

1. Legal Ad

Documents: [6-18-14 LEGAL AD.PDF](#)

2. Agenda

Documents: [06-18-14 AGENDA.PDF](#)

3. Memo

Documents: [HP MEMO - 3 SPRING STREET.PDF](#)

4. Memo

Documents: [HP MEMO - DEERING STREET.PDF](#)

**LEGAL ADVERTISEMENT
HISTORIC PRESERVATION BOARD
CITY OF PORTLAND
Public comments will be taken at all meetings**

On Wednesday, June 18, 2014 at 5:00 p.m., the Portland Historic Preservation Board will meet in Room 209 of City Hall to review the following items:

1. WORKSHOP

- i. Preliminary Review of Street Reconstruction and Associated Infrastructure Improvements; DEERING STREET; City of Portland, Applicant.
- ii. Preliminary Review of Proposed Public Infrastructure Improvements; OUTER CONGRESS STREET (in the Vicinity of Stroudwater Historic District); City of Portland, Applicant.

Break for Dinner; Meeting Resumes at 7:15 in Room 209

2. PUBLIC HEARING

- i. Certificate of Appropriateness for Installation of 5 Bus Shelters; CONGRESS STREET, BETWEEN MYRTLE & STATE; City of Portland and METRO, Applicant.

3. WORKSHOP

- i. Preliminary Review of Proposed Site Alterations; 3 SPRING STREET; Styxx, Applicant.

**Contact the Department of Planning and Urban Development, Planning Division, 874-8726 for further information. To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date:
<http://www.portlandmaine.gov/historic.htm>**

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Scott Benson, Vice Chair
Ted Oldham
Penny Pollard
John Turk
Bruce Wood

HISTORIC PRESERVATION BOARD AGENDA

June 18, 2014 – 6:00 p.m.

Room 209, 2nd Floor, City Hall

Public comments will be taken at all meetings

1. ROLL CALL AND DECLARATION OF QUORUM

2. COMMUNICATIONS AND REPORTS

3. REPORT OF DECISIONS OF JUNE 4, 2014:

- i. Certificate of Appropriateness for Porch Infill; 1 Carroll Street; Ian and Kate Malin, Applicant. *The Board voted 5-0 (Romano recused) to approve the application subject to conditions.*
- ii. Certificate of Appropriateness for Site Alterations associated with Burial Lot Expansion; Evergreen Cemetery; City of Portland, Applicant. *The Board voted 6-0 (unanimously) to approve the application without any conditions.*
- iii. Certificate of Appropriateness for Rooftop Deck; 246 Brackett Street; Andrew Calise, Applicant. *The Board voted 6-0 (unanimously) to approve the application without any conditions.*
- iv. Certificate of Appropriateness for Driveway Installation; 112 Vaughan Street; Carrie Hanson and Dr. Bruce Hamilton, Applicant. *The Board tabled final consideration of the application, pending receipt of revised plans.*

4. WORKSHOP

- i. Preliminary Review of Street Reconstruction and Associated Infrastructure Improvements; DEERING STREET; City of Portland, Applicant.
- ii. Preliminary Review of Proposed Site Alterations; 3 SPRING STREET (Rear, 6-8 Monument Square; Styxx, Applicant.

5. CONSENT AGENDA

Contact the Department of Planning and Urban Development, Planning Division, 874-8726 for further information. To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date: <http://www.portlandmaine.gov/AgendaCenter>

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
3 SPRING STREET**

TO: Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: June 12, 2014

RE: June 18, 2014 Workshop – Preliminary Review of Proposed Deck and Fence Construction

Address: 3 Spring Street
(rear, 6-8 Monument Square)

Applicant: Josh Moody, owner of Styxx

Project Designer: Lee Hulst

Introduction

Architectural designer Lee Hulst, representing the owner of Styxx nightclub, has requested a preliminary workshop to review his proposal for the construction of an outdoor deck and fence at 3 Spring Street. The project site is located on the north side of Spring Street Arterial, at the corner of Spring and Cross Street.

Mr. Hulst has provided numerous photographs of the project site in addition to a sketch site plan, fence detail and perspective view of the proposed addition. Also enclosed are photos of other fences that have informed his fence proposal.

Subject Property, Context

The structure at 3 Spring Street is actually a rear building addition to the historic commercial block at 6-8 Monument Square. Stylistically, the addition is clearly contemporary and bears no identifiable relationship to the Monument Square building complex. Indeed, although the building is located at the southern edge of the Congress Street Historic District, this portion of the structure has little visual relationship to the historic district either; its visual context is that of Spring Street Arterial. Regardless of whether the property shares a visual relationship to the core of the district, its visual prominence along Spring Street warrants careful consideration of any exterior alteration or addition.

The specific area proposed for the deck addition currently reads more like a secondary loading dock area than a main entrance to a commercial establishment. The double door entrance to Styxx is well below the grade of the sidewalk and is accessed through a series of broad concrete steps that are

accessed from Cross Street. A concrete retaining wall and railing run along the Spring Street frontage of the area, preventing direct access to the Styxx entrance from Spring Street. Immediately abutting the entrance to the north is a metal fire escape serving a boarded-up small brick commercial block that faces Cross Street.

Proposed Construction

As Mr. Hulst describes in his application, the project calls for constructing a deck over a portion of the concrete steps that access the Styxx entrance. Closer to the entrance itself, the lowest concrete step will be removed to create a new landing. The concrete retaining wall that runs along the Spring Street sidewalk will be removed and a new metal stair and railing will provide direct access from Spring Street down to the landing and entrance. The metal stair is intended to be similar in character to the metal fire escape that immediately abuts the deck addition. The proposed deck is to be surrounded by a 42" wood/metal railing with 52" brick end posts. A sketch of the proposed fence is provided with the submission. Note that the general appearance of the fencing was inspired by the fence around Reiche School, although the details of the fencing itself will likely be different. (Mr. Hulst has described the fencing as consisting of wood top and bottom rails and metal balusters. This type of fencing is featured at the rooftop deck east of the project site—see photos.)

Staff Comments

As with all projects of this type, the Board will want to consider the overall design relationship of the proposed addition to its immediate context, as well as the appropriateness and quality of specific details and material selections. In this instance, it is important that the fence solution relate to the relatively contemporary nature of the building addition it adjoins. If the fencing is to include brick piers it will be important that the bricks themselves and the masonry construction match to the extent possible the character of the building's masonry.

With respect to the deck itself, the proposal calls for pressure-treated decking. The Board will need to determine whether this will provide a sufficiently "finished" appearance in this urban location or if another decking material would be preferable.

In reviewing the proposed project, the Board might wish to inquire whether any improvements are being considered for the entrance itself. Given the nightclub use, it is likely that the applicant prefers to retain solid entrance doors, but further consideration might be given to the treatment of the door surround. With modified trim details, the entrance could be given a bit more architectural presence.

Applicable Review Standards

The following standards apply in the review of this proposal:

- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Attachments

1. Application and project description
2. Photos of project site
3. Perspective view of proposed deck and fence
4. Site plan and fence detail
5. Photos of Reiche fence and rooftop deck fence—used as models for proposed fencing



Att. 1

Date: 6/3/14

**HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: STYXX NIGHTCLUB, SPRING + CROSS STREETS,
(6-8 MONUMENT SQ.) PORTLAND

CBL (Chart-Block-Lot): _____

APPLICANT:

Name: JOSH MOODY

Telephone: 207-691-0070

Company, if applicable: AMT CORP.

Address: PO BOX 502, PORTLAND 04112

PROPERTY OWNER (if different):

Name: CHASE CUSTOM HOMES

Telephone: 207-892-2700

Address: 290 BRIDGTON RD. WESTBROOK ME. 04092

Architect (if any): LELAND HULST ARCHITECTURAL SERVICES

Contractor or Builder (if any): CHASE CUSTOM HOMES

Applicant's Signature _____

Owner's Signature (if different) _____

BILL TO: (Please list contact information for future advertising expenses)

Name: JOSH MOODY (ABOVE)

Telephone: _____

Company, if applicable: _____

Address: _____

APPLICATION FEE:

See page 7 for fee schedule. Please submit fee with completed application.

DESCRIPTION OF PROJECT:

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, and/or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

The owner of Styxx Nightclub, at the intersection of Cross and Spring Streets in Portland, would like to construct a new outdoor deck in the location of the current concrete entry stairway. The proposal includes removing the existing retaining wall and railing above the Spring Street sidewalk. A new five foot wide metal stair and railing will lead down to a new landing in front of the double entry doors, by also removing the lowest concrete stair. The existing floor drainage grate will remain.

