- There appears to be discrepancy between the computer-generated perspective view of the Commercial Street roof plane and the elevation of same. From the drawing, the top of the inverted roof deck in the center aligns with the top of the skylights. In the perspective view, the inverted roof deck appears to cut into the roof at a higher point on the roof plane. The Board might ask for clarification on this question.

Applicable Review Standards

91) Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.

(2) The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

(3) All sites, structures and objects shall be recognized as products of their own time, place and use. Alterations that have no historical basis or create a false sense of historical development such as adding conjectural features or elements from other properties shall be discouraged.

(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.

(10) Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.

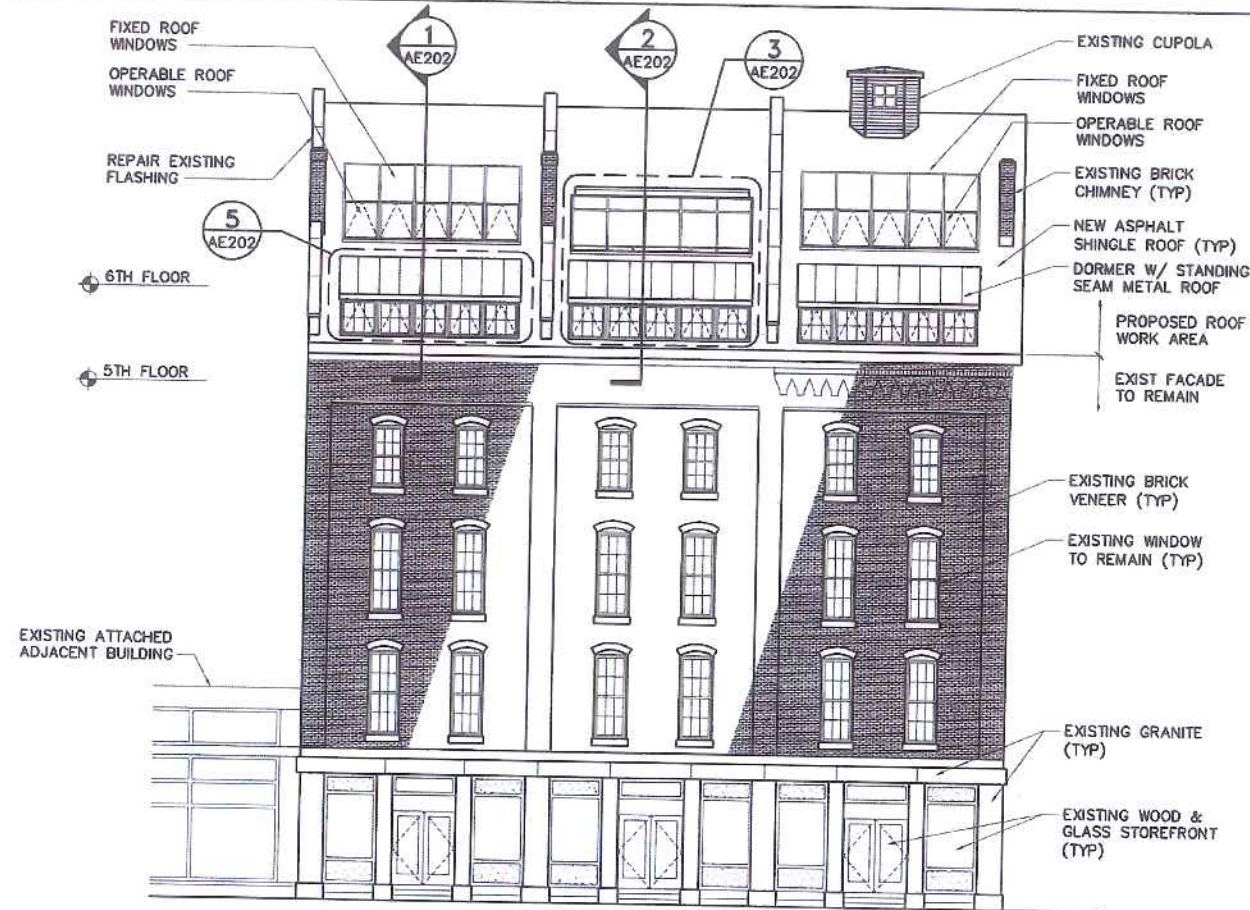
Motion for Consideration

On the basis of plans and specifications submitted for the 10/09/13 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed rooftop additions at 111 Commercial Street **meet (fail to meet)** the Standards for Review of Alterations within the historic preservation ordinance, specifically Standards #.....
(Board approval was made subject to the following conditions...)

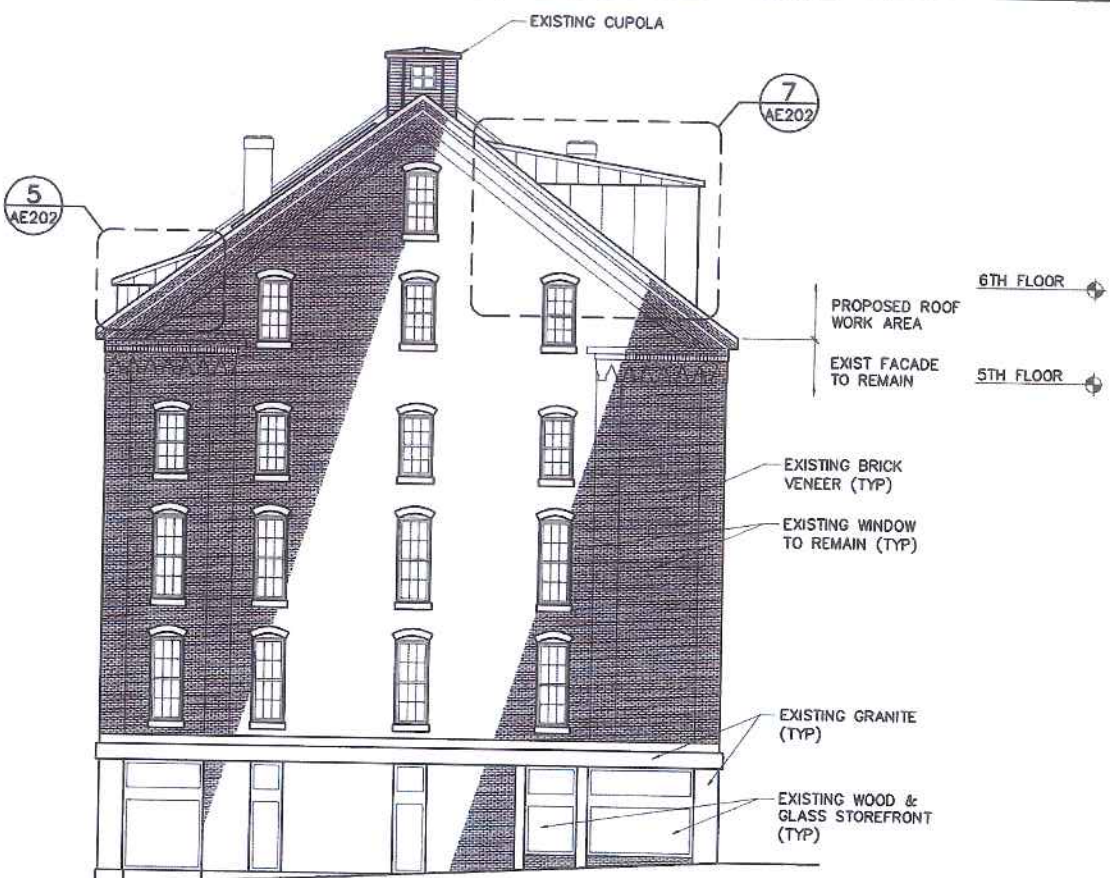
Attachments

1. Final submission, including elevations, sections and details
2. Plans presented at 9/18 workshop
3. Photographs of subject property

ATT. 1
FINAL PROPOSAL
1A.



