

1. Legal Ad

Documents: [10-15-14 LEGAL AD.PDF](#)

2. Agenda

Documents: [10-15-14 AGENDA.PDF](#)

3. 97 State Street

Documents: [HP MEMO - 97 STATE STREET.PDF](#)

4. Eastern Promenade Historic Landscape District

Documents: [HP MEMO - EASTERN PROMENADE.PDF](#)

5. 163 Danforth Street

Documents: [HP MEMO - 163 DANFORTH STREET.PDF](#)

6. 70-72 Emery Street

Documents: [HP MEMO - 70-72 EMERY STREET.PDF](#)

**LEGAL ADVERTISEMENT
HISTORIC PRESERVATION BOARD
CITY OF PORTLAND
Public comments will be taken at all meetings**

On Wednesday, October 15, 2014 at 5:00 p.m., the Portland Historic Preservation Board will meet in Room 209 to review the following items:

1. PUBLIC HEARING

- i. Certificate of Appropriateness for Porch Alterations; 97 STATE STREET; Mercy Hospital, Applicant.
- ii. Certificate of Appropriateness for Community Garden Installation; EASTERN PROMENADE HISTORIC LANDSCAPE DISTRICT; Cultivating Community, Applicant.

Break for Dinner; Meeting Resumes at 7:15

2. PUBLIC HEARING continued

- iii. Certificate of Appropriateness for Exterior and Site Alterations; 163 DANFORTH, Tempo Dulu LLC., Applicant
- iv. Certificate of Appropriateness for Window Replacement; 70-72 EMERY STREET; Port Resources, Inc.

**Contact the Department of Planning and Urban Development, Planning Division, 874-8726 for further information. To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date:
<http://www.portlandmaine.gov/historic.htm>**

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Scott Benson, Vice Chair
Ted Oldham
Penny Pollard
Julia Sheridan
John Turk
Bruce Wood

HISTORIC PRESERVATION BOARD AGENDA **October 15, 2014 5:00 p.m.** **Room 209, City Hall**

Public comment is taken at all meetings.

- 1. ROLL CALL AND DECLARATION OF QUORUM**
- 2. COMMUNICATIONS AND REPORTS**
- 3. REPORT OF DECISIONS of October 1, 2014:**

- i. Certificate of Appropriateness for Exterior Alterations; 522 CONGRESS STREET (FREE STREET ELEVATION); Maine College of Art, Applicant. *The Board voted unanimously to approve the application, subject to conditions.*
- ii. Certificate of Appropriateness for New Window Opening with Applied Graphics; 79-85 COMMERCIAL STREET; Olympia Companies, Applicant. *The Board voted unanimously to approve the application, subject to conditions.*
- iii. Public Hearing and Formal Recommendation Regarding Nomination of House Island as a Local Historic District; HOUSE ISLAND; Nomination initiated by Historic Preservation Board Members Penny Pollard and Bruce Wood. *The Board voted 6-0 (Turk absent) to recommend to the Planning Board and City Council that House Island be designated a local historic district based on findings that it meets the designation criteria of the historic preservation ordinance (Article IX of the Land Use Code.)*

4. PUBLIC HEARING

- i. Certificate of Appropriateness for Porch Alterations; 97 STATE STREET; Mercy Hospital, Applicant.

5. WORKSHOP

- i. Preliminary Review of Proposed Community Garden Installation; EASTERN PROMENADE HISTORIC LANDSCAPE DISTRICT; Cultivating Community, Applicant.

Break for Dinner; Meeting Resumes at 7:15

6. WORKSHOP, continued

- ii. Certificate of Appropriateness for Exterior and Site Alterations; 163 DANFORTH, Tempo Dulu LLC., Applicant.

(Continued)

7. PUBLIC HEARING

- i. Certificate of Appropriateness for Window Replacement; 70-72 EMERY STREET;
Port Resources, Inc., Applicant.

**Contact the Department of Planning and Urban Development, Planning Division,
874-8726 for further information. To access agenda materials on-line, please visit the following web address on or
after the Friday preceding the meeting date: <http://www.portlandmaine.gov/AgendaCenter>**

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
97 STATE STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: October 8, 2014

RE: October 15, 2014 Public Hearing

Application For: Certificate of Appropriateness for porch replacement and porch roof addition

Address: 97 State Street

Applicant: Mercy Hospital (Gary's House, tenant)

Property Manager: Dirigo Management Company

Architect: David Lloyd, Archetype Architects

Introduction

At the request of property owner Mercy Hospital, architect David Lloyd has submitted a proposal for the replacement of an existing side porch at 97 State Street. The subject porch is located off a rear ell, behind the principal structure. Given the distance between the subject structure and its abuttor to the south, the rear ell and its side porch are clearly visible from the street. The proposal calls for reducing the current depth of the porch and replacing the railing system and skirting to be more in keeping with traditional porch details. The project also calls for introducing a roof structure with supporting columns over a portion of the porch. In fact, the desire for a porch roof was the motivating factor for the project. Representatives of Gary's House, which occupies the Mercy-owned building, have long expressed a desire for covered access to the subject entrance, as this entrance is the one typically used by those staying at Gary's House.

Enclosed for the Board's review are elevations and details of the proposed porch and roof structure as well as photographs of the existing porch.

Subject Structure, Background

97 State Street is the southerly half of an 1833 brick double house. An outstanding example of late Federal architecture, the building has retained most of its character-defining features notwithstanding a number of alterations over time.

In 2003, the Historic Preservation Board approved the construction of the side porch currently proposed for reconstruction. Prior to that time, a simple set of stairs and landing led to the entrance off the south elevation of the ell. The 2003 project included the introduction of a handicap lift at the back of the ell (housed in a gabled building addition). The lift provided access from the parking lot to the elevated porch structure, which wrapped around the rear corner of the ell and leading to the entry door on the ell's south elevation. The final construction of the ell was not entirely consistent with the drawings submitted for review and approval, especially with respect to some of the finer details of the porch railing and skirting.

Proposed Porch Reconstruction and Roof Addition, Staff Comments

As the proposed scope of work is fairly straightforward, there is no need to describe it in detail here.

Following are staff's comments or questions regarding the application:

- Note that the replacement porch is 10 inches narrower than the existing. Staff suggested that reducing the width of the porch would help make it more recessive.
- While it appears that the porch roof will be installed above the segmental arches over the ell's windows and doors, the Board might wish to confirm the position of the roof and whether there will be any impact on the brick lintels. Under Standard #10 (see below), every effort should be made to ensure that alterations or additions are reversible, leaving the original historic form and features intact.
- The proposal calls for a number of the porch and roof trim elements to be constructed in PVC. While the use of PVC has not been encouraged on visually prominent architectural features, the Board will want to consider whether the use of PVC is acceptable in this instance, where the porch is located a considerable distance from the street.
- In staff's view, the framing around the lattice panels in the porch skirting is too narrow. The width of the vertical members, for example, should correspond to the width of the porch columns above.

Applicable Review Standards

- (1) *Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.*
- (5) *Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize a structure, object or site shall be treated with sensitivity.*
- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be*

differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.

- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Motion for Consideration

On the basis of plans and specifications submitted by the applicant for the 10-15-14 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed porch replacement and porch roof addition **meet (fail to meet)** the historic preservation ordinance review standards, specifically Standards....., (subject to the following conditions.....)

Attachments

1. Application
2. Photos of existing conditions
3. Plans, elevations & details

Att. 1



Date: 9/17/14

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

97 State Street

CHART/BLOCK/LOT: _____ (for staff use only)

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

Adding a porch

CONTACT INFORMATION:

APPLICANT

Name: Roger Beesley
Address: Dirigo Management Company
One City Center
Portland, Maine
Zip Code: 04101
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: Roger@dirigomgmt.com

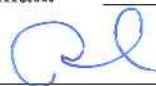
BILLING ADDRESS

Name: Dirigo Management Company
Address: One City Center
Portland, Maine
Zip: 04101
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: Roger@dirigomgmt.com

CONTRACTOR

Name: _____
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____



Applicant's Signature

PROPERTY OWNER

Name: Dirigo Management Company
Address: One City Center
Portland, Maine
Zip Code: 04101
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: Roger@dirigomgmt.com

ARCHITECT

Name: Archetype Architects
Address: 48 Union Wharf
Portland, ME
Zip: 04101
Work #: (207) 772-6022
(207) 831-8627
Cell #: _____
Fax #: (207) 772-4056
Home: _____
E-mail: lloyd@archetypepa.com

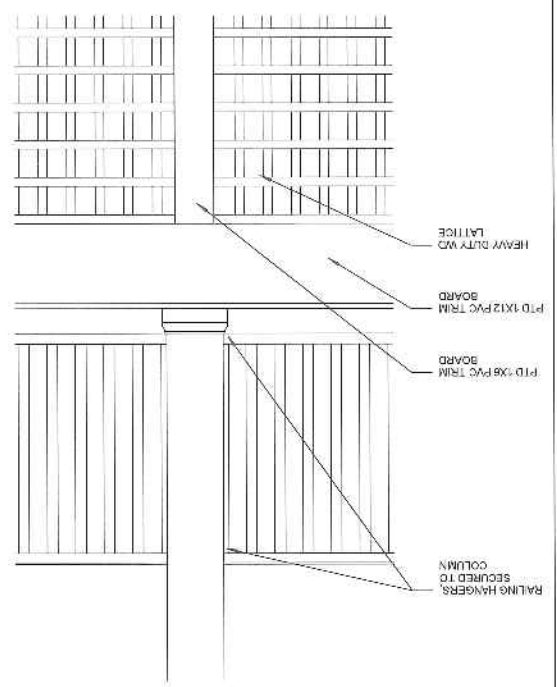
Owner's Signature (if different)