New pressure-treated wooden decking would be installed over new base framing members above the remainder of the stairway, and a 42 inch wooden and metal railing would surround the new area, with three 52 inch tall capped brick posts bounding the perimeter at the edge of the existing sidewalk. The deck would be entered from the interior of the club, for proper separation and carding of customers for service of drinks and food, and an emergency exit gate from the deck would be installed next to the building fire escape from the floor above on Cross Street. Wooden finishes would be opaque grey stain, with black metal balusters. Brick posts would be constructed with brick and mortar joints to match the existing building, capped with precast concrete.

The goal is to provide a pleasant area with container plantings for umbrella tables and chairs, which feels secure next to the sidewalk and downtown street traffic. Construction is planned for this summer, and previous discussions with Jeanie Bourke in City Code Enforcement indicate her satisfaction with the egress modifications proposed.

Att. 2



IMG_6273

Deb Andrews - Installment 2, full-size

From: Lee Hulst <lhulst@me.com>
To: Deb Andrews <dga@portlandmaine.gov>
Date: 6/2/2014 10:57 AM
Subject: Installment 2, full-size



IMG_6193



IMG_6275

Deb Andrews - Installment 4--full size

From: Lee Hulst <lhulst@me.com>
To: Deb Andrews <dga@portlandmaine.gov>
Date: 6/2/2014 11:03 AM
Subject: Installment 4--full size



IMG_6276

Deb Andrews - Installment 6--full size

From: Lee Hulst <lhulst@me.com>
To: Deb Andrews <dga@portlandmaine.gov>
Date: 6/2/2014 11:08 AM
Subject: Installment 6--full size



IMG_6285



IMG_6277



IMG_6280

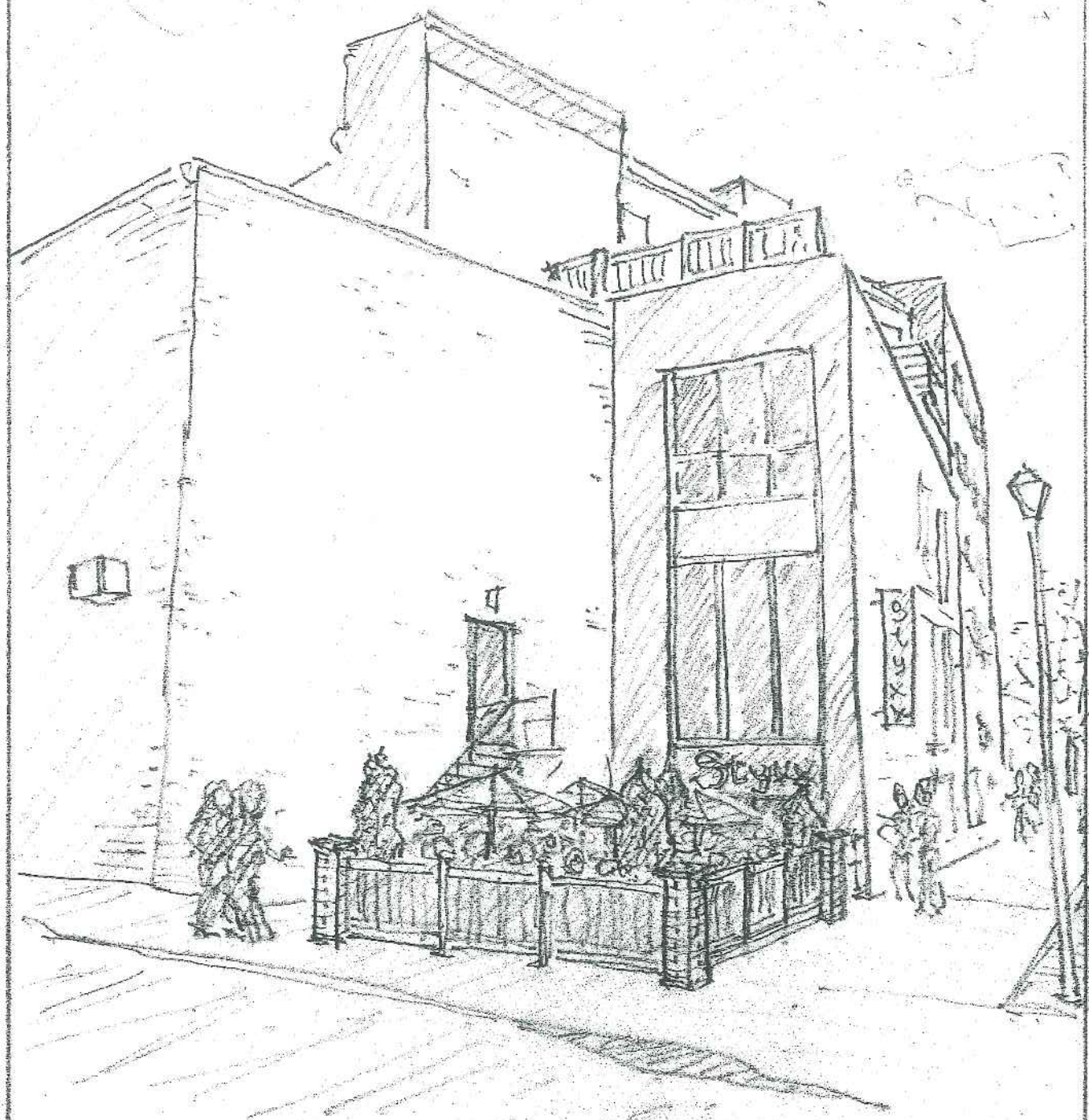
Deb Andrews - Installment 5--full size

From: Lee Hulst <lhulst@me.com>
To: Deb Andrews <dga@portlandmaine.gov>
Date: 6/2/2014 11:05 AM
Subject: Installment 5--full size



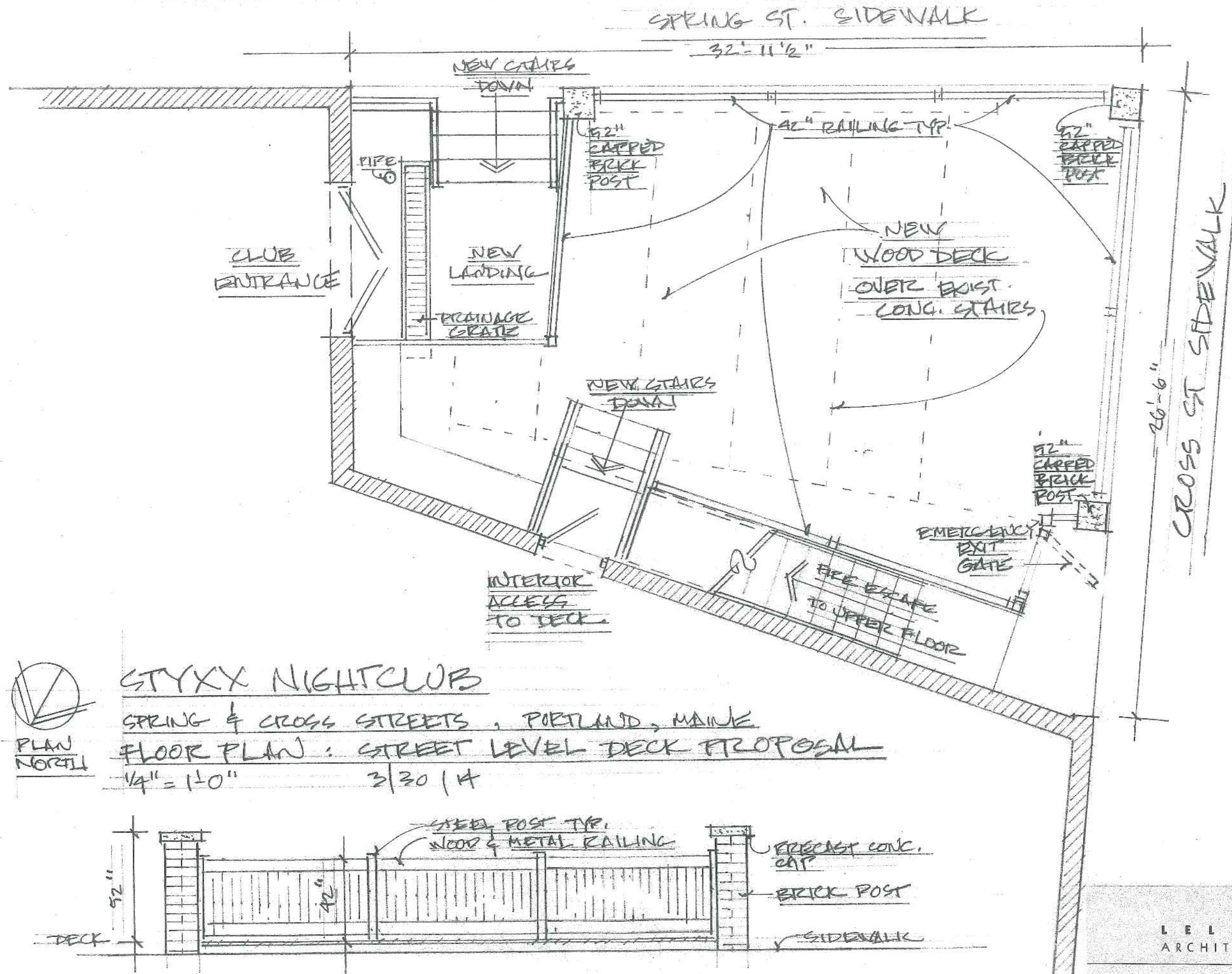
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AH. 3