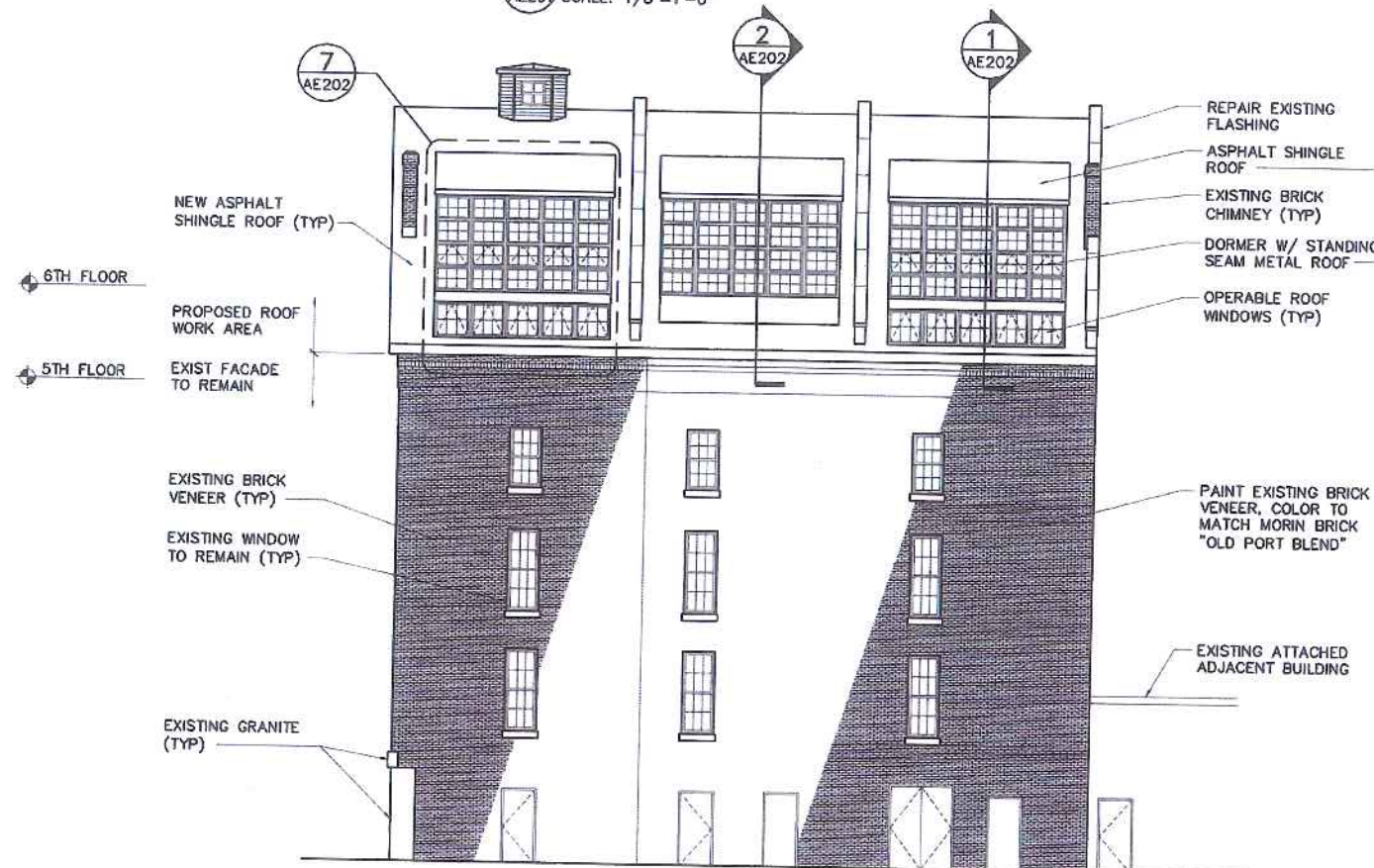
1 COMMERCIAL STREET ELEVATION
AE201 SCALE: 1/8"=1'-0"



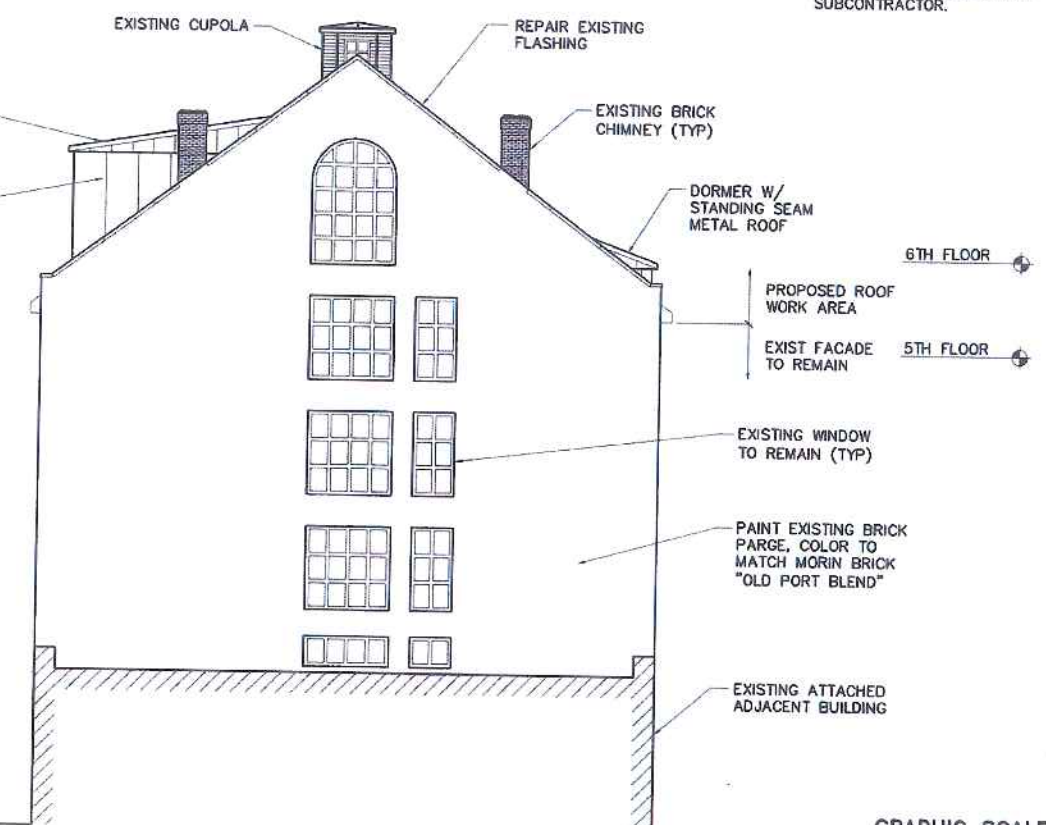
2 PEARL STREET ELEVATION
AE201 SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

1. COORDINATE MECHANICAL UNIT REMOVAL WITH MECHANICAL SUBCONTRACTOR.



3 GOLD STREET ELEVATION
AE201 SCALE: 1/8"=1'-0"



4 WEST ELEVATION
AE201 SCALE: 1/8"=1'-0"



ISSUED FOR
HPB APPROVAL

DESIGNED BY: GLH
DRAWN BY: CRR
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK
111 Commercial Street - Portland, Maine