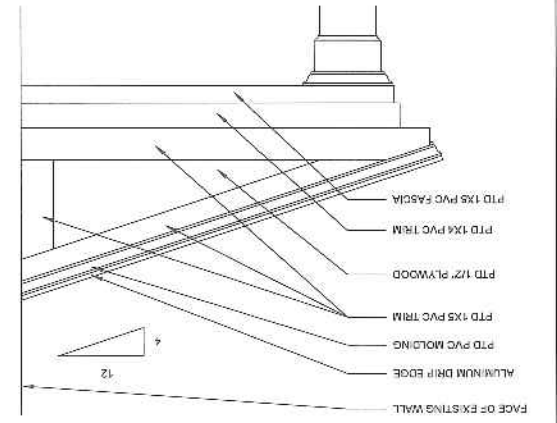


Att. 3

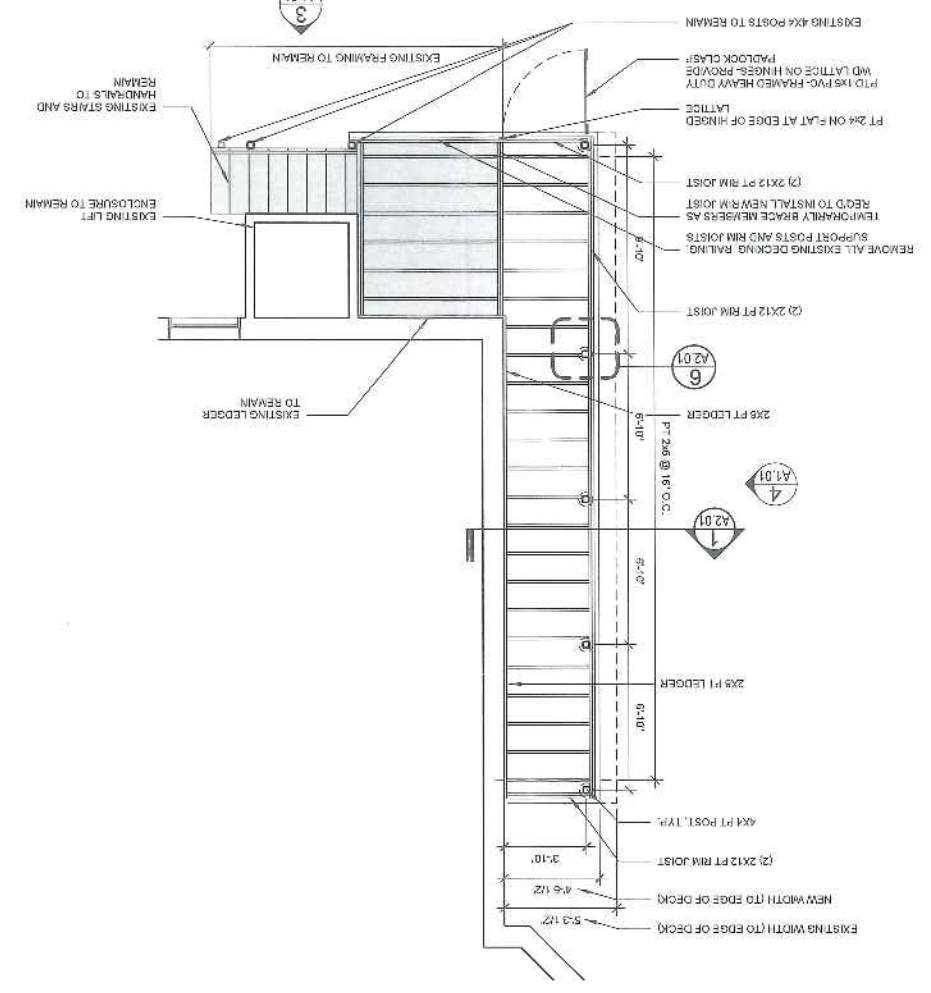
5 RAILING ELEVATION DETAIL



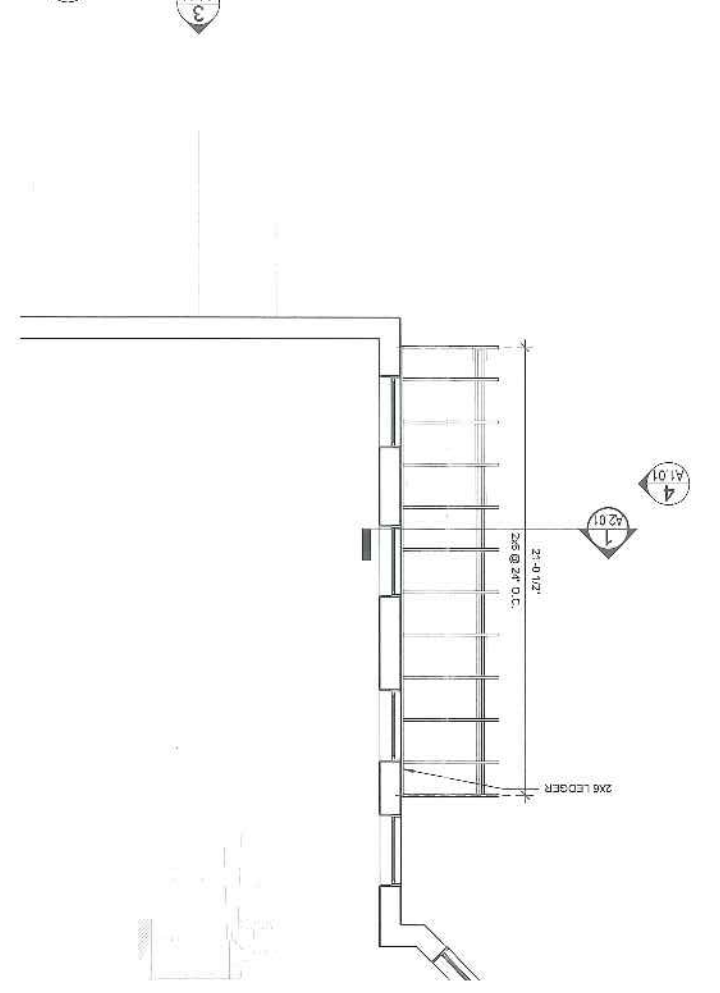
6 PORCH ROOF ELEVATION DETAIL



2 PORCH FRAMING PLAN



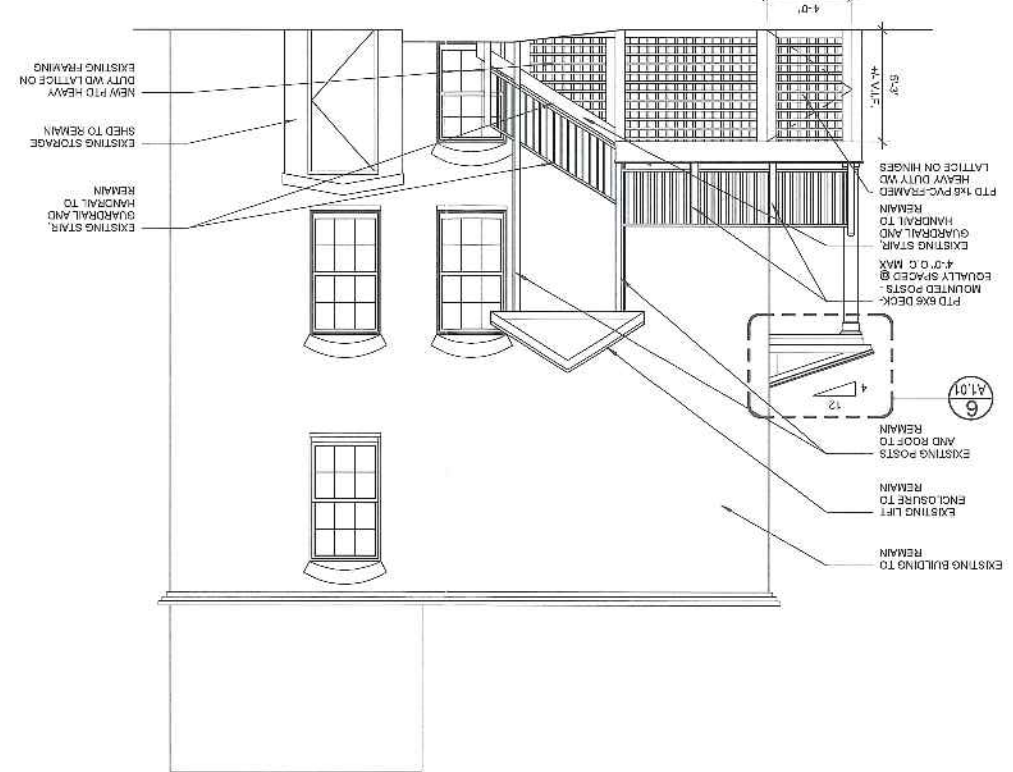
1 PORCH ROOF FRAMING PLAN



4 EAST ELEVATION



3 NORTH ELEVATION



A1.01

Date: 10/09/2014
Scale: As indicated
Project: 97 State Steel Porch
97 State Street, Portland, ME