HULST

STYXX NIGHTCLUB FORTLAND, MAINE
OUTDOOR DECK PROPOSAL 6/3/14



STYXX NIGHTCLUB

SPRING & CROSS STREETS, PORTLAND, MAINE

FLOOR PLAN: STREET LEVEL DECK PROPOSAL

1/4" = 1'-0"

3/30/14

AHS

Deb Andrews - Installment 3--full size

From: Lee Hulst <lhulst@me.com>
To: Deb Andrews <dga@portlandmaine.gov>
Date: 6/2/2014 11:00 AM
Subject: Installment 3--full size



IMG_6197

REICHE SCHOOL FENCE -

MODEL FOR FENCE POSTS



MODEL FOR FENCING



IMG_6370

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
DEERING STREET**

TO: Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: June 10, 2014

RE: June 18, 2014 Workshop – Preliminary Review of Proposed Street Reconstruction Project, including associated Streetscape Improvements

Address: Deering Street

Applicant: City of Portland Department of Public Services

Project Consultants: Woodard & Curran Inc. (civil engineers)
Regina S. Leonard, Landscape Architect

Introduction

Landscape architect Regina Leonard, representing the Department of Public Services, has requested a workshop to review proposed streetscape improvements associated with the comprehensive reconstruction of Deering Street between Mellen and High. The street reconstruction project has been prompted by the need to replace the failing sewer system in this area. When complete, the street will accommodate a separated, parallel storm drain system. Portland Water District and Unitil will also be replacing the water and natural gas infrastructure in this area. Given the extensive nature of the work, the entire right-of-way, including sidewalks, curb cuts, esplanade and street trees, will be affected by the project.

Working with Woodard & Curran, lead consultants on the project, Ms. Leonard's role has been to advise on above-grade improvements and to ensure that they are consistent or compatible with the traditional streetscape elements that contribute so significantly to the visual character of the Deering Street Historic District. Ms. Leonard prepared a thorough inventory and assessment of the street features and street trees and has used this inventory as the basis of her recommendations.

On Wednesday, Ms. Leonard will present the findings of her inventory/assessment and review the specific recommendations for improvements, including changes to existing streetscape elements. Enclosed for the Board's review are a copy of the assessment and a summary of the changes being proposed. Board members are encouraged to visit the street prior to the workshop to familiarize themselves with existing streetscape features.

Existing Conditions and Scope of Work

As Ms. Leonard has provided a thorough submission describing existing conditions and the above-grade site alterations, there is no need to repeat the information here. Note that while much of the work will replicate existing conditions, the project does call for the following modifications:

- Introduction of 8 curbed bump-outs with planted filter beds
- Replacement of existing 6" wide curbing with new 5" curbing
- Potential replacement of radial blocks at driveway corners
- Re-setting of historic carriage steps to avoiding snow-plow damage
- Re-establishment of missing section of esplanade, including planting of additional trees
- Removal of concrete edging on inside edge of esplanade
- Widening esplanade by 6 inches throughout, with corresponding narrowing of sidewalk
- Elimination of some secondary sidewalk connections through the esplanade

Staff Comments

One of the very positive products to come out of the planning for this project has been the very thorough documentation—in photographs and written description--of the existing Deering Street streetscape. This is especially fortunate given the major role that the streetscape itself plays in defining the unique character of the Deering Street Historic District. Indeed, very few streets within Portland's various historic districts have received this kind of analysis.

In reviewing the proposed streetscape improvements, the Board's role is to ensure that the character-defining elements of the existing streetscape are preserved to the extent possible and that any new interventions, such as the planted filter beds, not unduly alter the overall historic character of the street. Regarding the proposed replacement of granite curbing, the Board may wish to consider whether wholesale replacement is necessary and/or desirable. In a number of previous reviews of streetscape improvement projects, the Board has encouraged retention of original or historic material whenever possible. New, thinner granite curbing, especially in combination with the City's new brick specification (which yields a more matte and uniform overall appearance to the sidewalk) may represent a greater departure in character than desirable.

Applicable Review Standards

See attached *Standards for Review of Streetscape and Pedestrian Improvements* from the Historic Resources Design Manual

Attachments

1. *Standards for Review of Streetscape and Pedestrian Improvements*
2. Cover letter and submission from Regina Leonard

STANDARDS: STREETSCAPE AND PEDESTRIAN IMPROVEMENTS



1. General

Retain the distinctive historic features of the streetscape, including walkways, alleys, lighting, signage, planters, landscaping, curbing, and paving that give the district its distinguishing character. Where streetscape or pedestrian improvements are proposed which were not historically a part of the site, such improvements shall be compatible with the existing historic character.

2. Pedestrian Amenities

- a. While pedestrian amenities must be compatible with the City's historic character, variations shall be permitted in order to respect the vitality and the variety of the City's different thoroughfares and neighborhoods.
- b. Different types of public spaces should respond to the following general performance criteria:
 - Historic commercial streets shall be treated simply with maximum open sidewalk space, limited obstructions on the ground, and pedestrian preference for street crossing.
 - Historic, non-commercial pedestrian streets and walks shall have a similar scale, more intimate design using textures and smaller elements that stimulate interest along the path.
 - Waterfronts were not typically pedestrian spaces in historic Portland but should be opened up to the public wherever possible due to their historic interest and value as a public amenity.

- Parking areas must be carefully designed and landscaped due to their large size and visual impact upon visitors and residents.
- Parks should play a special role in historic interpretation and provide day-time cultural activity for the District as well as relief from paved areas.

3. Streetscape

a. Paving and Planting

- a. The existing streetscape should be enriched, especially around historic buildings and heavily used pedestrian areas. Historically appropriate improvements should create some consistency while avoiding complete uniformity.
- b. Historic paving features should be retained wherever possible and incorporated into the streetscape improvements. For example, where brick sidewalks existed historically, brick shall continue as the material of choice.
- c. Subtle variations in paving patterns and materials shall be used to enrich sidewalks and plazas, such as highlighting patterns in street lights, trees, furniture, street crossings, and entryways.
- d. Planting shade trees and shrubs shall be encouraged where they would enhance the historic character and create more inviting spaces. Removal of healthy trees over 3" caliper shall be discouraged, except where they threaten existing structures or personal safety.

b. Street Furniture

- a. Placement of street furniture which is appropriate to the context, attractive, and durable shall be encouraged. Placement of furniture should be based upon careful study of how people tend to use a street.

c. Lights, Signs, and Traffic Signals

- a. Public signs shall utilize compatible graphics, colors, proportions, dimensions, and fabrication methods in order to create greater consistency and improve their compatibility with their historic setting.
- b. Street lights shall be designed to harmonize with their surroundings, and traffic signal poles and mounts shall be as unobtrusive as possible, both physically and visually.



May 27, 2014

Historic Preservation Board
Room 209 City Hall
Portland, ME 04101

RE:
DEERING STREET RECONSTRUCTION PROJECT

Dear staff and members of the Board,

I am submitting, on behalf of the Department of Public Services and our project team leader, Woodard and Curran, materials to inform the Board of the upcoming Deering Street Reconstruction Project. The City Public Services Department is currently in the design and engineering phase for the Deering Street Reconstruction Project. The project budget is approximately \$1.4 million dollars, with City Capital Improvement Program funds for street and sewer reconstruction. The primary focus of the project is to replace the failing sewer system while providing a separated, parallel storm drain system. The Portland Water District and Unitil also plan to replace their water and natural gas infrastructure, respectively. Because there will be multiple utility trenches in the roadway, the City plans to fully replace the pavement and gravel (across the full road width) to meet current City Standards. The Deering Street project introduces curb extensions with planted filtration beds to pretreat storm water and mitigate runoff. The City anticipates providing new granite curbing and sidewalk, esplanade and street tree improvements, as possible within the available funding.