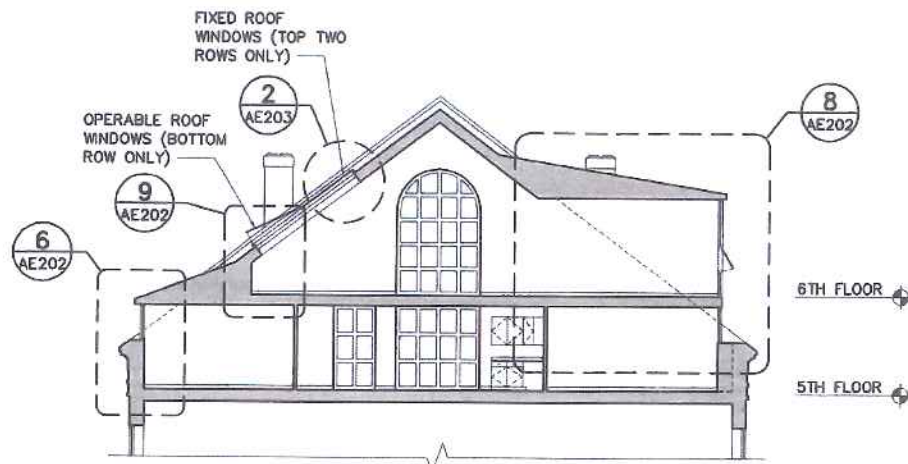
EXTERIOR
ELEVATIONS

SCALE: AS NOTED

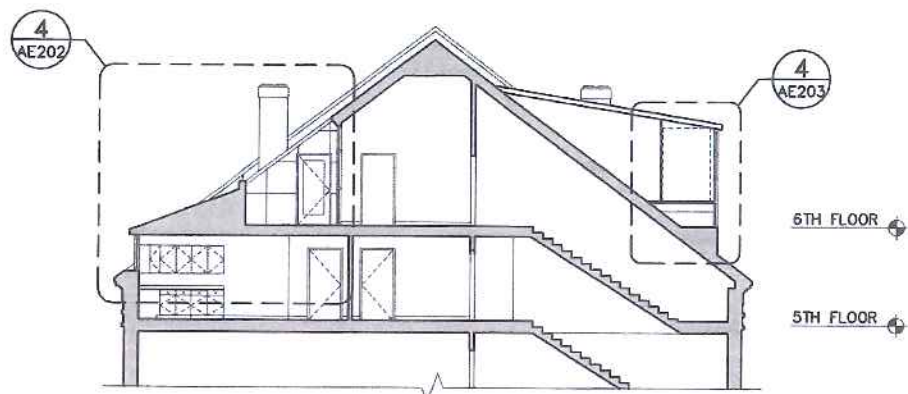
DATE: 16 OCT 2017

DWG.: AE201

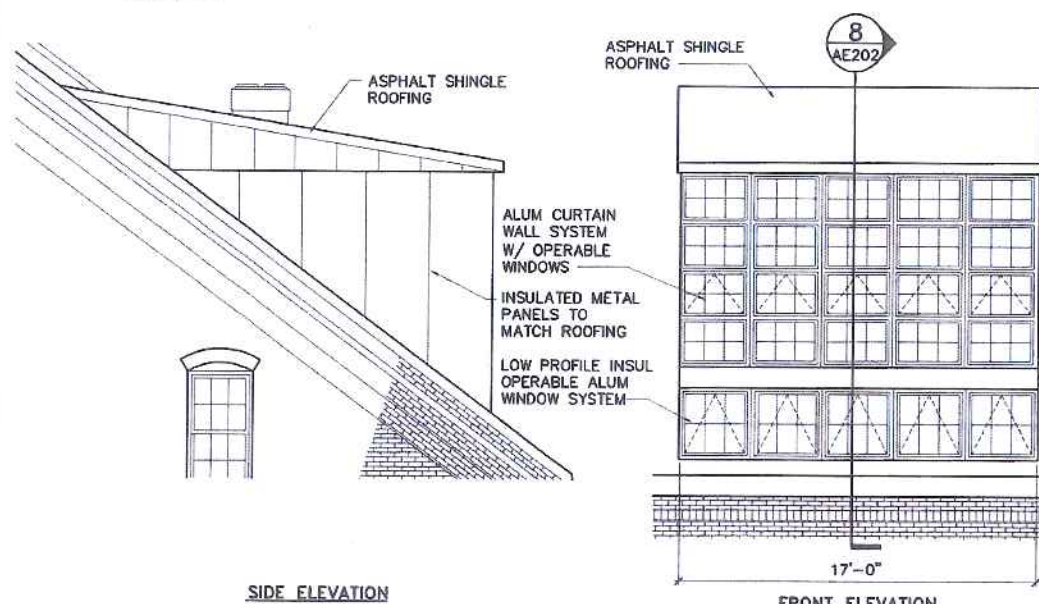
SHEET: 1 of 3



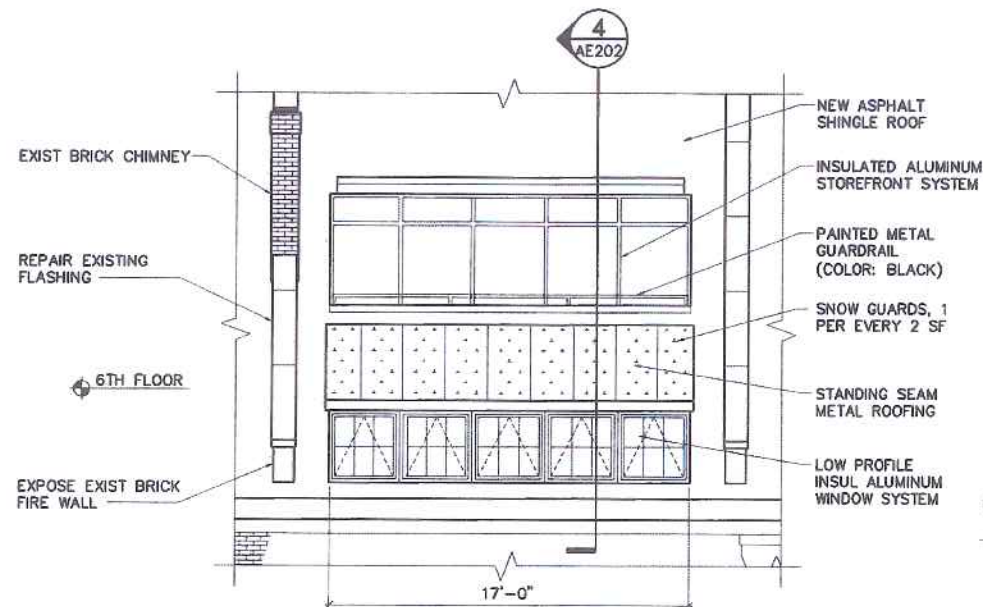
1 PARTIAL BUILDING SECTION @ END BAYS
AE201 AE202 SCALE: 1/8"=1'-0"



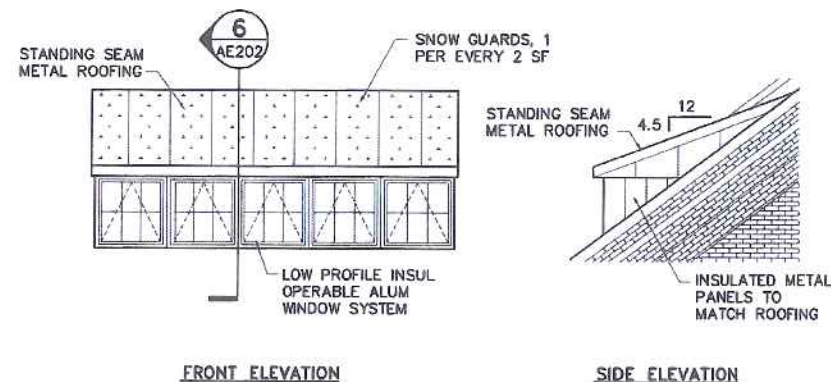
2 PARTIAL BUILDING SECTION @ MIDDLE BAY
AE201 AE202 SCALE: 1/8"=1'-0"



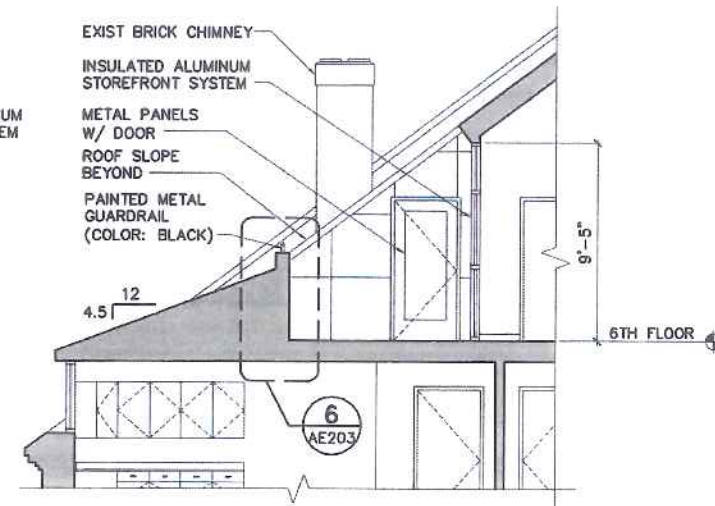
7 REAR DORMER ELEVATIONS
AE201 AE202 SCALE: 1/4"=1'-0"



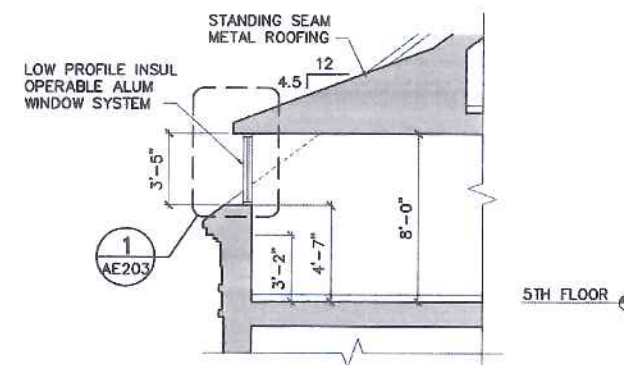
3 FRONT DECK/DORMER ELEVATION
AE201 AE202 SCALE: 1/4"=1'-0"