Architect: ARCHETYPE architects
48 Union Wharf, Portland, Maine 04101
(207) 773-8022 ARCHTYPE@ARCHTYPEPC.COM

Consultant: Mercy Hospital

STATE OF MAINE
LICENSED ARCHITECT
DAVID LLOYD
NO. 938

Diagram illustrating the cross-section of a wall structure, showing various components and their reference points:

- PT WD COLUMN - REFERENCE DETAIL 7 THIS SHEET
- PT WD HEAVY DUTY LATTICE
- CONTINUOUS PT 2x4
- PT 2x4 AS REQ'D TO SUPPORT BASE OF LATTICE
- POST BASE - REFERENCE DETAIL 7 THIS SHEET
- PTD 1x6 TRIM BOARD
- GRADE (ELEVATION VARIES)

[illegible]

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
EASTERN PROMENADE HISTORIC LANDSCAPE DISTRICT**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: October 10, 2014

RE: October 15, 2014 WORKSHOP – Preliminary Review of Proposed Community Garden

Address: Eastern Promenade Historic Landscape District
(vicinity of tennis and basketball courts)

Applicant: Department of Public Services, Parks Division, represented by Troy Moon
Cultivating Community, represented by Craig Lapine

Introduction

The Department of Public Services' Parks Division and local organization Cultivating Community have requested a workshop to solicit Board feedback on their proposal to establish a community garden on the Eastern Promenade. Cultivating Community has received a grant to establish a new garden and having considered several potential locations, the organization has determined that a location behind the tennis and basketball courts on the Eastern Promenade provides the best conditions. Also, based on a survey of community interest, the greatest demand for garden plots is among East End residents.

As the proposed site is located within the Eastern Promenade Historic Landscape District, the Board will need to determine whether the introduction of a community garden is generally compatible with the intended landscape character of the Promenade, in particular the specific area of the Prom affected by the project. If the Board can support the general proposal of locating a garden within this section of the Prom, the Board will also need to consider the details of the installation.

Eastern Promenade Historic Landscape District, 2004 Master Plan

The Eastern Promenade is Portland's signature historic public landscape. Laid out according to a plan prepared by the Olmsted Brothers in 1905, the park still retains—despite the loss of some of its historic landscape elements and the introduction of other incongruous features--the essential characteristics of an Olmsted-designed park. The Eastern Promenade was listed in the National Register in 1989 and designated a local Historic Landscape District in 1990. In

2004, the City commissioned the Walter Kluesing Design Group, a firm with expertise in historic landscapes, to prepare a Master Plan to guide future improvements within the park. The master plan documents the original intended landscape character of the park as envisioned in the 1905 Olmsted plan, identifies specific areas where the intended character has been compromised over time, and provides specific and prioritized recommendations for the park's rehabilitation. The plan acknowledges that just as the park has accommodated changing needs over time, it will likely continue to be called upon to accommodate change. The purpose of the master plan is to provide guidance regarding the degree of alteration the park can reasonably support and the manner in which proposed changes can be successfully accommodated within the historic landscape. The master plan provides the framework for discussion as City staff, public review Boards and outside interest groups consider proposals for additional changes. The Friends of the Eastern Promenade, which was established after the adoption of the Plan, has been working (very successfully) to implement the recommendations in the Master Plan.

Enclosed for the Board's reference are excerpts from the 2004 Eastern Promenade Master Plan that address this area of the park. As you will note, the original Olmsted Plan accommodated both active and passive recreational uses. In comparing the Olmsted plan with the existing conditions plan, the recreational uses have become much more structured than originally envisioned, but are still concentrated in a fairly contained section of the Promenade. Note that the master plan recommends further consolidating the recreational facilities and reorienting the basketball and tennis courts when the time comes for their replacement. (It appears that the courts are currently in good condition and that reorienting these features is not be undertaken in the near future.)

Proposed Garden Installation

The applicants have provided a very thorough description and illustrations of the proposed installation—see attached.

Staff Comments

As you will note, the 2004 Master Plan did not envision the introduction of a community garden within this section of the Eastern Promenade. It did, however, recommend expansion of the existing community garden along North Street. (The Eastern Promenade extends to include a section of land below North Street.) Consistent with the recommendation of the Master Plan, this community garden has been expanded—twice, in fact—and there is no room for further expansion.

Although the Master Plan does not envision a community garden in the proposed area and in fact recommends reorienting the basketball and tennis courts (which are located immediately in front of the proposed garden) at such time they need replacement, the Board is nonetheless being asked to consider the relative merits and visual impact of a community garden in this location. While the introduction of a community garden in the proposed location would likely affect the ability to reorient the courts, it is unlikely that the courts will be replaced or reoriented in the foreseeable future. In reviewing this proposal, the Board is encouraged to consider whether the proposed use, while not anticipated in the 2004 Master Plan, is generally compatible with the landscape character of this area of the Eastern Promenade and would not unduly compromise implementation of key aspects of the plan.

In staff's view, a community garden in this location would not materially impact the key character-defining features of the Eastern Promenade. As proposed, it is located outside the open landscape to the east, screened effectively from the roadway by the current courts and contained within the outer limits of the courts. Provided the community garden is limited to the area proposed (which could be achieved in a condition of approval) and any fencing, structures or other features are recessive in character, staff is supportive of the request.

Applicable Review Standards

- (1) *Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.*
- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Attachments

- 1. Project description, site plan of proposed garden and photographs
- 2. Excerpts from 2004 Eastern Promenade Master Plan



Att. 1

Date: October 8, 2014

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

Eastern Promenade @ Melbourne Street

CHART/BLOCK/LOT: 005E008

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

The City of Portland seeks to establish a new community garden on the Eastern Promenade in an area directly behind the tennis courts. We believe this use is consistent with historic and current uses of the park. Agricultural uses of the Eastern Prom predate establishment of the park. The 2004 Eastern Promenade Master Plan notes that "[p]rior to public interest in this site, it was primarily pasture land" (p. 14) and goes on enshrine community gardens as an accepted and highly sought-after use of park land (p. 40). The Master Plan notes the waiting list for gardens among Portland residents. This remains true ten years later despite the fact that the garden expansion recommended in the Master Plan (p. 44) was successfully completed. The proposed garden is a direct response to high citizen demand—especially among residents of Munjoy Hill.

Our intent is to locate the proposed garden entirely behind the existing fence surrounding the tennis and basketball courts, which measures 235' along the street and stands 10' tall. (See figure 1) No structures in the proposed garden would exceed 8' in height.

As shown in Figure 2, the design would consist of two distinct sections separated from each other by a gap that mimics a gap in the fence along the street. This spacing is to preserve the view corridor from the street. A group of 40 individual garden plots would be located behind the tennis courts and be

surrounded by a 4' wooden fence similar to the one at the North Street Garden. (See photo 1) This area would also include a tool storage shed similar to the one at North Street which is 8'x10' and 8' tall. A smaller area behind the basketball courts would be dedicated for "plant a row" gardening, where people would work cooperatively as opposed to on their own individual plot. There would not be a fence around this section of garden.

On the northern corner of the garden, we propose a small orchard that would be tended by gardeners. We would specify an appropriate species of dwarf heirloom trees in consultation with an expert such as John Bunker of Maine Organic Farmers and Growers Association. Anticipated full height of these trees would be 15'

Access to the garden would occur at the existing curb cut which is at the intersection of Eastern Promenade and Montreal St. This is at the north end of the tennis courts. Vehicle access would be restricted to City vehicles only that are actively engaged in maintenance or delivery of materials such as compost or wood chips. It is anticipated that most gardeners will live in the neighborhood and will walk to the garden.

Please find the enclosed photographs of the existing condition. The goal of the garden design is to preserve this condition with no further disruption of view.

We look forward to discussing our proposal with the Board and answering any questions you may have.