The project team toured the project area with Deb Andrews this spring and incorporated her comments into the attached design documents. Engineering for the project is currently at 80% completion, with the project scheduled to go out to bid this summer. We are presenting the 80% design plans to the Historic Preservation Board to inform the Board and receive feedback on several anticipated components of the project, including storm water and streetscape elements.

Following is a brief synopsis of our inventory and assessment of the Deering Street features and character as well as descriptions of our proposed treatment strategies. Please also find attached our visual inventory of street features, which may aid in your review.

OVERALL CHARACTER

Wide, eight-foot sidewalks and grassed esplanades with established, mature street trees run along the north and south sides of Deering Street. The sidewalk width is fairly consistent along the entire corridor and balances the scale of the historic structures, many of which are three story duplexes with wide, double staircases. Driveways are typically bordered by small radius curbing pieces called "bugs." At one time portions of the esplanade were curbed with a concrete border, providing grade separation between the sidewalk and the trees, most of which are planted six inches above the sidewalk elevation. Over the years, much of the border has been removed and what remains is largely in disrepair. Mature street trees create a well-developed canopy along most of the street corridor, with the exception of the most easterly portion of Deering Street near High Street. Trees in this area are mostly under nine-inch caliper and have not developed a structural visual presence. The east portion of the block from State to High Street therefore feels more open, lacking a mature canopy.

PROPOSED TREATMENT FILTRATION BEDS

The project integrates "green" storm water components to pretreat and minimize runoff. Planted filter beds in strategically-located curbed bump-outs will gather and filter runoff. These filter beds bump-outs are proposed only in current "No Parking" areas adjacent to intersections. These beds will be slightly depressed from the street grade and fully curbed. In response to input from HP staff, plantings have been simplified and consist primarily of sedges and lower-growing ornamental grasses. Please find attached sketches and images showing typical bump-out filters.



Infiltration filters

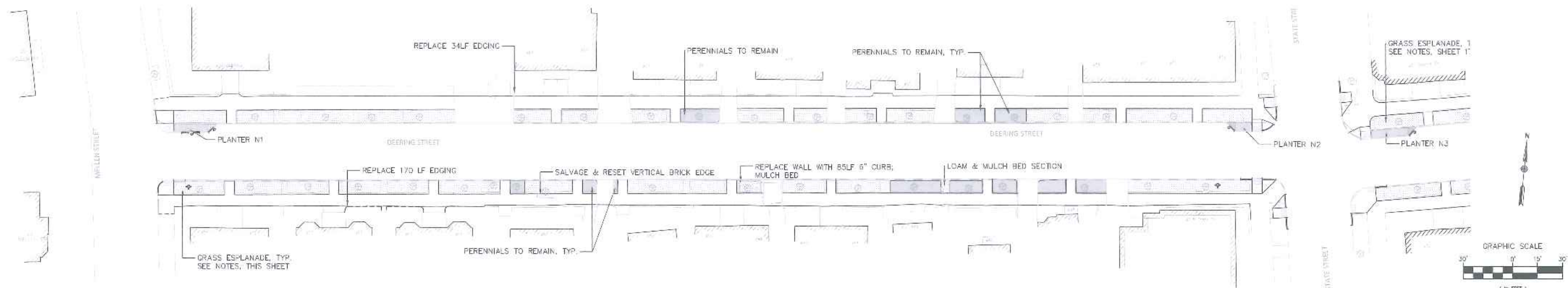
Example images



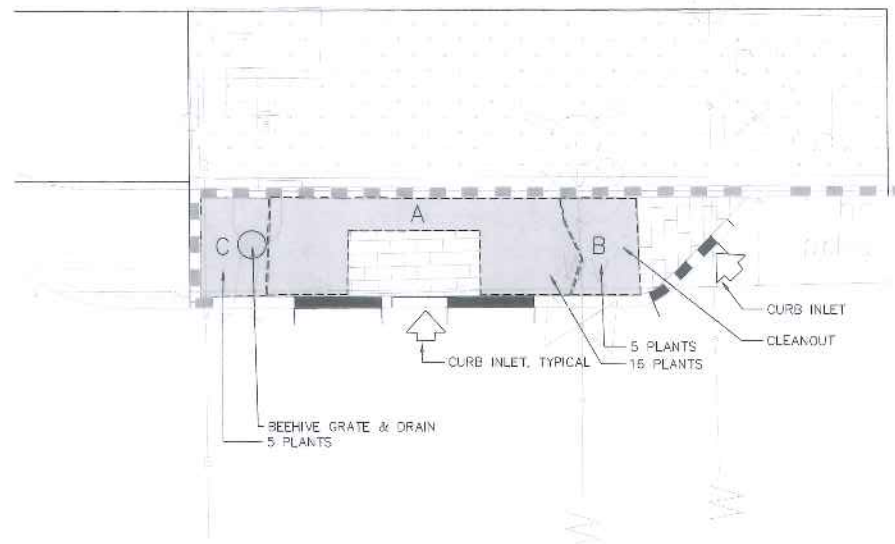
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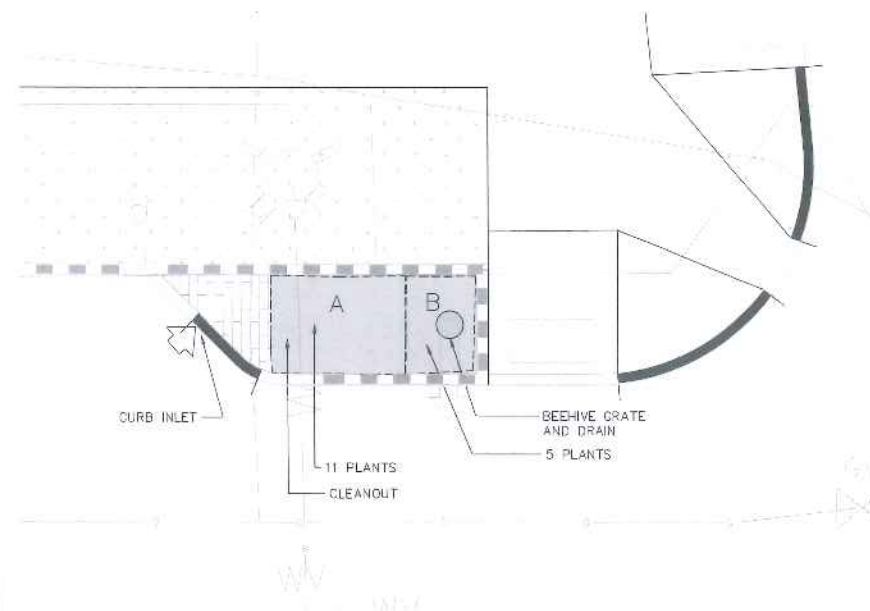
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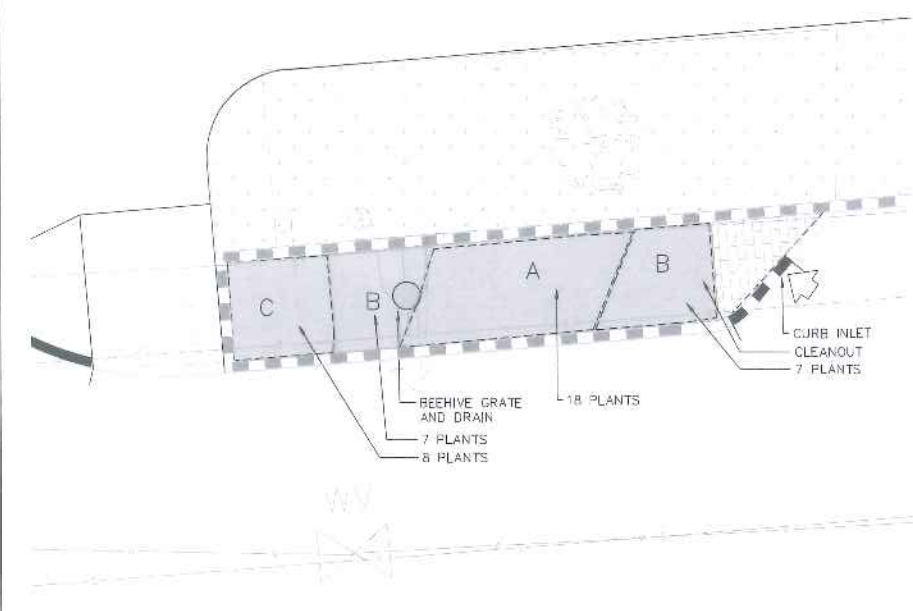
LANDSCAPE PLAN - MELLEN TO STATE STREET



STORMWATER PLANTER N1



STORMWATER PLANTER N2



STORMWATER PLANTER N3

SITE PLANTINGS

BOTANICAL NAME	COMMON NAME	SIZE/COND.
TREES		
3 Ulmus a. 'Princeton'	American Elm	2.5-3" cal.
PLANTS ZONE A		
x Carex vulpinoidea	Brown Fox Sedge	plug
x Juncus effusus	Soft Rush	plug
PLANTS ZONE B		
x Deschampsia c. 'Golden Dew'	Tufted Hair Grass	# pot
x Schizachrium s. 'Prairie Blues'	Little Bluestem	# pot
PLANTS ZONE C		
x Schizachrium scoparium 'Carousel'	Little Bluestem	# pot
x Sporobolus heterolepis	Prairie Dropseed	# pot

SEED MIXES

Lawn Mix: "Yardshaping Mix"
Supplier: Allen, Sterling & Lathrop, Falmouth, ME Tel. 207-781-4142
Application Rate: 1 lb/200 sq. ft.