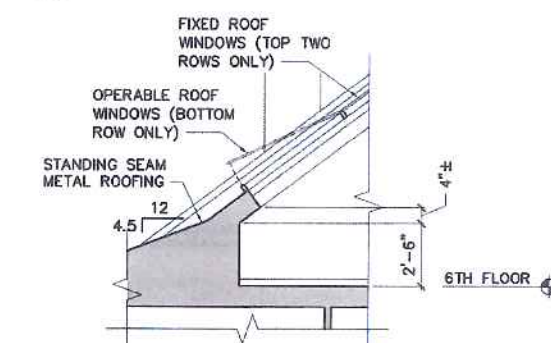
5 FRONT DORMER ELEVATIONS
AE201 AE202 SCALE: 1/4"=1'-0"



4 FRONT DECK/DORMER SECTION
AE202 SCALE: 1/4"=1'-0"



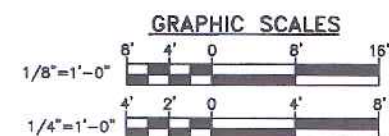
6 FRONT DORMER SECTION
AE202 SCALE: 1/4"=1'-0"



9 6TH FLOOR ROOF WINDOW SECTION
AE202 SCALE: 1/4"=1'-0"

BASIS OF DESIGN PRODUCT DATA:

- METAL ROOFING: MORIN SCRPROFILE WITH FLUOROPOLYMER COATING COLOR: ZINC GREY
- ALUMINUM WINDOW SYSTEM: EFCO SERIES 2600 INSULATED GLASS. FRAME COLOR: GREY
- CURTAIN WALL: EFCO SYSTEM 5800, INSULATED GLASS. FRAME COLOR: GREY
- SKYLIGHTS: WASCO GSV 2246, COLOR CHARCOAL GREY



ISSUED FOR
HPB APPROVAL

DESIGNED BY: GLH
DRAWN BY: CRR
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK
111 Commercial Street - Portland, Maine

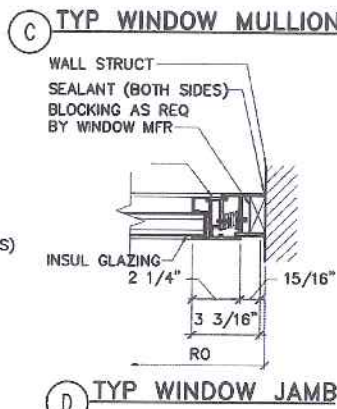
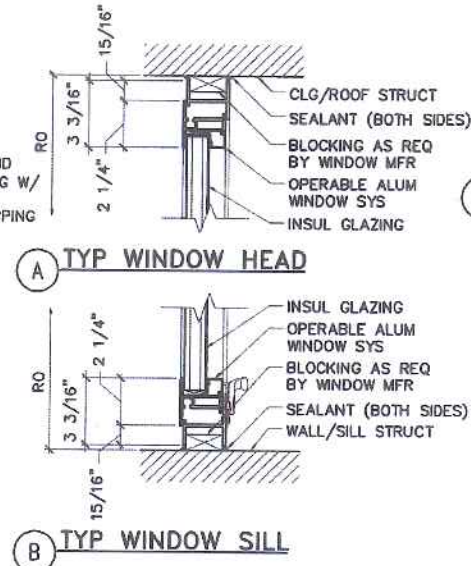
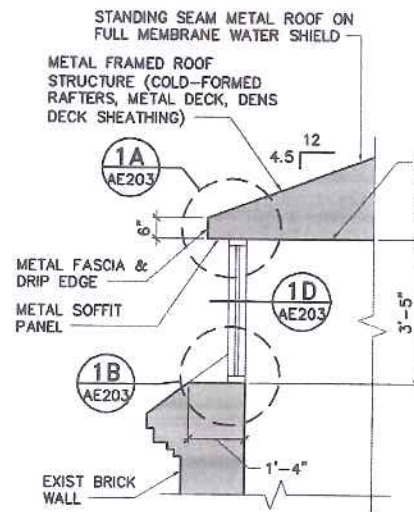
BUILDING
SECTIONS
AND DETAILS