Proposed Community Garden Eastern Promenade Figures and Photographs

City of Portland
Department of Public Services

10/9/2014

Figure 1 - Location



Figure 2 – Concept Sketch



EASTERN
PROMENADE
COMMUNITY
GARDEN
PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects
217 Commercial Street Portland, Maine 04101
207.772.1512 carroll@carroll-associates.com

No. Date Revision

Drawing Set
CONCEPT PLAN

Drawn:
MP
Checked:
PC
Approved:

Drawing Title

SITE
CONCEPT
PLAN

Job Number

Date: 02/20/2016 Scale: 1" = 20'-0"
Drawing Number

L-1.0

© 2016 CARROLL ASSOCIATES

Photo 1 – North St. Fence and Shed



Photo 2- from street



Photo 3 – from street



Photo 4 – From sidewalk, south of
courts



Photo 5 –from park, south of courts



Photo 6 – view back toward street
from northern corner

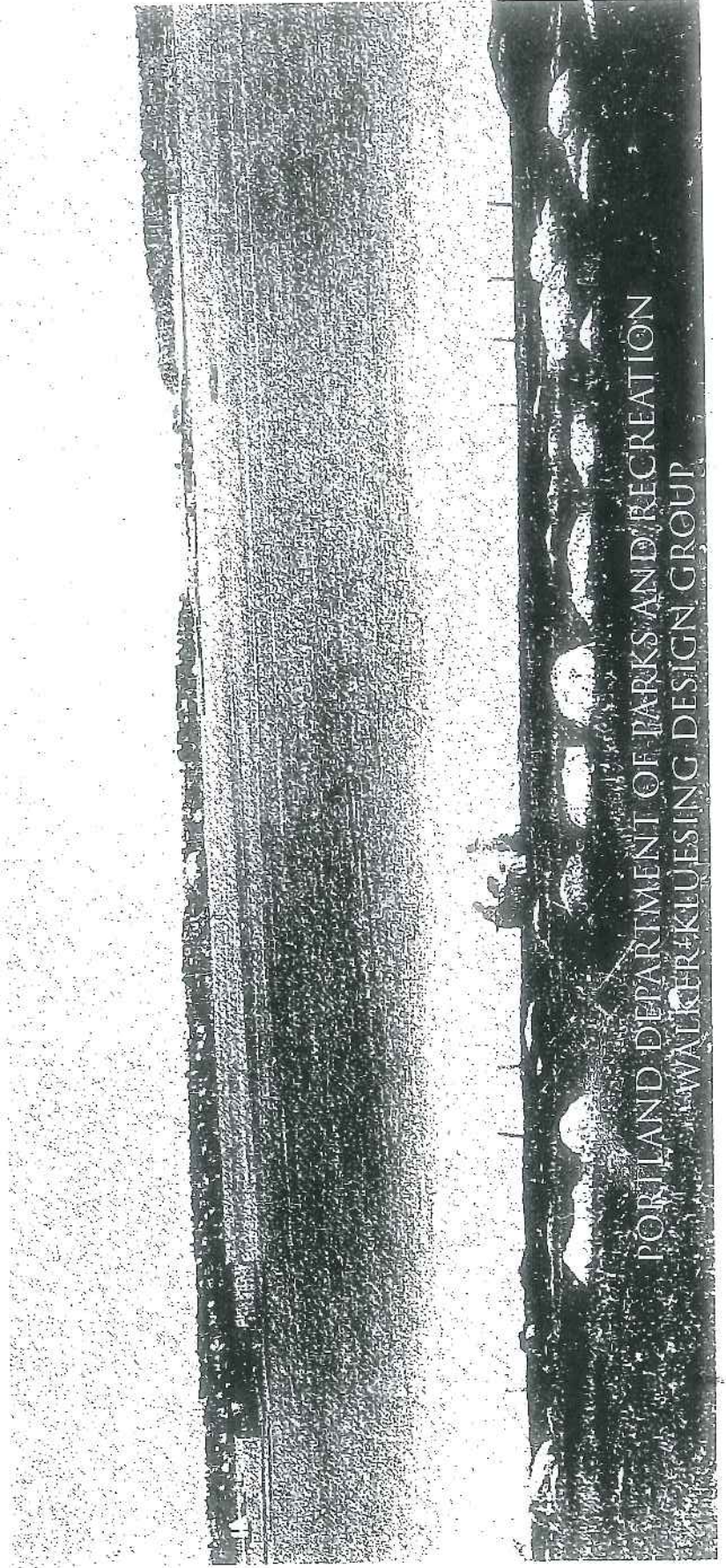


Jaen

EASTERN PROMENADE MASTER PLAN

- PORTLAND, MAINE -

"The park is the garden of the people, and whoever learns to make the best use of it will find ample suggestions of paradise."
Portland Commissioners of Parks, Cemeteries and Public Grounds, 1895

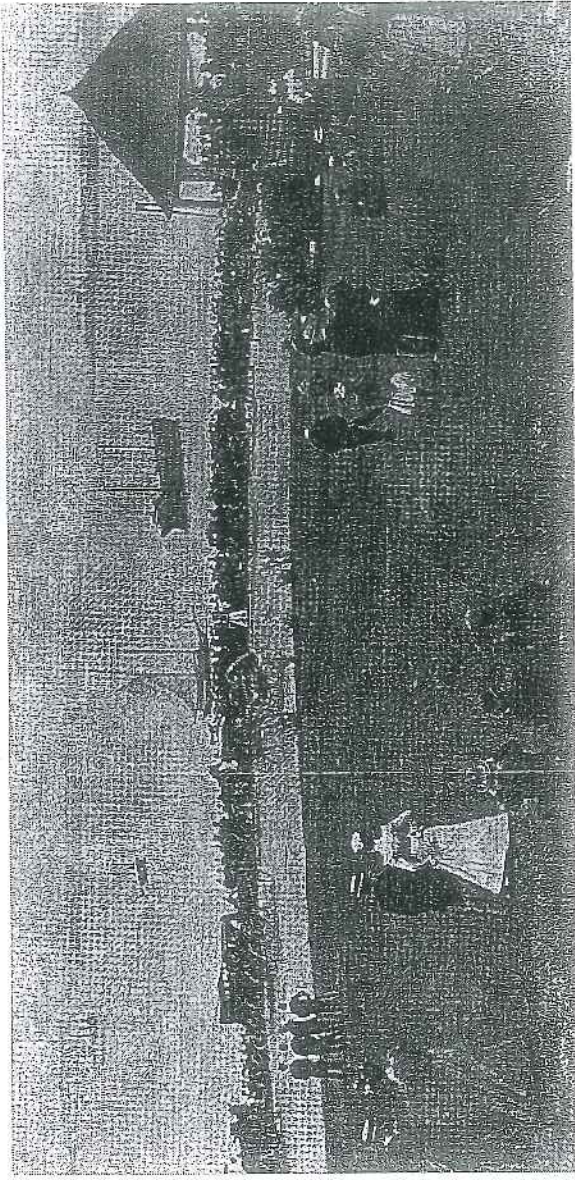


PORTLAND DEPARTMENT OF PARKS AND RECREATION
WALKER KLUESING DESIGN GROUP

Att 2

In March of 1885, speaking about public parks and the new commission that was about to be appointed, Mayor John W. Deering stated

"It is hoped that this board will become a power that will protect and preserve for Portland, the great natural beauties of sea and landscape which nature has bestowed upon our city. We all see the necessity of guarding with a jealous eye these inestimable treasures, which no other city in New England possesses in such variety."



Fort Allen, late 1800s
[Blethen, Maine newspapers]

FOREWORD

Eastern Promenade should be considered Portland's signature park in that it embodies the essential character of the city with grand sweeping views of Casco Bay. The park is a significant historic public landscape that expresses the design vision of the Olmsted firm. It also exemplifies the important qualities of a large Olmsted park.

PURPOSE AND GOALS

In an effort to restore this historic park, and knowing that expedient solutions too often ultimately compound the problem, the City mandated preparation of this master plan along with a program to encourage community support, advocacy and public education.

The purpose of this study is to develop a master plan, treatment plan and implementation plan for the entire property and its relationship to adjacent lands that can be used as a guide for both long and short term planning and improvements.

The purpose of this publication is to document the historic background of this park, evaluate the current conditions and to assess the extent of significant deterioration. The plan offers a compendium of information directly related to the preservation, restoration, rehabilitation, reconstruction, management and care of this historic landscape. It also provides recommendations reflecting current preservation techniques, technologies and approaches. Recommendations and prioritized cost projections are presented on work that needs to be accomplished as well as recommendations for ongoing maintenance and management.

General goals include rehabilitation of this historic resource in a contemporary context, reinforcement of an overall image that is compatible with the natural and historic assets of this approximately 73 acre park [including the Jack School site], improvement of accessibility, and increasing passive recreation opportunities while maintaining the active recreation components, but not expanding them.

METHODOLOGY

The study began with on site investigations and a review of available historic and current materials found in the files of the Frederick Law Olmsted National Historic Site, Portland Parks and Recreation Department, Department of Public Works, Portland Public Library, Maine Historical Society, Greater Portland Landmarks, Inc. and the correspondence files of the Olmsted office related to this project at the Library of Congress. Files at other repositories and other likely places of historic information were not examined. A number of meetings were held with the Portland Parks and Recreation Department, Eastern Promenade Master Planning Committee and other interested parties as well as three well attended public meetings, a public hearing with the City Council, and workshops with the Planning Board, Historic Preservation Committee and City Council to develop and refine the concepts presented here.

The Maine Historic Preservation Commission has not been contacted in regard to records of any archaeological investigations that may have taken place on the site. It is suggested that an archaeologist review the site to make a preliminary determination of any potential archaeological sensitivity prior to any future excavation work.

PROJECT AREA

The project area, area of dedicated park land [1975], and area of historic designation [1989] do not coincide. It is recommended that the latter two be reexamined and reconsidered in relation to each other. The project area, as shown on the existing conditions and master plans, is the most inclusive and was expanded from Fort Allen to Portland Engineering during this process to provide a complete and cohesive waterfront plan for the city.