REFERENCE "Plant Quantities by Planter & Zone" and "Planter Notes," this sheet.

PLANT QUANTITIES - BY PLANTER & ZONE

PLANTER N1: 22 SF	PLANTER S1: 32 SF
ZONE A: 20 PLANTS	ZONE A: 14 PLANTS
ZONE B: 5 PLANTS	ZONE B: 6 PLANTS
ZONE C: 5 PLANTS	ZONE C: 7 PLANTS
TOTAL: 30 PLANTS	TOTAL: 27 PLANTS
PLANTER N2: 42 SF	PLANTER S2: 124 SF
ZONE A: 11 PLANTS	ZONE A: 30 PLANTS
ZONE B: 5 PLANTS	ZONE B: 13 PLANTS
ZONE C: N/A	ZONE C: 16 PLANTS
TOTAL: 16 PLANTS	TOTAL: 59 PLANTS
PLANTER N3: 100 SF	PLANTER S3: 96 SF
ZONE A: 18 PLANTS	ZONE A: 23 PLANTS
ZONE B: 15 PLANTS	ZONE B: 11 PLANTS
ZONE C: 7 PLANTS	ZONE C: 13 PLANTS
TOTAL: 40 PLANTS	TOTAL: 47 PLANTS
PLANTER N4: 138 SF	PLANT QUANTITIES TOTAL
ZONE A: 33 PLANTS	ZONE A: 191 PLANTS
ZONE B: 12 PLANTS	ZONE B: 85 PLANTS
ZONE C: 11 PLANTS	ZONE C: 96 PLANTS
TOTAL: 56 PLANTS	TOTAL: 342 PLANTS
PLANTER N5: 164 SF	
ZONE A: 42 PLANTS	
ZONE B: 18 PLANTS	
ZONE C: 7 PLANTS	
TOTAL: 67 PLANTS	

PLANTING NOTES:

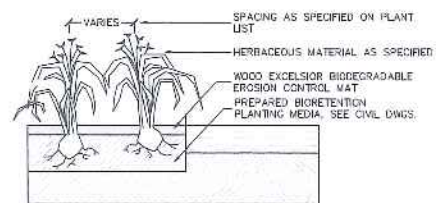
- All materials shall conform to the guidelines established by the American Association of Nurserymen.
- In the case of any discrepancies between species and quantities called out in the planting key and those shown on the plan, quantities and species shown on the plan shall over-ride.
- All planting shall be done in accordance with acceptable horticultural practices.
- All plants subject to approval by landscape architect. All substitutions must be submitted for approval by landscape architect prior to ordering or delivery of plant material on site. Landscape architect reserves the right to reject any plantings that do not conform to the drawings or specifications outlined herein.
- Landscape architect shall approve final placement of all plant materials and reserves the right to make field adjustments to plantings as necessary.
- Planting soils shall comply with the Specifications.
- No plant shall be put into the ground before rough grading has been finished and approved by the landscape architect or owner's representative.
- All plants shall be set plumb unless otherwise specified.
- Contractor shall maintain and warranty plantings in compliance with the written Specifications.
- The Contractor shall assume responsibility to ensure that all work is performed in compliance with all State and Local requirements.
- Reference specific notes for stormwater planters, this sheet.
- Features of the stormwater planters are approximate. Reference the civil plans for more information. Field adjust plantings as required.

GRASS ESPLANADE AREAS:

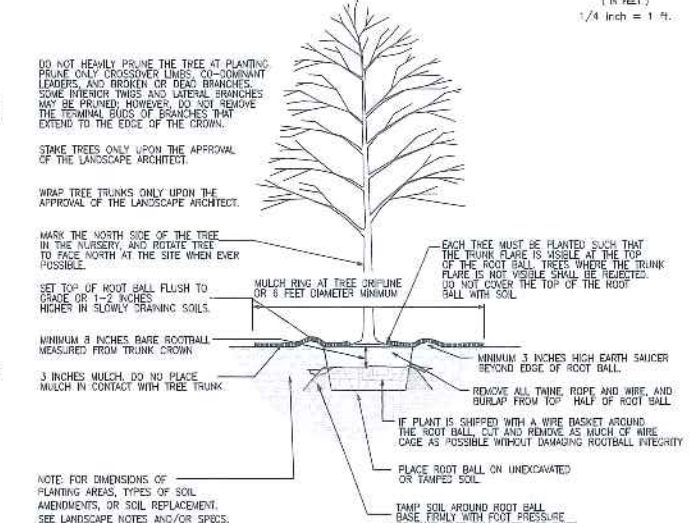
- Newly created grass esplanade areas shall be loamed and seeded. Reference the written technical specifications for direction.
- Existing grass esplanade areas to remain shall be prepared for seeding and re-seeded per the written specifications.

PLANTERS:

- Planting areas of stormwater planters shall be as designated by planting zones.
- Zones are reflective of the anticipated soil moisture during and between storm events. Zone A: OBL and semi-drought tolerant plants; Zone B: Wet-loving, semi-drought tolerant, plants. Zone C: Moisture and drought tolerant plants.
- All plants are expected to be tolerant of pollution and limited road salt. It is the Contractor's responsibility to ensure that any recommended substitutions meet these as well as the moisture requirements described herein.
- Contractor may plant single or multiple species within the specific zones of each planter. Plants in Zone A shall be in quantities of 9 or more, massed. Plants in all other zones may be in quantities of 5 or greater, massed.



HERBACEOUS PLANT INSTALLATION



STREET TREE INSTALLATION

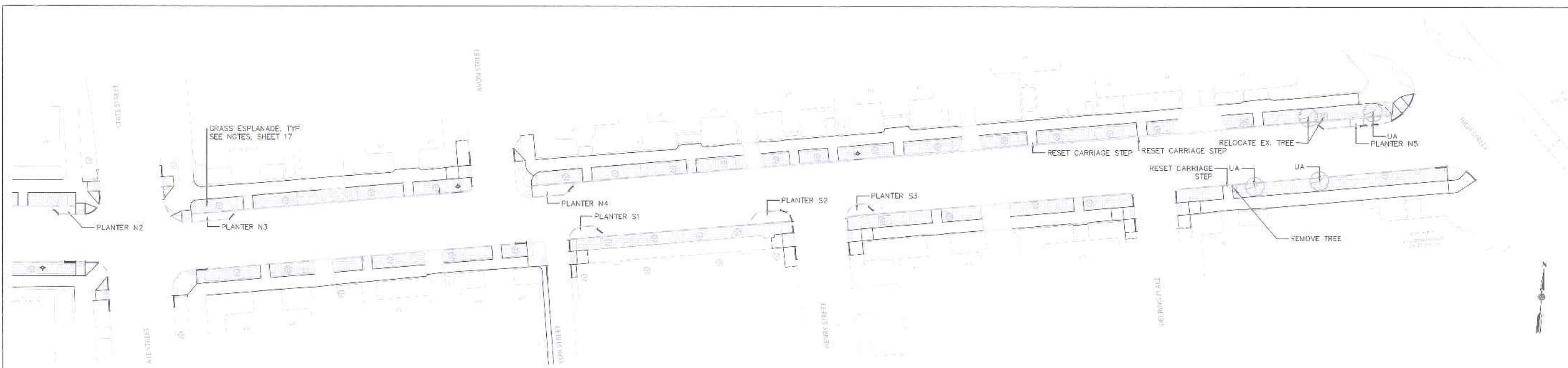
DEERING STREET SEWER REPAIR LANDSCAPE PLANS & DETAILS

CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING SECTION

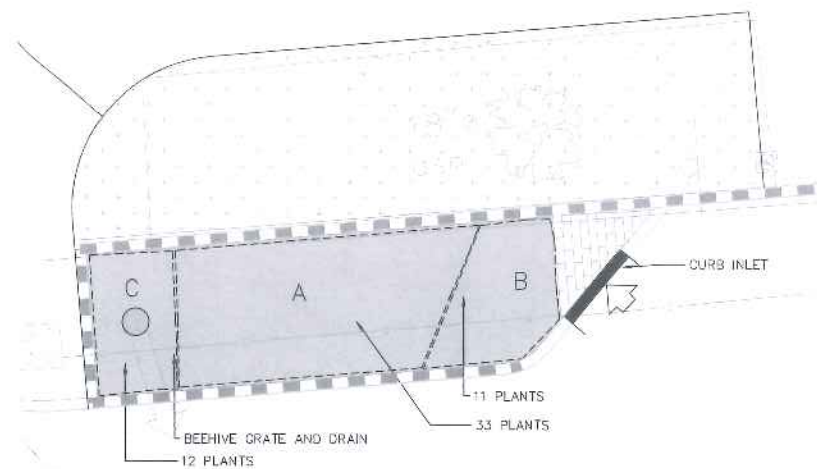
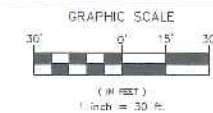


SHEET #
17 OF 18
PLAN NUMBER

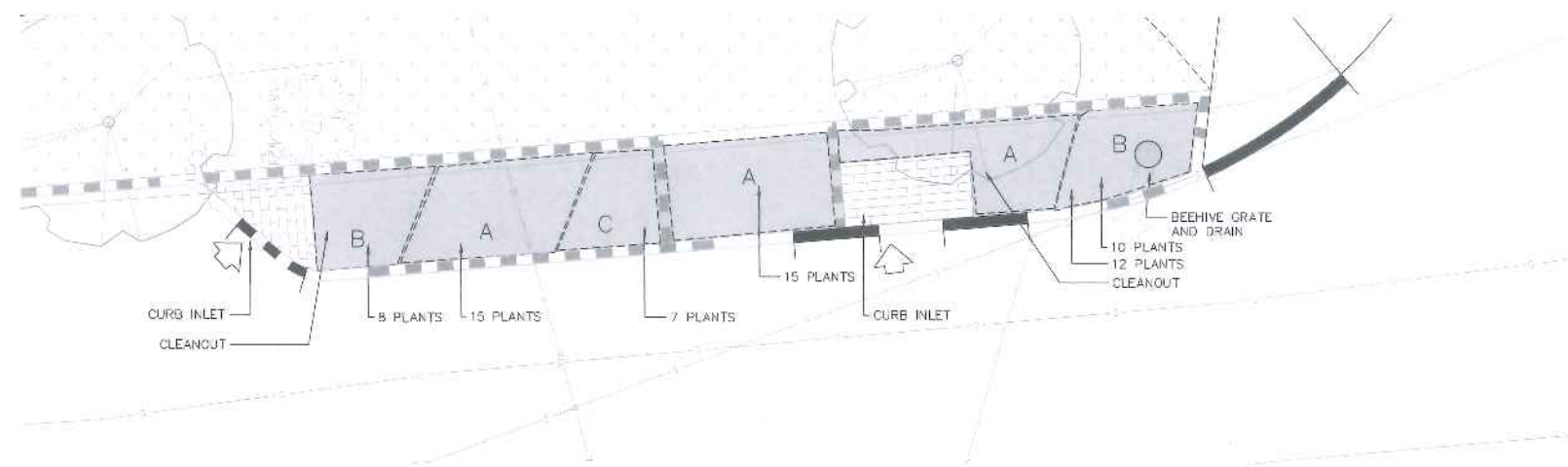
PROJECT NO. 18-05-001
PROJECT NAME: DEERING STREET SEWER REPAIR
PROJECT LOCATION: DEERING STREET, PORTLAND, MAINE
PROJECT DATE: AUG 20, 2013
PROJECT DRAWN BY: JOL
PROJECT CHECKED BY: JOL
PROJECT SCALE: 1/4" = 1'-0"
PROJECT CITY: ME, CITY
PROJECT STATE: ME
PROJECT COUNTY: ME
PROJECT ZIP: 04103
PROJECT EPOCHS: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 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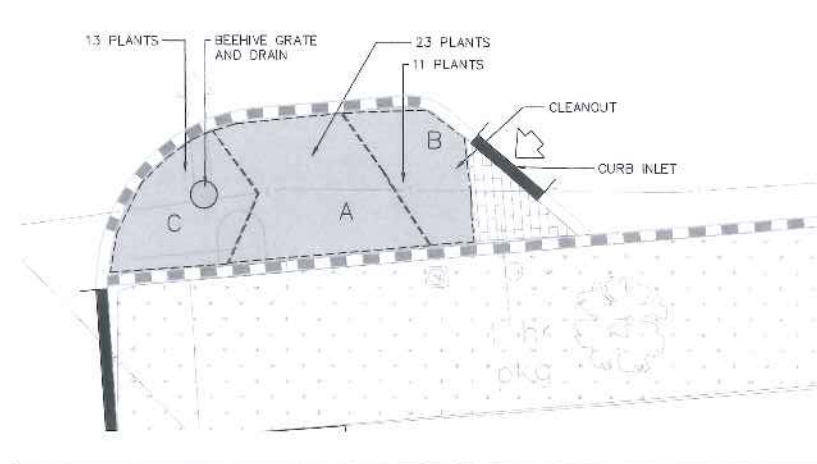
LANDSCAPE PLAN - STATE TO HIGH ST.



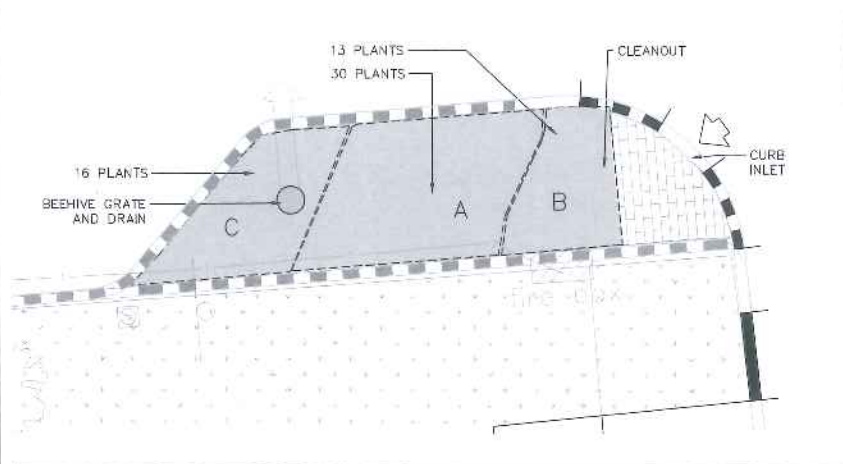
STORMWATER PLANTER N4



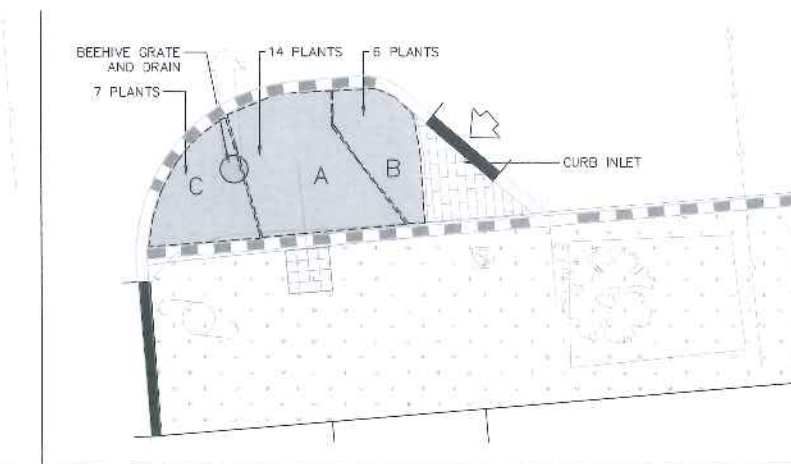
STORMWATER PLANTER N5



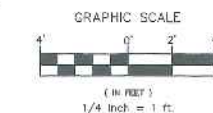
STORMWATER PLANTER S1



STORMWATER PLANTER S2



STORMWATER PLANTER S3



REFERENCES: CONFLICT SHEETS: 18, 19, 20 DATE: MAY 9, 2014 PROJECT: DEERING STREET SEWER REPAIR PROJECT LOCATION: 10000 DEERING STREET, PORTLAND, ME 04106 PROJECT NUMBER: 10000 PROJECT DATE: 10/14/13 PROJECT DESCRIPTION: DEERING STREET SEWER REPAIR PROJECT DRAWN BY: J. B. BROWN PROJECT CHECKED BY: J. B. BROWN PROJECT SCALE: AS SHOWN PROJECT DATE: MAY 9, 2014		DESIGNED BY: PROJECT: PROJECT LOCATION: PROJECT NUMBER: PROJECT DATE: PROJECT DESCRIPTION: PROJECT DRAWN BY: PROJECT CHECKED BY: PROJECT SCALE: PROJECT DATE:
DEERING STREET SEWER REPAIR LANDSCAPE PLANTS AND DETAILS STATE STREET TO HIGH STREET		
CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING SECTION		
SHEET # 18 OF 18 PLAN NUMBER		