SCALE: AS NOTED

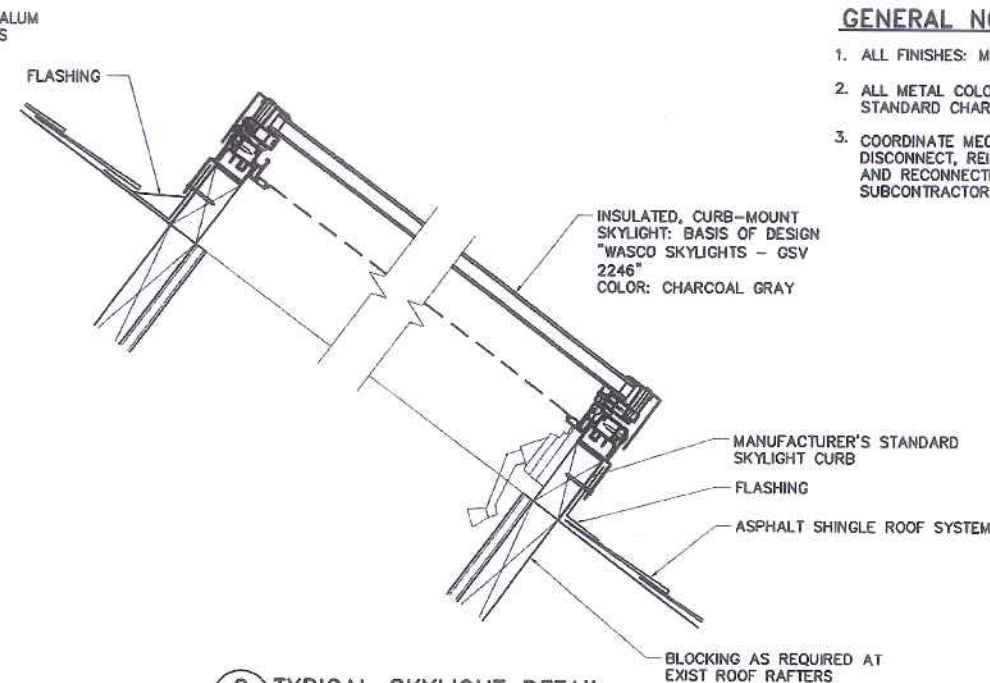
DATE: 16 OCT 2011

DWG.: AE202

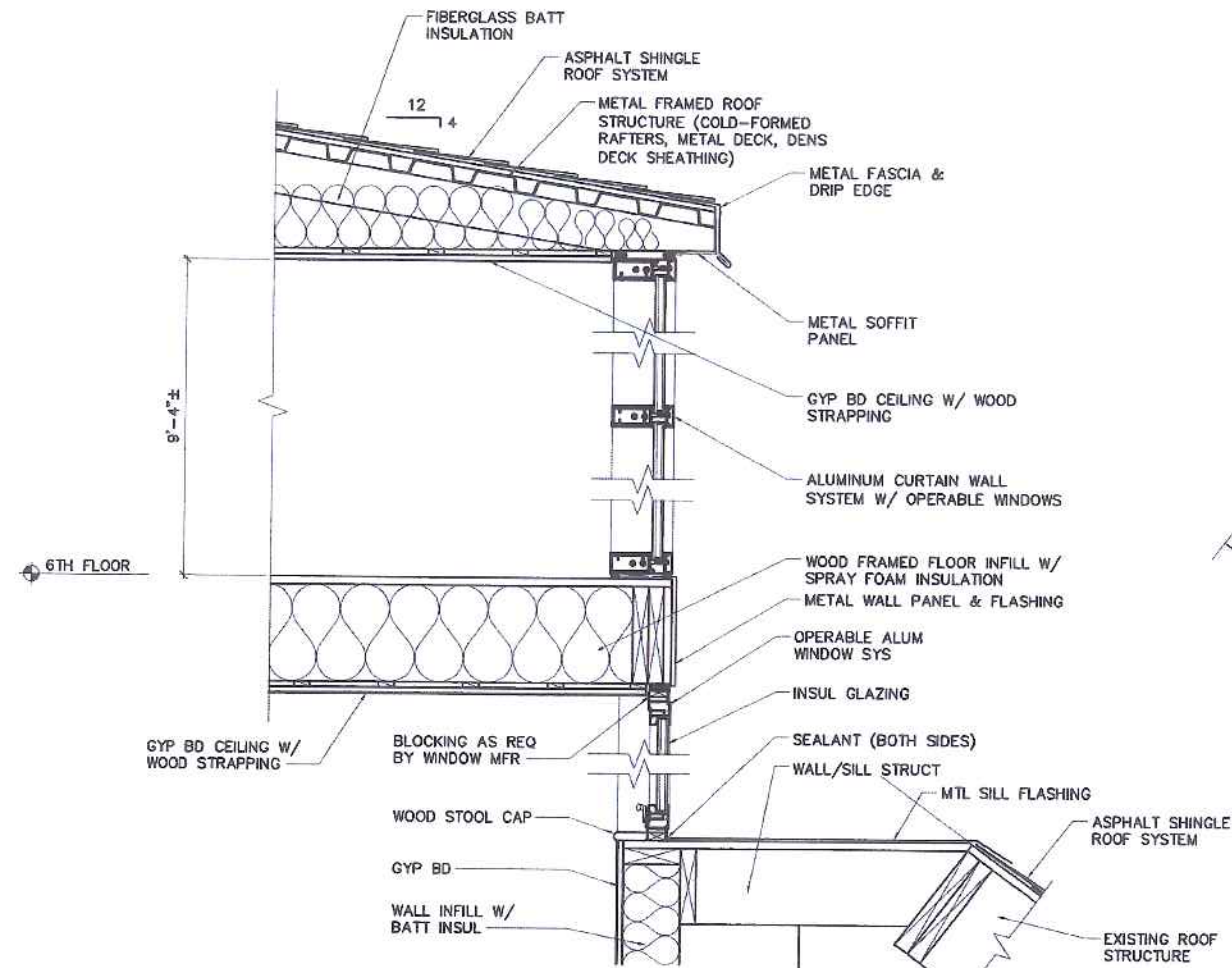
SHEET: 2 OF 3



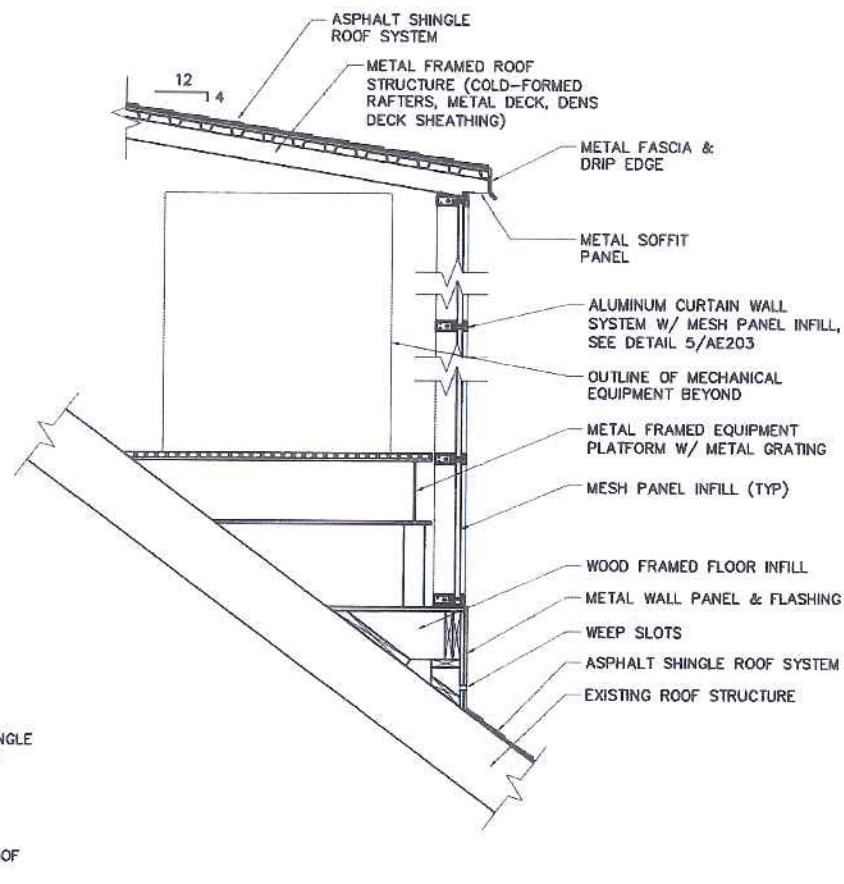
1 TYPICAL FRONT DORMER WINDOW DETAILS
AE202 AE203 SCALE: 3/4"=1'-0"



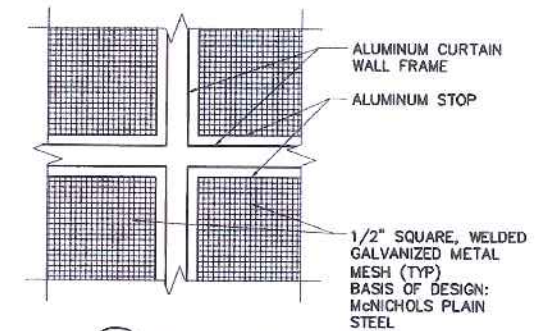
2 TYPICAL SKYLIGHT DETAIL
AE202 AE203 SCALE: 3/4"=1'-0"



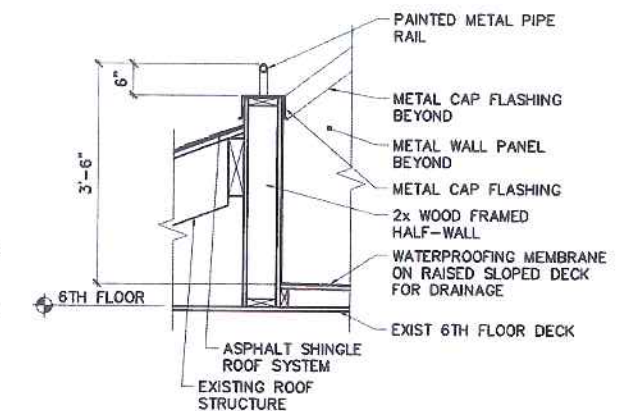
3 TYPICAL REAR DORMER CURTAIN WALL DETAILS
AE202 AE203 SCALE: 1-1/2"=1'-0"



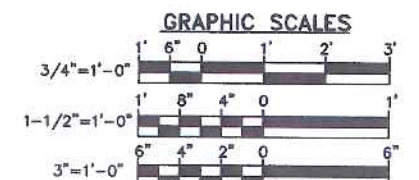
4 EQUIP CURTAIN WALL DETAILS
AE202 AE203 SCALE: 3/4"=1'-0"



5 MESH INFILL DETAIL
AE203 SCALE: 1-1/2"=1'-0"



6 RAILING DETAIL
AE203 SCALE: 3/4"=1'-0"



CHECK GRAPHIC SCALES BEFORE USING

GENERAL NOTES

1. ALL FINISHES: MATTE
2. ALL METAL COLORS: MANUFACTURER'S STANDARD CHARCOAL GREY VARIANT
3. COORDINATE MECHANICAL UNIT REMOVAL, DISCONNECT, REINSTALLATION OF NEW AND RECONNECTION WITH MECHANICAL SUBCONTRACTOR