- 2 - Foreword

Both the area of dedicated park land and area of historic designation exclude land south of Vesper Street on Eastern Promenade, and the Jack School site. The area of dedicated park land excludes the treatment plant site while it is included in the area of historic designation. Similarly, the area of historic designation excludes land below North Street, the community gardens side, while it is included in the area of dedicated park land.

ORGANIZATION OF THE MASTER PLAN DOCUMENT

The Master Plan is organized for easy reference by the Portland Parks and Recreation Department and others who may participate in completing components of the rehabilitation, restoration, preservation and maintenance efforts.

General information is presented first with some historic background on the development and evolution of Eastern Promenade. This is followed by a site specific Master Plan for the park including an assessment of existing conditions and specific recommendations. It includes general recommendations for the restoration and rehabilitation of historic and other components, prioritized cost estimates for work in the park, and administrative and maintenance management issues and recommendations. The appendix contains a chronology of Eastern Promenade, a list of available drawings and a selected bibliography for further reading.

LANDSCAPE PRESERVATION STANDARDS

As a designated historic landmark, improvements to the property should follow the 1996 Secretary of the Interior's *Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*. These standards provide guidance in decision making about historic properties, setting forth options to be considered depending on the current condition of a space and the availability of historic documentation. The standards address four treatments: preservation; rehabilitation; restoration; and reconstruction. "Of the four, Preservation standards require retention of the greatest amount of historic fabric, including the landscape's historic form, features and details as they evolved over time. Rehabilitation standards acknowledge the need to alter or add to a cultural landscape to meet continuing or new uses while retaining the landscape's historic character. Restoration standards allow for the depiction of a landscape at a particular time in its history by preserving materials from the period of significance and removing materials from other periods. Reconstruction standards establish a framework for recreating a vanished or non-surviving landscape with new materials, primarily for interpretive purposes."

The overall treatment goal for the site is rehabilitation. This is the only appropriate treatment because current conditions require acceptance of nonconforming activities like the water treatment plant, and boat ramps and supporting facilities.

SUMMARY RECOMMENDATIONS

The following is a summary of the primary recommendations. Specific improvements are subject to review and approval under Article IX, Portland's Historic Preservation Ordinance.

Overall Concept

The broad period of significance is between 1836, when the city began to lay out the drive on Eastern Promenade, and 1934 when the last major construction effort of the Depression was completed. The most significant period for the park portion of the property was between 1890, with the acquisition of Fort Allen, and 1912 when most of the property had been assembled for the overall plan prepared by the Olmsted Brothers in 1905.

The primary goal is to recreate the image of Eastern Promenade to that envisioned in 1905, the last overall designed change to the park, while adapting selected areas to accommodate existing and proposed changed needs and conditions using design principles established for the park at that time. The park had a sense of grandeur and was a major contributing factor to the character of the city as well as a major focal point. The intent of the plan is to rehabilitate the park, restoring its character by utilizing historic landscape elements.

The overall goal is to maintain the historic integrity of the site within the context of "rehabilitation", recreating the image of the historic park in as much as possible, with the current loss of historic fabric, while adapting selected areas to accommodate existing and proposed changed needs and conditions.

"Rehabilitation" is applicable to drives, pathways, site amenities and vegetation because of maintenance and use considerations, as well as societal expectations in regard to safety and security.

Cleanup needs to continue, removing the detrimental effects of volunteer growth and evidence of vandalism, reducing the general misuse of the grounds and generally making it a safer and more desirable place to visit. Additional improvements need to be made related to landscape issues [pruning, planting and removals] and making improvements for visitors [path systems, lighting, site amenities and an identification, regulatory, informational and interpretive sign system].

Achievement of the overall concept will require restoration of the historic character of the period of emphasis with removal of incongruent elements, vegetative work and site improvements, resolving pedestrian circulation, and reinstating critical components.

Landscape Character

The landscape character that was envisioned by the Olmsted firm and others should be restored as much as possible with the removal of volunteer and invasive growth. The evergreen tree plantings at Fort Allen should be incrementally removed to restore views to the bay from Eastern Promenade. Supplemental planting consisting primarily of evergreen trees should be provided to screen out the water treatment plant and the condominium building adjacent to Fort Allen, visually separating these incompatible elements from the park experience. Vegetation in the area below the promenade, between the softball field and the Loring Memorial, should be cut back from the promenade such that the area is opened up. Steep slopes should be reduced where possible to make them more maintainable.

Vegetation

This master plan, particularly in regard to vegetation, should be viewed as a long term goal for revegetation. After the removal of hazardous trees and pruning of trees to remain, trees should be replaced in general conformance with this master plan which takes into account the intent of the Olmsted Brothers plan.

Along Eastern Promenade, the number of species should be reduced to 3 or 4 and trees should be selected that have a form compatible with the historic intent of the original Elm planting. A single species should be used for lengths of 400 to 500' to give a semblance of the experience of the former monoculture planting. The species should then be changed for the next length.

Some large deciduous trees should be added to selected areas on the slope between Fort Allen and the softball field, particularly near walks to provide shade. Like the Olmsted Brothers plan, these plantings should not be so frequent or dense as to obscure views to the harbor.

The planting shown on the master plan only illustrates the broad concept for new planting and vegetation removals. It needs to be developed at a more detailed scale for implementation. Ideally, the removal of vegetation should be balanced with the addition of new vegetation.

Volunteer Growth: Volunteer growth, particularly invasive species, should be removed as soon as possible with available resources to open up views and increase the sense of safety for park users. The preferred approach is to convert these areas to lawn/pasture. However, many of the slopes are too steep to effectively maintain them in lawn. A phased approach is recommended to change these steep areas into more permanent plantings with native species that could serve as habitat for birds and other wildlife.

Shrubs and Horticultural Displays: The use of shrubs and flowers should be limited to the capacity of the city to maintain them.

Lawns: Restore lawn areas with the addition of supplemental topsoil where it is thin. Improve soils with organic matter, lime and fertilizer to improve water holding capacity and reduce acidity to facilitate their ability to support plant growth. Consideration should be given to adding irrigation to selected areas because of the droughty nature of the soils on site. All lawn areas should remain mown lawn/pasture to retain the historic image.

Circulation Systems and Materials

Vehicular Drives: Traffic calming measures are recommended on Eastern Promenade and Cutter Street to reduce vehicular speeds and increase pedestrian safety. Additional crosswalks should be provided and accentuated, and Cutter Street should be paint striped including lane markings at the railroad crossing. The Cutter Street/Eastern Promenade intersection should be reconstructed to reduce the pavement width with a sign prohibiting right turns for commercial vehicles and vehicles with trailers from Cutter Street to Eastern Promenade.

Walks: Repair the existing walk system where necessary and replace appropriate historic missing paths. Expand the hillside walk system and improve cross connections between the upper and lower park. Create pedestrian links to the Eastern Promenade Trail from Fort Allen and the Loring Memorial.

Pavement Materials: Replace sidewalks on both sides of Eastern Promenade with brick as required for consistency with the City's sidewalk material policy for historic parks. It is also an appropriate historic material for the park. Use a chip seal material over bituminous concrete on walks in other locations inside the park. Maintain drives in bituminous concrete.

Curbing: Replace the remaining concrete and asphalt curbs on Eastern Promenade with granite. Provide cobblestone gutters on the uphill side of walks traversing the slopes inside the park.

Accessibility

In addition to making circulation improvements, make Eastern Promenade universally accessible as required for compliance with state and federal regulations. Provide accessible crosswalks at intersections with Eastern Promenade. Make the playground accessible. Insure that the 1812 burial ground, and Cleeves and Tucker Memorial is universally accessible.

Parking
Parking on Eastern Promenade: Reconfigure where parking is permitted and not permitted. To accommodate parking demand during the season of athletic field use, it is recommended that parking be allowed on both sides of Eastern Promenade between Congress and Walnut Streets from April 1 to December 1. For the remainder of the year, parking should be allowed on the water side only for this stretch of drive, and on the land side only for the rest of Eastern Promenade. Parking should be allowed year round only on the land side from Fort Allen to Congress Street and on both sides of the drive from Walnut Street to the Loring Memorial. Prohibit parking and standing at the Loring Memorial. Prohibit parking on intersecting streets in the esplanade as well as on driveways in the esplanade.

Parking on Cutter Street: Eliminate the perpendicular parking at the top of Cutter Street at the intersection with Eastern Promenade.

Middle Cutter Street lot: Expand the middle Cutter Street lot to better accommodate parking during winter snow emergencies. The expanded area could be used as a separate lay down area for commercial boat ramp use until the ramp is relocated outside the park.

Upper Cutter Street lot: After the commercial boat ramp is moved out of the park, reevaluate parking needs in the area. If deemed feasible, eliminate the upper Cutter Street lot and convert it to lawn for picnic and other passive use.

Boat Ramp/Beach Parking: Reconfigure the parking area to reduce confusion, improve safety and increase public parking. Reduce the amount of boat trailer parking adjacent to the ramp and prohibit long term and overnight trailer parking.