STREET FEATURES

INVENTORY & ASSESSMENT



DEERING STREET IMPROVEMENTS PROJECT
State-to-High Street Block

Fall 2013





Image 17: Granite wall and posts
5-7 Deering Street



Image 18: Concrete driveway
3-5 Deering Street



Image 19: Granite staircase and walls
5-7 Deering Street



Image 20: Modified wall section – concrete masonry units
3 Deering Street





Image 25: Granite bug
32 Deering Street



Image 26: Walkway entrance
30-32 Deering Street



Image 27: Driveway with cobbles
30 Deering Street



Image 28: Granite wall & posts
26 Deering Street



29: Conc. edging
26 Deering Street



Image 30: Granite steps & wall
26 Deering Street



Image 36: Granite bug
Deering & Avon Streets



Image 37: Brick border at grade change
Avon Street



Image 38: Driveway & granite posts
16-20 Deering Street



Image 39: Granite wall & posts
Deering & Henry Street



Image 40: Accessible crossing
Henry Street



Image 47: Driveway & parking
12 Deering Street



48: Granite wall & post
10 Deering Street



Image 49: Granite basin
10 Deering Street



50: Entrance stairway
10 Deering Street



Image 51: Accessible crossing
Deering Place & Deering Street



Image 52: Street view of Deering Place
Deering Place & Deering Street



Image 53: Granite post & walls
6 Deering Street





STREET TREES

INVENTORY & ASSESSMENT



DEERING STREET IMPROVEMENTS PROJECT

State-to-High Street Block

Fall 2013



Tree #5



Amur Cork Tree
18" dbh., Good condition
Value: High



Tree #6



Siberian Elm
18" dbh., Good condition
Value: Medium



Tree #7



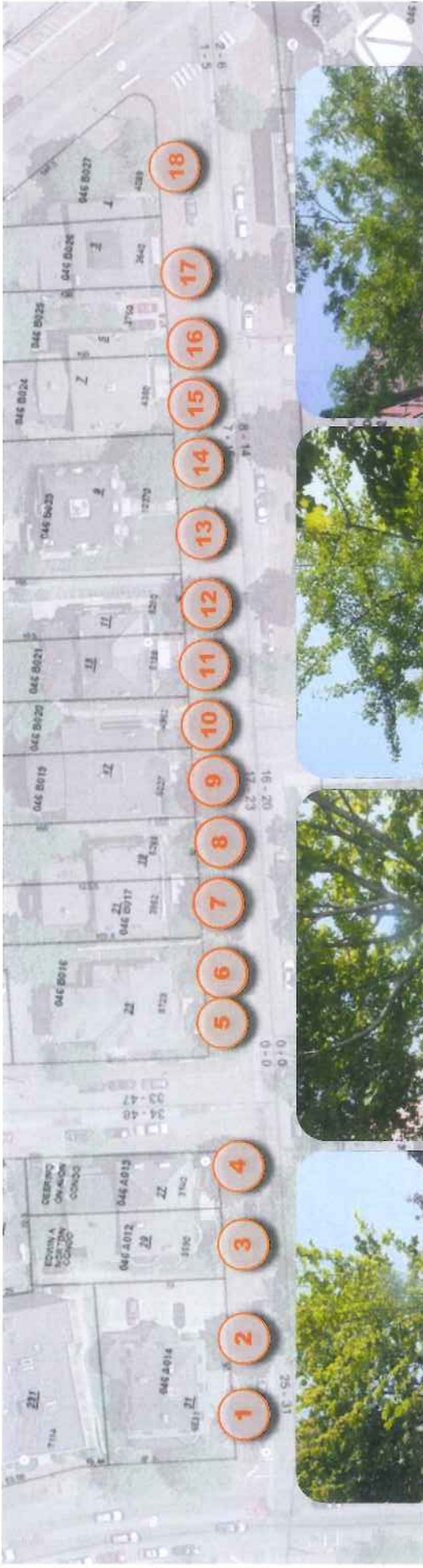
Norway Maple
15" dbh., Good condition
Value: Medium



Tree #8



Norway Maple
12" dbh., Good condition
Value: Medium



Tree #13



American Elm

4" dbh., Good condition
Value: High



Tree #14



Norway Maple

15" dbh., Fair condition
Value: Low (invasive, root girdling)



Tree #15



Ginkgo

8" dbh., Good condition
Value: high



Tree #16



Honey Locust

6" dbh., Good condition
Value: High



Tree #19



Tree #20



Tree #21



Tree #22



Lacebark Elm
8" dbh., Good condition
Value: High



Norway Maple
12" dbh., Fair condition
Value: Low (Invasive, root girdling)



Norway Maple
15" dbh., Good condition
Value: Medium



Hedge Maple
4" dbh., Good condition
Value: High



Tree #27

Bradford Pear

8" dbh., Good condition

Value: Medium (weak structure)



Tree #28

Japanese Lilac

4" dbh., Good condition

Value: High



Tree #29

American Elm

18" dbh., Fair condition

Value: Medium



Tree #30

Ginkgo

6" dbh., Good condition

Value: High



TREES – By Value (Deering Street)