ISSUED FOR
HPB APPROVAL

DESIGNED BY: GLH
DRAWN BY: CRR
CHECKED BY: GLH
PROJECT: 21304.11

BLANCHARD BLOCK LLC

RENOVATION TO
BLANCHARD BLOCK

111 Commercial Street - Portland, Maine

DETAILS

SCALE: AS NOTED

DATE: 16 OCT 2011

DWG: AE203

SHEET: 3 OF 3

17



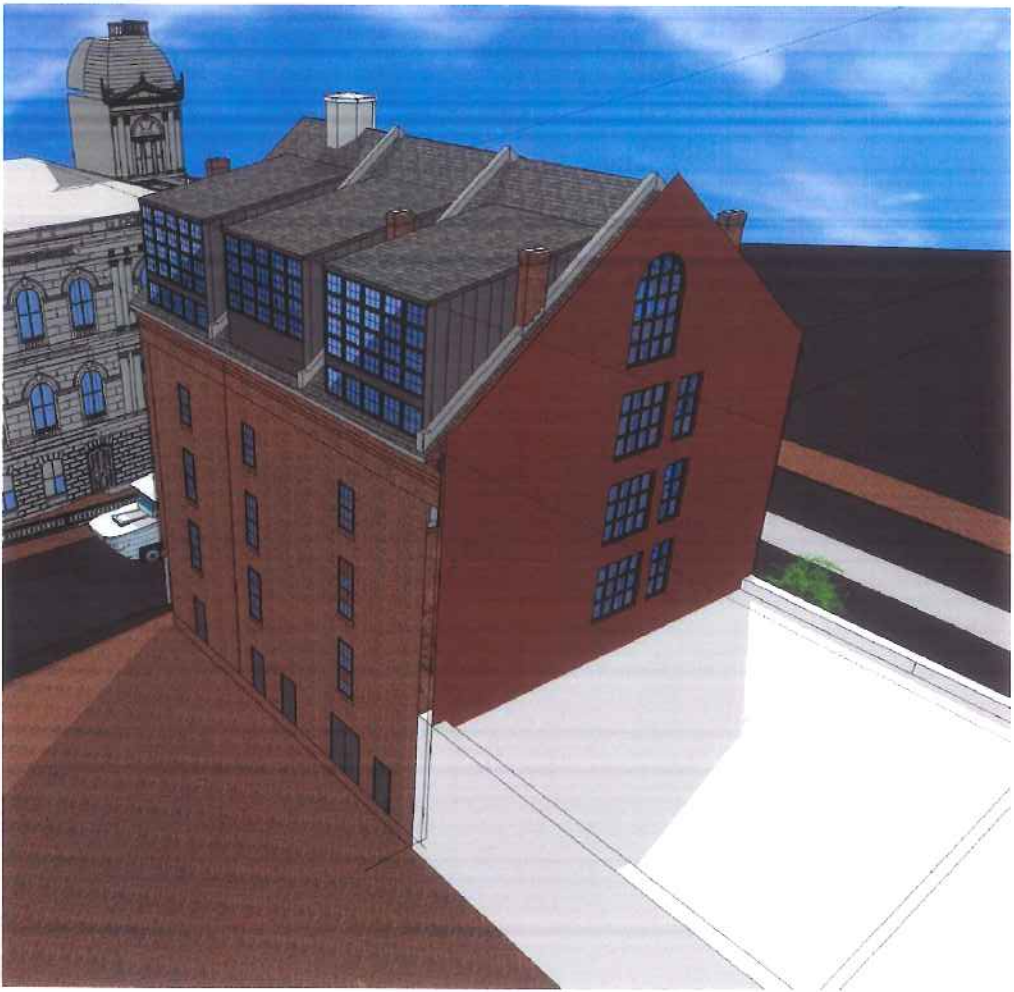
111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

OCTOBER 16, 2013



ARCHITECTURE ■ ENGINEERING ■ PLANNING

1E



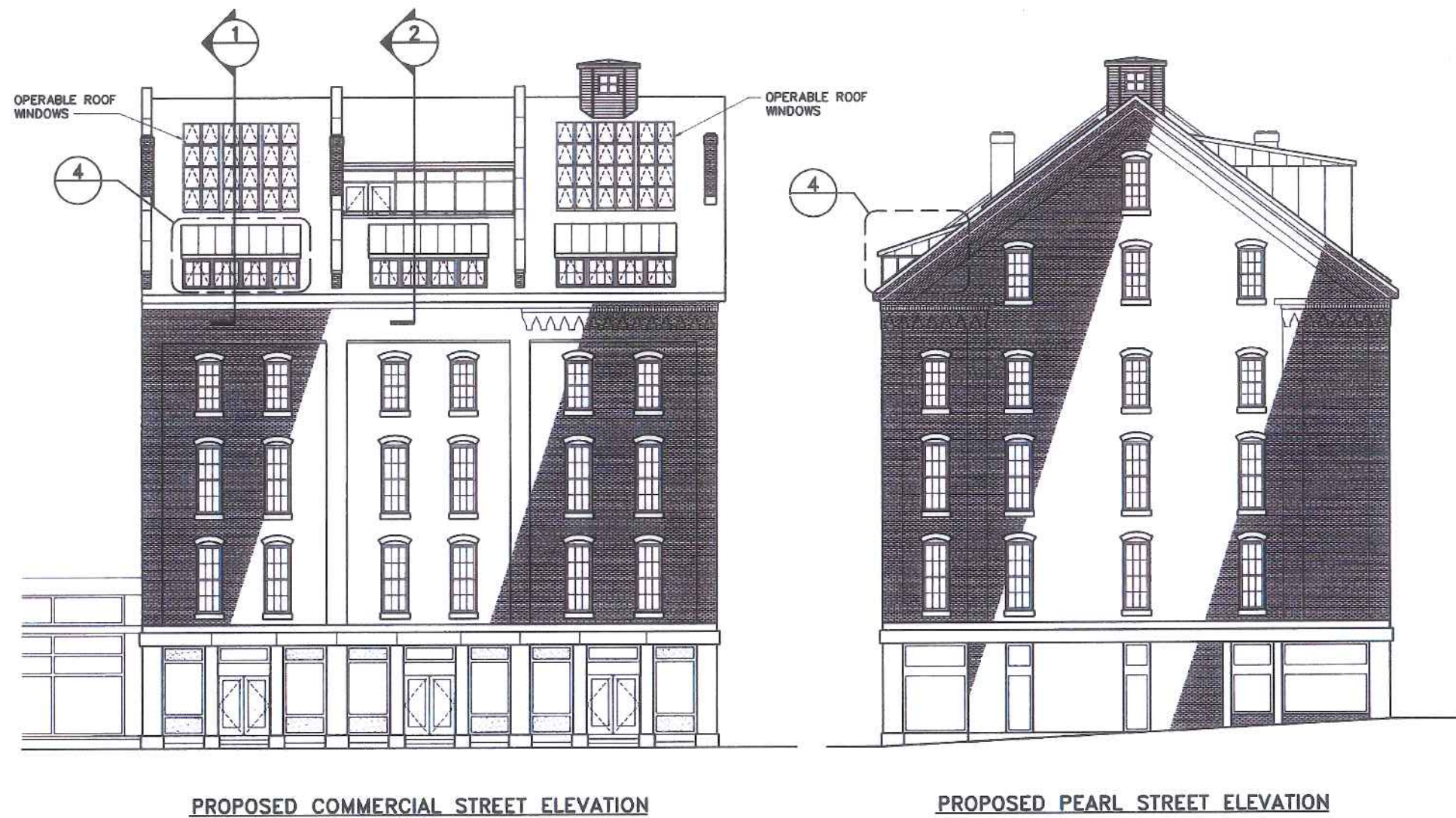
111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

OCTOBER 16, 2013



ARCHITECTURE ■ ENGINEERING ■ PLANNING

ATT. 2
9/18 PROPOSAL
2A



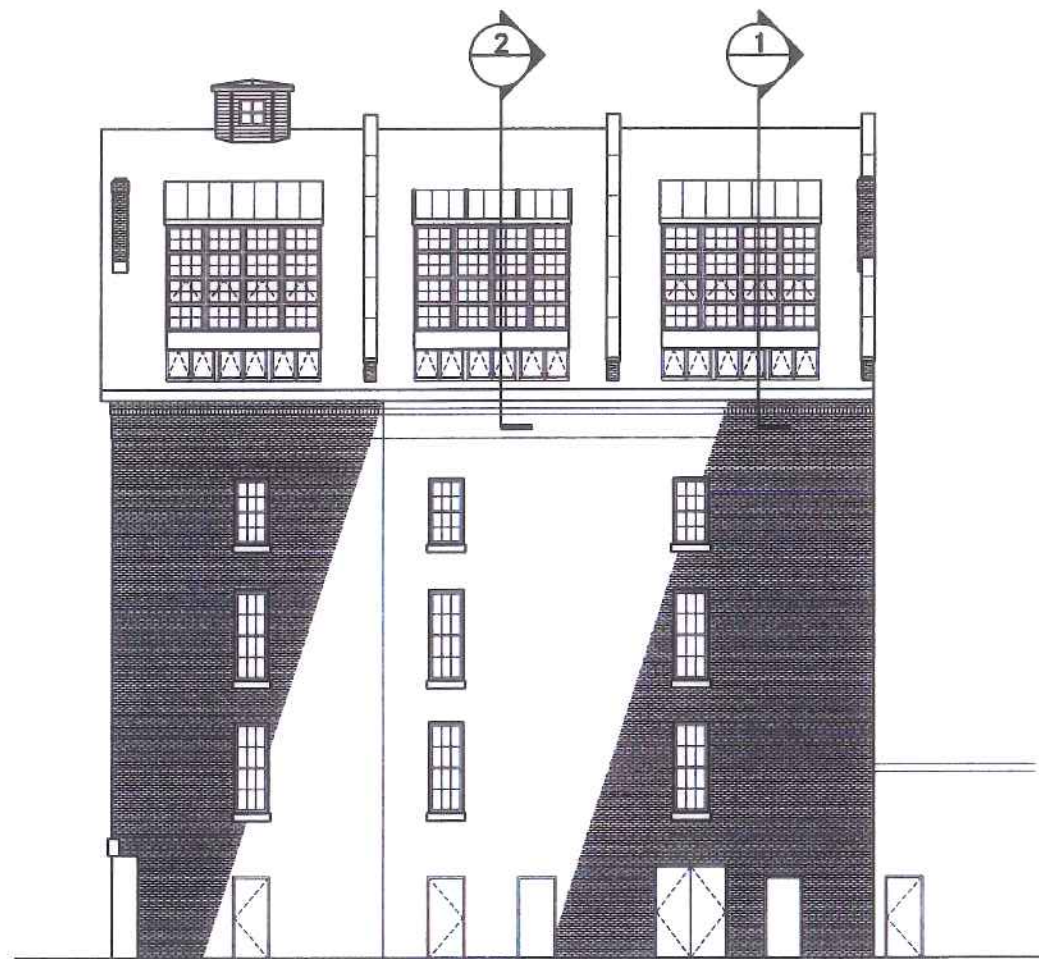
111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