Traffic Safety

Reduce roadway pavement width at Eastern Promenade/Morning Street to organize the intersection, inform people where they are expected to drive, decrease speeds and provide pedestrians with a shorter crosswalk length. Prohibit parking on Eastern Promenade at Wilson and Moody Streets to the car lengths required to attain the required minimum safe stopping distance or construct bump outs at the corners to allow traffic emerging from the side street to gain a better position for viewing the oncoming traffic.

User Safety and Vandalism

Provide vegetative management on the steep slopes and additional lighting in the park to improve overall visibility, increase the perception of safety, help facilitate observation by police patrol and reduce vandalism.

Recreation Facilities

Fort Allen: Replace the gun carriages. Do not replace the central walk.

Picnic: Expand picnic facilities.

North Street Community Gardens: Expand the community gardens into the skating area which is little used today and difficult to maintain. Continue to provide easy public access to the crest of the slope overlooking the city skyline and Back Cove.

Playground: Improvements to this facility should focus on public safety and accessibility. In the long term, relocate the playground to the area adjacent to the tennis and basketball courts for functional and visual benefits.

Kiley Softball Field: Reorient and renovate the field, improve soils, and replace fencing and backstop.

Carter Little League Field: Actively pursue the relocation of the little league field to another site outside the park where it can better accommodate the dimensional requirements of this field. After the playground is relocated, convert the entire area into a multipurpose field, preferably without fencing, that can serve the city with an extended period of use and restore the pastoral character of this part of the park.

Jack School Softball Field: Convert the entire area into a multipurpose field that can serve the school and city with an extended period of use. Provide some off street parking adjacent to North Street.

Hard Court Sports: Eliminate the half basketball court when the multipurpose field is created. As a long term plan, relocate and reorient the tennis and basketball courts, providing better proximity for the playground to Eastern Promenade.

Eastern Promenade Trail: Provide markings for bicycle lanes to reduce the hazard of mixed pedestrian and bicycle use.

East End Beach: Develop a beach management plan. Improve the beach with additional sand placed beyond the low tide level.

Sledding Hill: Provide safety features at the bottom of slope to prevent accidents in the parking area.

Skating: Eliminate this facility in favor of expanded community gardens. There are other skating facilities in the city that are better suited for this use.

Buildings

Continue to provide periodic maintenance to the bandstand and bathhouse. No additional buildings should be added to the park.

Fences

Fort Allen Fence: Because this decorative fence is not a historic fence, it should ultimately be replaced with a fence of appropriate height for today's safety standards. Consideration should be given to replicating the style of the historic decorative fence while incorporating current standards.

Active Recreation Area fences: Fences that serve no practical purpose should be removed. Fences that are necessary should be as low as practical [4' maximum height preferred], vinyl coated and uniform in color, preferably black.

Monuments, Memorials and Commemorative Markers

1812 Burying Ground: The next time the burial ground is rehabilitated, consideration should be given to replicating the original treatment.

Cleeves and Tucker Memorial: While the memorial does not require any attention at this time, upgrade the space immediately surrounding the memorial to enhance the high profile of the site for this memorial.

USS Portland Memorial: Consideration should be given to finding another appropriate location outside the park for this memorial as it is not supportive of the landscape character of the park. In the meantime, maintain the steel structures.

Carl S. Pedersen Memorial: This memorial should either be maintained with new graphics or replaced as part of a new overall sign system.

Arctic Campaign Memorial: Should the USS Portland Memorial be relocated, consideration should also be given to relocating this memorial along with it.

Site Amenities and Furnishings

Signs: Provide a new overall sign program consisting of identification, regulatory, orientation and interpretive signs to present a sense of uniformity and wholeness. The system should be designed to reflect the historic quality of the park. Consideration should be given to developing a system that is appropriate for all of the historic parks in the city.

Benches: Provide more benches throughout the park, particularly in relation to Fort Allen. Consideration should be given to selecting a city wide style of bench for Portland's historic parks to ease long term maintenance requirements for the city. The continued, but limited, use of backless granite benches is encouraged as a style for memorial benches that are placed in isolated locations.

Picnic Tables: Provide more picnic tables throughout the park.

Drinking Fountains: Replace the drinking fountain at Fort Allen with a handicap accessible model that is visually compatible with the historic character of the park.

Bicycle Racks: Provide bike racks at East End Beach and Fish Point.

Trash Receptacles: Provided these facilities to satisfy current public expectations. As a long term solution, consideration should be given to initiating a transition period whereby trash receptacles could eventually be eliminated altogether. During that period receptacles should be retained at key points in the park that tend to generate trash like Fort Allen and the beach/boat ramp area.

Flagpoles: The park is large enough to accommodate more than one flagpole and they are appropriate at Fort Allen, the 1812 burial ground and the Loring Memorial. Consideration should be given to removing other flagpoles. It is preferred that the flags only be flown during the day to reduce light pollution.

Utilities

Electric Service and Lighting: Provide general illumination with shielded fixtures for the park to increase the sense of safety and to reduce vandalism and other night time activities in the park. Add lighting along Cutter Street and adjacent parking areas. New light poles and fixtures should be consistent with those selected for all of Portland's historic parks. Sports fields and courts should not be illuminated for night use. Remove overhead wires and unnecessary utility poles in the park.

Storm Drainage: Resolve erosion conditions and provide proper and ongoing maintenance to eliminate concentrated overland flows.

Water Supply: Provide water supply for lawn restoration, plant establishment and cleaning. Given the droughty nature of the soils, consider providing irrigation systems for athletic fields.

Administrative Management

Coordination: Consult with all other appropriate City departments when undertaking improvements projects.

Friends Groups and Citizen Participation: Encourage the formation of a Friends Group for Eastern Promenade.

Cutter Street: Decommission Cutter Street as a public city street and make it a park road.

Commercial Boat Ramp operations: Material storage associated with commercial ramp operations is not appropriate for a historic public park. Actively pursue finding an alternate location for the commercial boat ramp outside Eastern Promenade. Do not remove the commercial ramp from the park until a suitable alternate location is developed. In the interim, adopt appropriate use regulations for the ramp and material storage area.

Snow Dumping: Locations for this activity should be found outside the park.

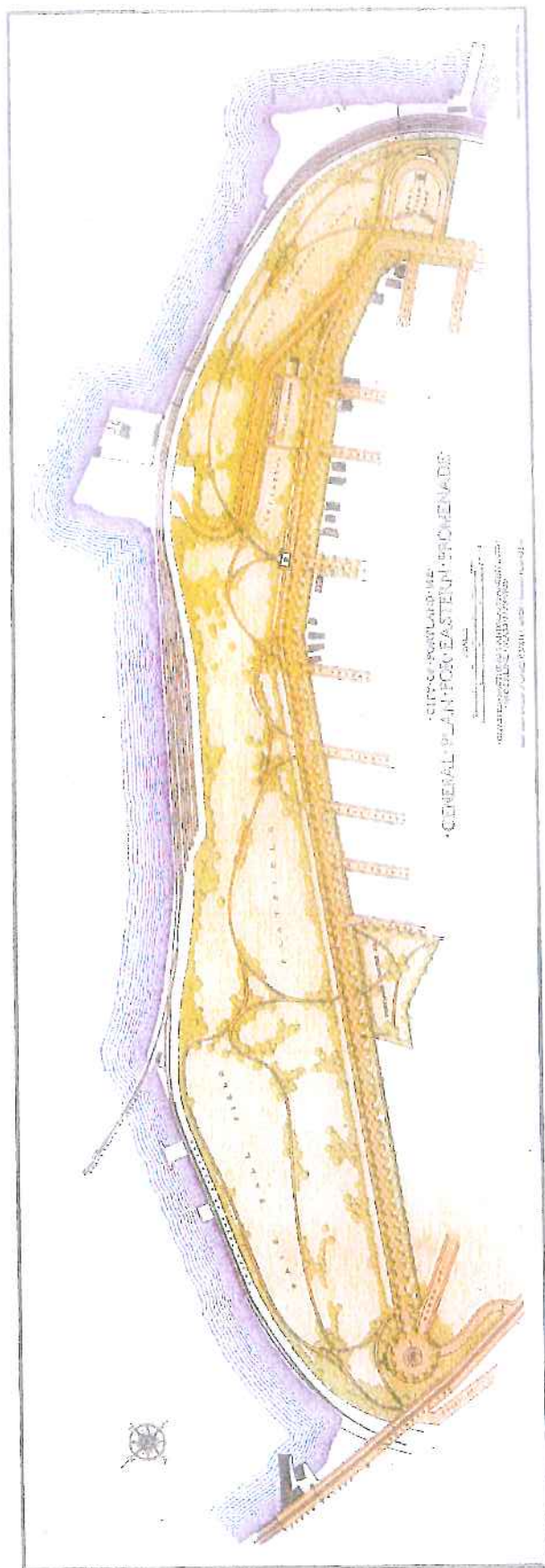
Off Leash Dogs: Maintain current off leash areas. Continue to enforce leash and scooping laws.

Monuments, Memorials and Commemorative Markers: A restricted growth policy for new monuments, memorials and markers is recommended to encourage the prudent use of Eastern Promenade's precious space. Establish a moratorium on new monuments, memorials and markers until an overall plan, preferably a citywide plan, for the placement of these items is developed and approved.