Key – Tree values

● High value

● Medium value

● Low value



View A

North side of Deering Street,
Facing West toward Avon Street



View B

North side of Deering Street,
Facing East toward High Street



View C

South side of Deering Street,
Facing East toward High Street



View D

South side of Deering Street,
Facing East near State Street



STREET FEATURES

INVENTORY & ASSESSMENT



DEERING STREET IMPROVEMENTS PROJECT

Mellen to State Street Block

Spring 2014



Image 8: Coping
43 Deering Street



Image 7: Wood staircase & entry
43 Deering Street



Image 9: Ornate entrance
43 Deering Street



Image 10: Driveway
43 Deering Street



Image 11: Granite coping
45-47 Deering Street



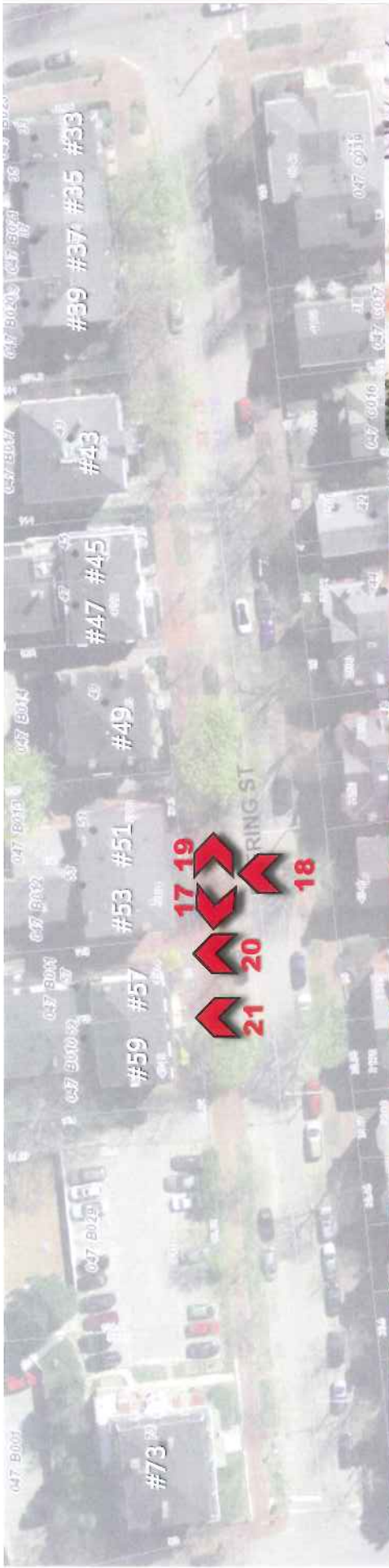


Image 17: Street view facing NW
51-53 Deering Street



Image 18: Granite staircase with urns
51-53 Deering Street



Image 19: Granite wall & plantings
51-53 Deering Street



Image 20: Driveway
51-53 & 57-59 Deering Street



Image 21: Granite staircase & entrance
57-59 Deering Street

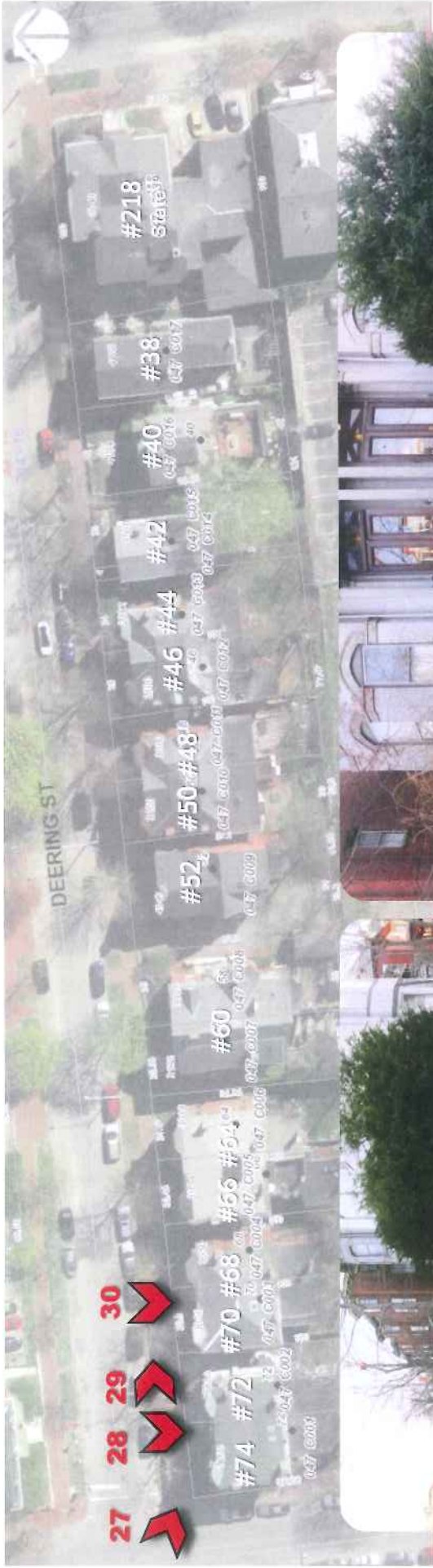


Image 27: Accessible crossing
Deering Street & Mellen Street



Image 28: Granite staircase entrance
72-74 Deering Street



Image 29: Granite wall & concrete edging
70 Deering Street



Image 30: Granite steps & wall
68-70 Deering Street



Image 37: Granite wall & posts
58-60 Deering Street



Image 36: Granite wall & entrance stairs
58-60 Deering Street



Image 38: Granite steps & wall
58-60 Deering Street



Image 39: Driveway & entrances
52 & 58 Deering Street



Image 40: Driveway & granite posts
52 Deering Street



Image 47: Granite walls & plantings
44 Deering Street



Image 46: Granite steps - entrance
44-46 Deering Street



Image 48: Street view of Deering Place
Deering Place & Deering Street



Image 49: Granite post & walls
6 Deering Street



STREET TREES

INVENTORY & ASSESSMENT



DEERING STREET IMPROVEMENTS PROJECT
Mellen to State Street Block

Spring 2014



Tree #5



Norway Maple
15" dbh., Good condition
Value: Medium (invasive)



Tree #6



Armstrong Red Maple
18" dbh., Good condition
Value: High



Tree #7



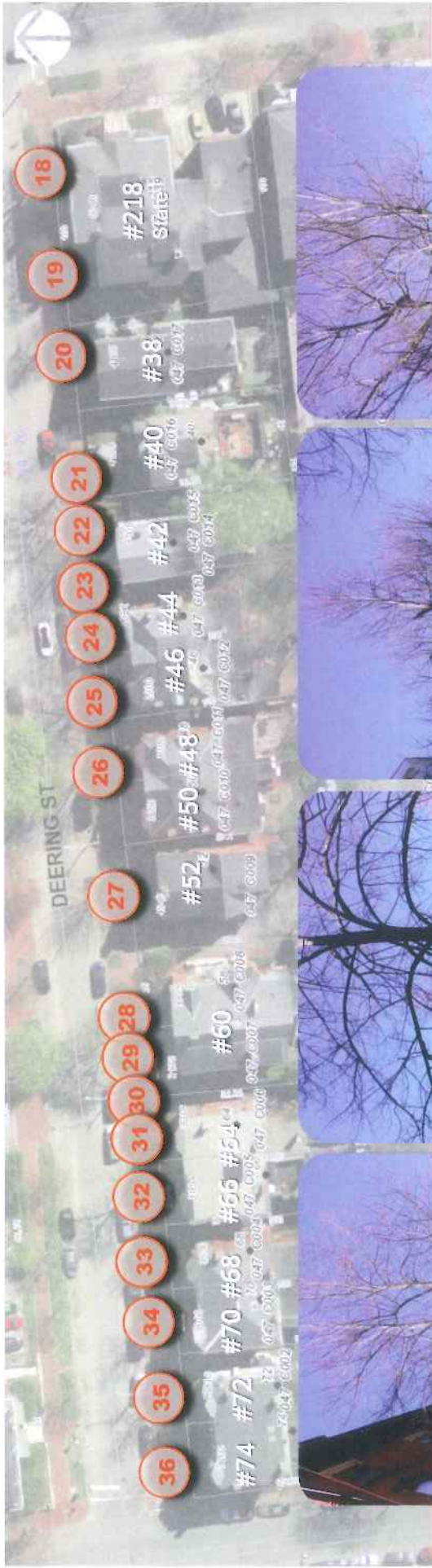
Red Maple
8" dbh., Good condition
Value: High



Tree #8



Norway Maple
12" dbh., Good condition
Value: Medium (invasive)



Tree #18



Linden

22" dbh., Fair condition
Value: Medium (root girdling)



Tree #19



Linden

16" dbh., Fair condition
Value: Medium (root girdling)



Tree #20



Linden

16" dbh., Good condition
Value: High

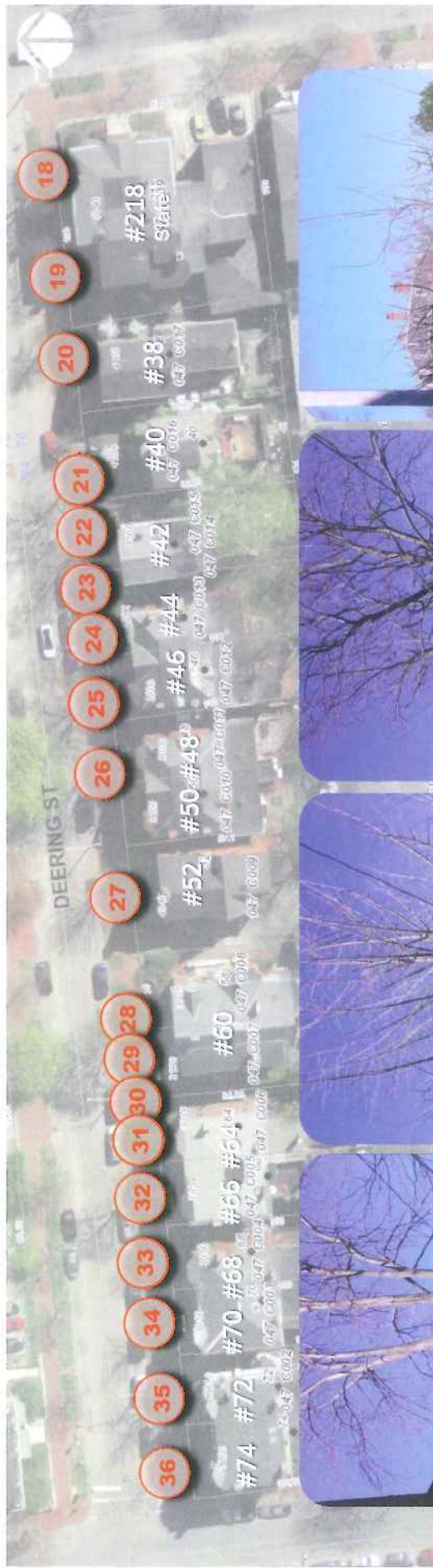


Tree #21



Elm

8" dbh., Good condition
Value: High



Tree #26



Tree #27



Tree #28



Tree #29



Linden

24" dbh., Good condition
Value: High



Ginkgo

12" dbh., Good condition
Value: High (Root zone space)



Norway Maple

24" dbh., Good condition
Value: Medium (invasive)



Crabapple

2" dbh., Good condition
Value: Low (scale)



Ginkgo
7" dbh., Good condition
Value: High



Norway Maple
12" dbh., Good condition
Value: Medium (invasive)



Norway Maple
12" dbh., Good condition
Value: Medium (invasive)