SEPTEMBER 18, 2013

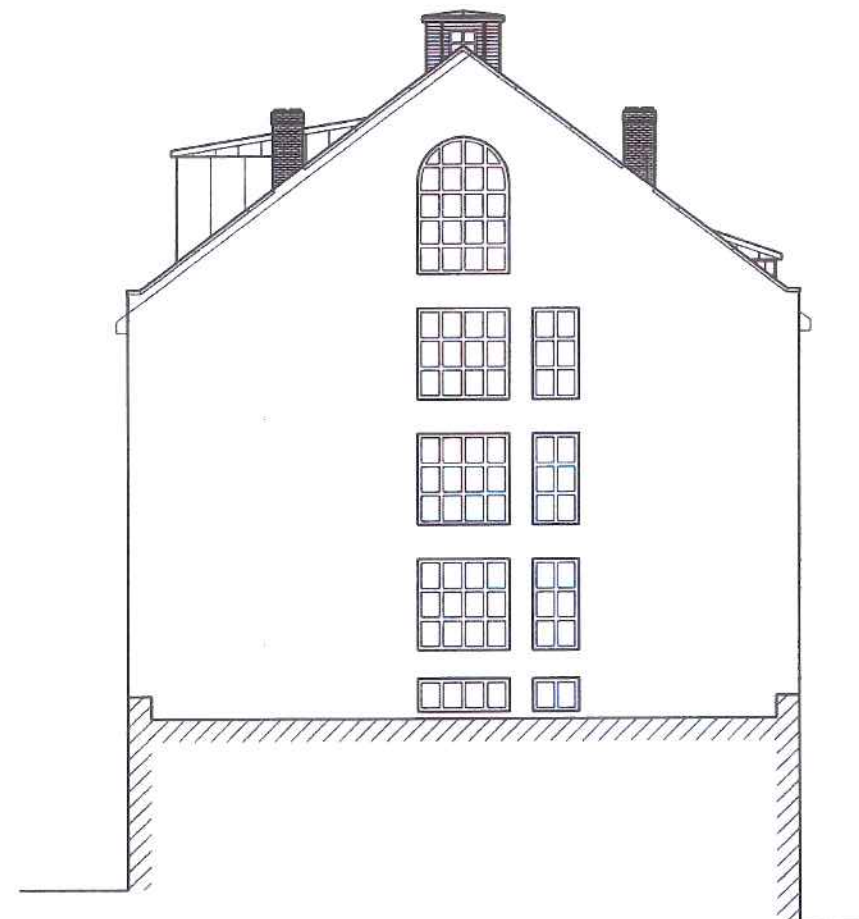


ARCHITECTURE ■ ENGINEERING ■ PLANNING

2B



PROPOSED GOLD STREET ELEVATION



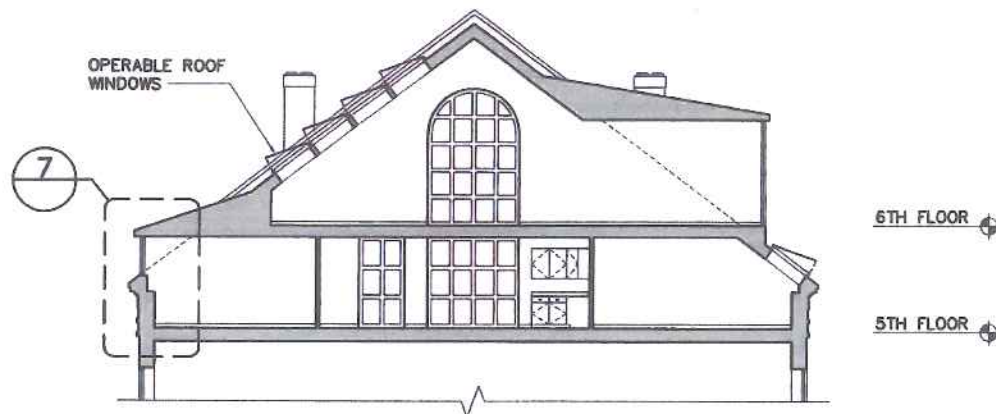
PROPOSED WEST ELEVATION

111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

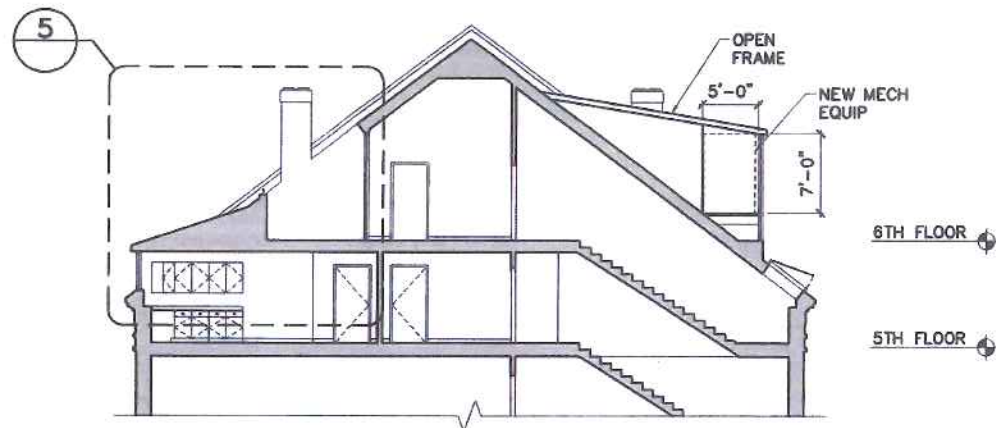
SEPTEMBER 18, 2013



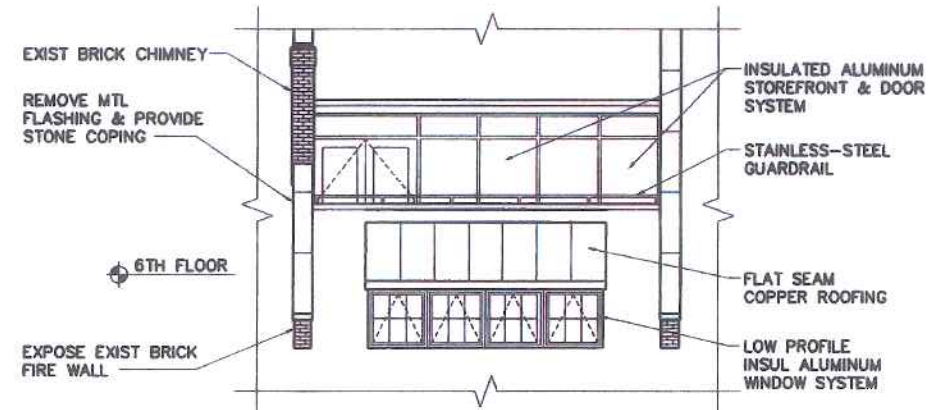
ARCHITECTURE ■ ENGINEERING ■ PLANNING



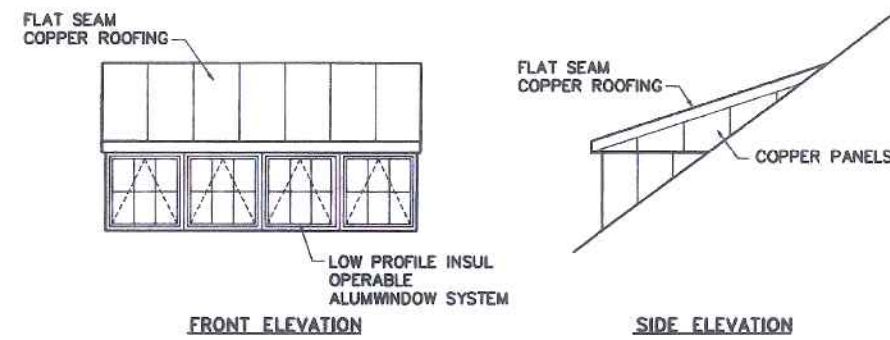
1 PARTIAL BUILDING SECTION AT END BAYS



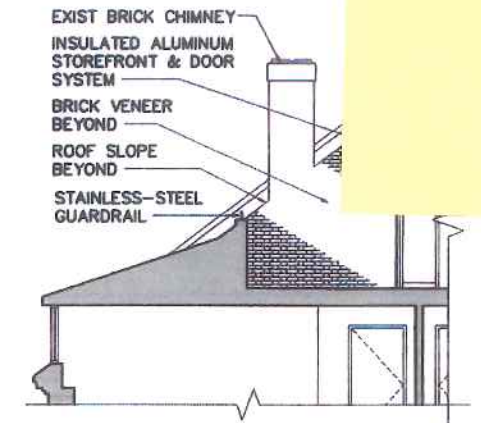
2 PARTIAL BUILDING SECTION AT MIDDLE BAY



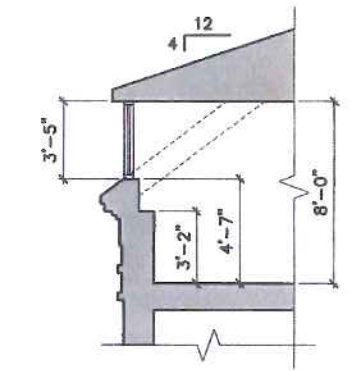
3 PROPOSED FRONT DECK/DORMER ELEV