Maintenance Management

Follow the guidelines recommended for the maintenance of the various landscape components that make up Eastern Promenade. Eastern Promenade would benefit most with 1 full time staff position dedicated to maintaining the park exclusively and 2 seasonal positions during the 8 month busy season, exclusive of administrative staff.

- A MASTER PLAN FOR EASTERN PROMENADE -





RECREATION FACILITIES

Issues

General

Much of the park continues to offer a variety of opportunities for passive recreation. A variety of active recreation facilities have been sited on leveled areas of the slope just below Eastern Promenade. Most active and passive recreation facilities appear well used. The beach, ice skating area and fitness trail have experienced diminished use.

Passive Recreation Facilities

Fort Allen

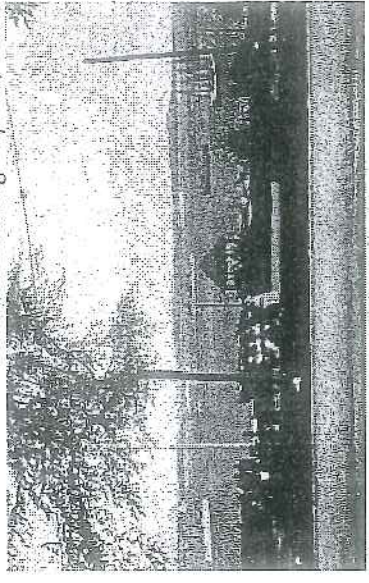
Construction of a fort began on the site of what is now known as Fort Allen in 1775. The fort was named for William H. Allen, commander of the sloop of war *Argus*, on 29 October 1814. In 1886 Fort Allen was described as follows: "The remains of Fort Allen are well preserved, showing that its center was a half-moon battery, after the old fashion of military engineering. The crescent covers about one hundred paces, with two well-defined embrasures in the center. . . it has the well-defined depressions for two guns in the center. . . The barracks were in one building . . . of which the cellar only remains."

Acquisition of Fort Allen by the city was suggested in 1883. It was purchased in 1890. Some grading was completed that year as well as initial construction of the bandstand. In 1893 a driveway was proposed around Fort Allen, extending below the lookout with a terrace and walks below the drive, and connecting with the main walks at the entrance. In 1894 a description of Fort Allen indicated that the "surface was rough, uneven, and honeycombed with boulders of so large a size that constant blasting was necessary to effect their removal from the ground, and the whole plot presented an exceedingly unattractive appearance." A description of the improvements included "a driveway 20 feet wide at the entrance to the Park, and increasing gradually to a width of 50 feet opposite the bandstand, extends around the lot. A central walk leading from the Promenade to the driveway divides before reaching the bandstand and forms a curving path on either side; a flower bed is enclosed between the diverging walks. On the lower side of the lot, fronting the harbor, is a terrace 15 feet wide and 90 feet long, on which seats are to be placed for the use of the citizen and tourist. The natural slope of the ground between the inside and outside of the driveway is so great that in-order to give a level cross section to the drive, a fill of 8 feet . . . was required. The walks and drive were edged and the slopes covered with turf. . . A cobble stone gutter, 3 feet wide was laid on either side of the drive, and both drive and terrace were surfaced with broken stone."

In 1895 Park Commissioners described the improvements of 1893 as leaving the part of the park between the terrace and drive, and the cliff of the Grand Trunk Railway's cut, "still in the state of nature, covered with boulders, rough and unattractive". A special appropriation was used to continue the work to utilize and make the unimproved lower portion accessible. John H. Flannagan began building a new lower terrace beginning at the embankment of the upper terrace and drive, sloping toward the cliff formed by the railway cut. The Street Department furnished surplus material from the grading of Morning and Congress Streets. A 10' wide cement concrete walk was built around the top of the embankment at the railroad cut. Concrete steps were added in 1896. The terrace was widened in 1933.

In 1901 Commissioners acquired the original carriages for big guns at this park and mounted the guns on the carriages. Prior to that the guns were mounted on the embankment. In 1933 the Civil War cannons were remounted on new gun carriages. These white painted wood carriages are decaying and need replacement.

Fort Allen,
[Souvenir Edition of the
Portland Evening Express, 1899]



In J. C. Olmsted's letter to Mayor Baxter of 22 May 1905 he stated that "We have preserved unchanged the old fortifications, the walk under the trees along Fore Street and the concrete construction of the terrace and steps overlooking the harbor. We believe, however, that in some minor details we have improved the present design. The path against the fence on the southwest boundary, we propose to move out far enough to allow some screen planting against the fence. . . The small sinuous path down the central plat we believe would be better discontinued, as rather unpleasantly breaking the sweep of the grass and not being in itself especially attractive." The 1905 Olmsted Brothers plan also recommended moving the bandstand to an axial location. The bandstand was never moved and the walk remained until 1984.

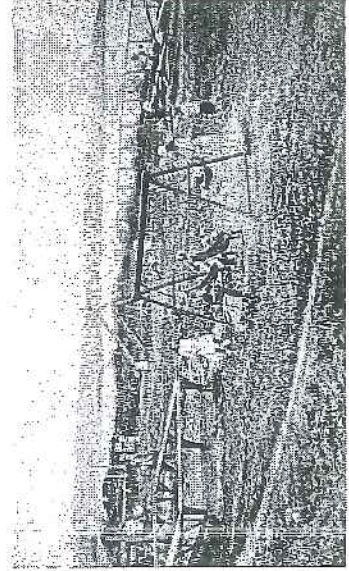
Picnic: Most of the open slopes are appropriate for casual picnics. Tables have been provided near the beach and boat ramps, adjacent to the upper Cutter Street parking area and in Fort Allen. Additional tables have recently been installed at some of the former sites of the fitness trail.

North Street Community Gardens: Located at the crest of a slope overlooking downtown Portland and Back Cove, the community gardens have a fenced enclosure and are heavily used. It has been reported that there is a waiting list for space in the gardens and some desire for expansion.

Wills Playground [Annual Report, 1917]

Active Recreation Facilities

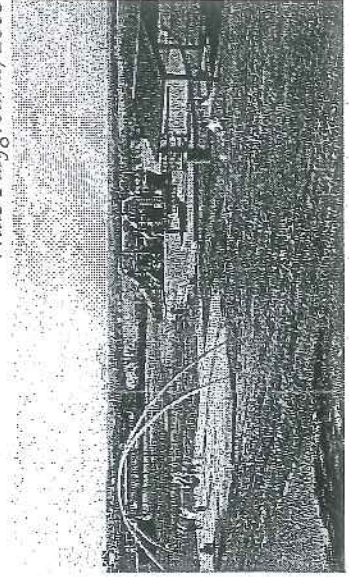
Playground: In 1903, just prior to the Olmsted plan, a new baseball ground was laid out, and an outdoor gymnasium was built with iron pipe donated by C. M. & H. T. Plummer. The following year the ball grounds were repaired, iron gymnasium painted and the dump leveled off. The 1905 Olmsted plan distributed various types of recreation uses throughout the park. An area called "little children's lawn" adjacent to Fort Allen was to be kept open and accessible for use by pedestrians enjoying the view, as well as for children. The area between Cutter Street and Eastern Promenade was to be adapted as a little children's playground with lawn for games, swings, tilts and a shelter for use by both children and parents. The playground was to be fenced and policed. The playfield opposite Walnut Street was to be used by boys too young to play on the baseball field and was to include play structures like parallel and horizontal bars, swinging rings, provision for running and jumping, and one or more small baseball diamonds that were "not so level or so well laid out as those on the larger field". The base ball field on the lower slope below the Northern Concourse and near the railroad was to be used for baseball and other games. Land for the latter area was never acquired by the city and the children's playground wasn't moved from the end of Walnut Street until many years later.



In 1908 Park Commissioners recommended enlarging the play area with more apparatus like swings, rings, bars, ladders and slides. In 1916, the playground at the foot of Turner Street, now called Wills Playground and named for Charles Wills, a former alderman interested in recreation, was noted as not as well equipped as the one at Deering's Oaks. It did contain volleyball, basketball, maple slide, kindergarten slide, swings, sand box, croquet set, and bats and balls as recreation equipment.

In 1926 Wills Playground was listed as 1 acre in size. At that time the Recreation Department noted a falling off in attendance at Wills Playground, citing the great number of summer camps in the near vicinity. They also noted an ever increasing number of adults taking an active part in municipal recreation. In 1927 a number of repairs were made including 165 linear feet of wire fence and a new shelter for the swings. In 1932 work began in Will's playground to double the area so that, when equipped, it would be one of the best playgrounds in the city. In 1934 Federal CWA and ERA funds were used for a new playground opposite Walnut Street. In 1972 a new playground was planned as part of an Urban Beautification Program. It is assumed that this is about the date of the relocation of the playground to its current site.