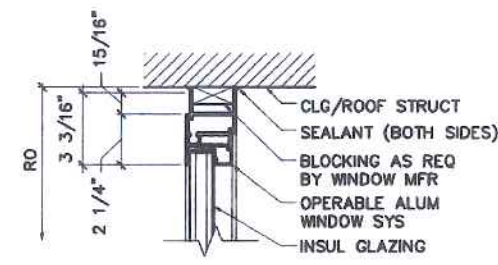
4 PROPOSED DORMER FRONT ELEV



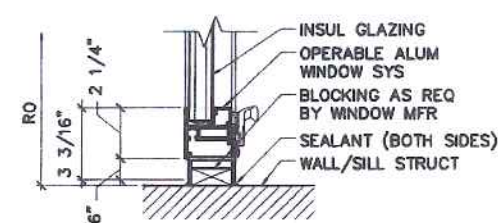
5 PROPOSED FRONT DECK SECTION



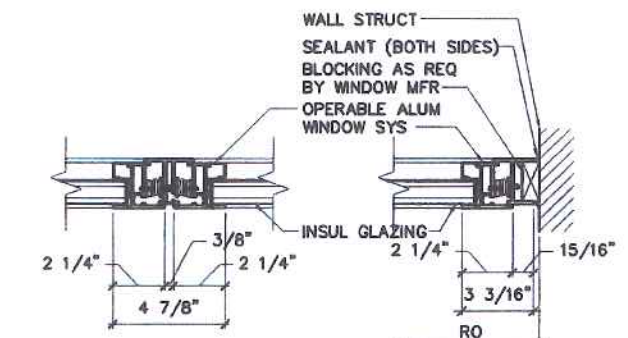
7 PROPOSED FRONT DORMER SECTION



TYP WINDOW HEAD



TYP WINDOW SILL



TYP WINDOW MULLION TYP WINDOW JAMB

6 TYPICAL WINDOW DETAILS

111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

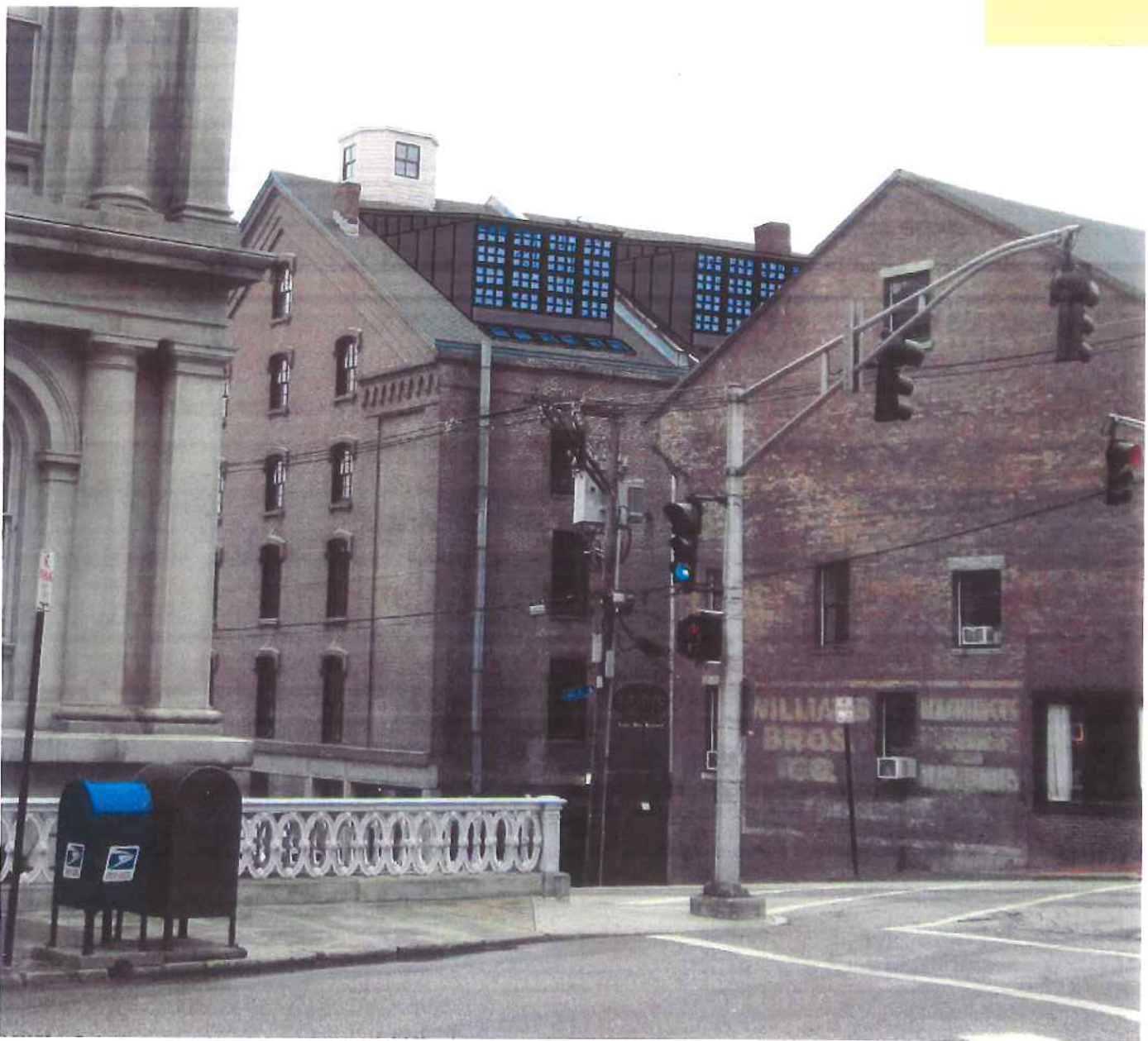
SEPTEMBER 18, 2013



ARCHITECTURE ■ ENGINEERING ■ PLANNING



PROPOSED PERSPECTIVE



PROPOSED PERSPECTIVE

111 COMMERCIAL STREET, PORTLAND MAINE
Blanchard Block LLC - Portland Maine

SEPTEMBER 18, 2013



ARCHITECTURE ■ ENGINEERING ■ PLANNING

ATT. 3
PHOTOS