Wills Playground, 2003



The playground is in fair condition and well used, but is not handicap accessible internally as well as lacking universal access from the public sidewalk. Raised timber edging surrounding the play equipment and the swings impedes accessibility from surrounding lawn areas. A steep, deteriorating maintenance path into the playground located towards the little league field is blocked off by wood posts with chains. The wood timber play structures with plastic slides are worn, with numerous safety problems like splintering wood, tripping hazards and fall potential due to missing components. Built before today's standards related to safety zones the structure is not in compliance with current requirements. Safety zones are inadequate around the swings as well as in one location at the play structures. The sand surface at the swings is difficult to walk on and is not an acceptable resilient surface. It also has a drainage and ponding problem. One of the steel arch swings is equipped with 4 toddler seats, and the benches in this area including 2 that appear to be missing a matching table at a small shelter, 4 metal benches [2 between the swing sets and 2 along the eastern perimeter], 3 wood benches around the play structure [1 in poor condition that was warped, creating a significant slant to the seat].

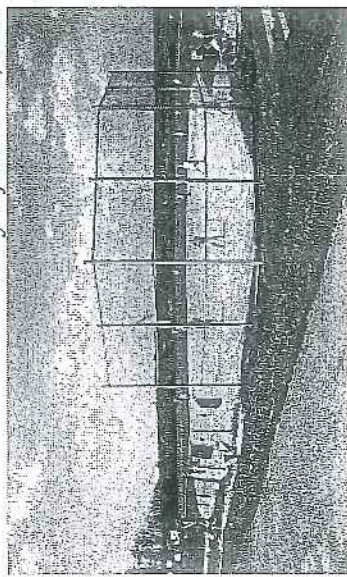
When the William B. Jack School opened in 1943, it is assumed that playground and/or playfield facilities were provided as well. In 1956 the City Council approved \$10,000 for Munjoy playfield on North Street. Today both a playground and a playfield are associated with the school. The playground was not evaluated because it was being removed for school renovation.

Athletic Fields

There has been significant growth in the need and use of athletic fields by public schools and recreational sports leagues. Scheduled use almost doubled between 1983 and 2000. This is anticipated to increase by 2005. These fields were not part of the phased recommendations [with an 8 year time horizon] of the athletic fields task force. The fencing of these fields, particularly the Little League field, has made them single use areas, for the exclusive use of a few and used only for a portion of the year. Much of the fencing also interferes with enjoyment of the views from Eastern Promenade.

Kiley Softball Field: Initially laid out in 1903, it was noted that the new play area was much used for soft ball play in 1934. It is assumed that this field became formalized in the 1970s after the playground was relocated. Currently used for Portland High Girls softball and adult softball, it has a skinned infield, galvanized steel chain link fence enclosure and backstop. The fence and backstop are in fair to poor condition, as is the field. There are two team benches and one portable bleacher. There are no lights. There is one irrigation head behind the pitcher's mound. Expressed concerns include the high use of the field, lack of irrigation and reported use by off leash dogs.

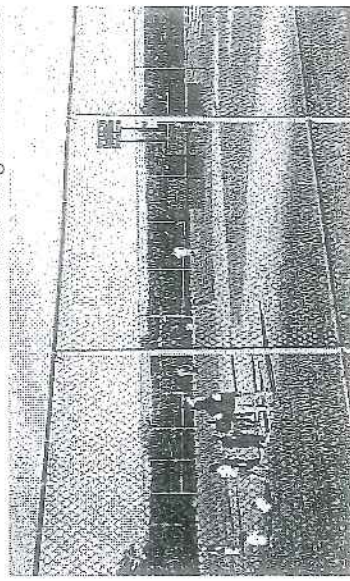
Kiley Softball Field, 2003



Carter Little League Field: This field has a 12' high galvanized steel chain link fence enclosure and backstop that are in fair to poor condition. There are two team benches and one portable bleacher. There are no lights. There is one irrigation head behind the pitchers mound. The field is in poor condition. Surface runoff runs through a dugout. Expressed concerns include the high use of the field and lack of irrigation. Right field does not meet the regulation distance.

Jack School Softball Field: Constructed c1954, this field was renovated in 1997. Currently used for softball in the spring and summer, and soccer in spring and fall, the field and fencing is in fair to poor condition. There are no bleachers, irrigation or lights. Expressed concerns include that the field does not meet space standards for a full size softball field.

Carter Little League Field, 2003



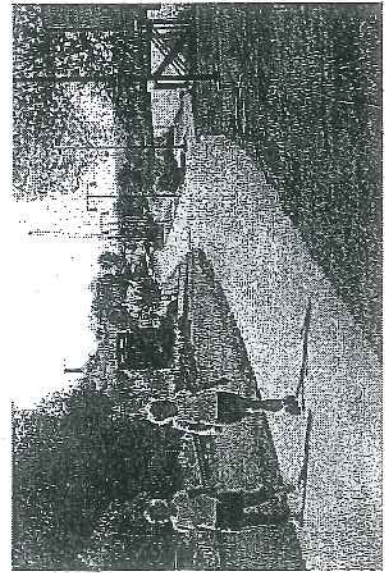
Hard Court Sports

Tennis Courts: Plans were made to add a tennis court near the playground in the summer of 1917. In 1927 the tennis court was put in good playing condition and was heavily used. The next year it was noted that the courts would require some grading, net and tape. In 1934 Federal CWA and ERA funds were used for construction of 2 tennis courts, constructed with a 3 layer bituminous construction, new to northern New England, with a tile underdrain and surrounded by heavy wire fence. This made a total of 3 tennis courts on Eastern Promenade. The current 3 courts were renovated in 2000 with a new surface and perimeter fence. They are in excellent condition and heavily used.

Basketball Court: The court was renovated in 2000 at the same time as the tennis courts with a new surface and perimeter fence. It is in excellent condition and heavily used.

Half Basketball Court: Adjacent to the little league field, the court is somewhat used. It is in good condition, with some puddling noted.

Eastern Promenade Trail, 2003



Trails

Fitness Trail: In the summer of 1987 the fitness course was installed in Eastern Promenade. Today, with missing components, the course is in fair to poor condition and little used.

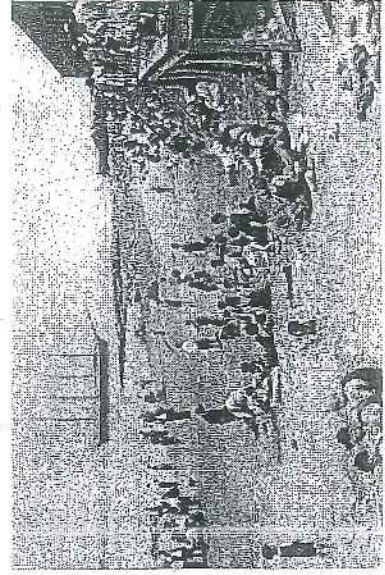
Eastern Promenade Trail: After many years of planning, the first phase of the Eastern Promenade Trail was completed in 1997 and has become a great addition and heavily used component of the park. It is in excellent condition. The paved portion is well used, particularly in early evenings on weekdays, while the stonedust portions that separate from the main trail are less used. With an 18' paved width, it is an appropriate multiple use trail. The paved portion is unmarked, presenting a potential hazard for both pedestrian and bicycle users.

East End Beach

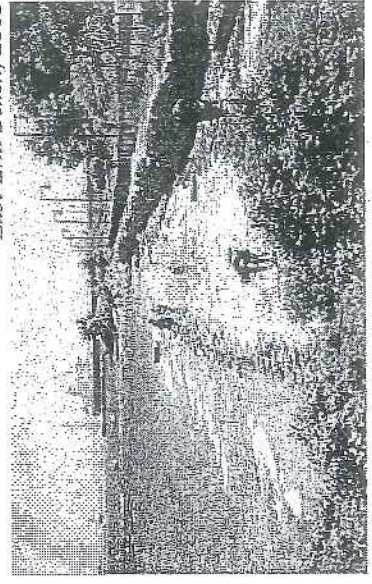
It is not known when the beach became available for public use. Some believe it became the municipal bathing center in 1836 when the city acquired land from Fore Street to Washington Avenue including Eastern Promenade, extending in part to the water edge. The Olmsted firm did not acknowledge existence of the beach in the preparation of their 1905 plan. In 1916 the Recreation Commission assumed responsibility for upkeep and development of the beach that was described as 1/8 mile long with a gentle slope. There were 3 lifeguards and a matron during the summer. In 1923 total attendance was 75,000 with an average daily attendance during the season of 1,100.

In 1927 attendance was reported as approximately 100,000 during the season. In 1928 combing the beach was recommended. It was also recommended that the city purchase the easterly end of the beach to add 300' to the length of the beach. The approach to the beach was considered poor and unsafe, as it was necessary to cross the Grand Trunk Railway tracks to get to the beach from Eastern Promenade. One suggestion was to build an overhead bridge across the tracks. Another was to build a tunnel under the tracks as the tracks were about 8' higher than the beach.

East End Beach
[Collections of the Maine Historical Society]



East End Beach, 2003



In 1929 Park Commissioners wrote "Much has been written and said about Portland's Municipal Bathing Beach, and it is a fact that very few cities are as fortunate as Portland in having a Municipal Beach within the city limits." That year the beach was improved by removing rocks and depositing sand on the raked beach from Chebeague Island. The Recreation Department reported that weekly attendance ran from 15,000 to 20,000 children. Swimming contests were held at East End Bathing Beach in 1930. In 1931 the Recreation Commission reported that East End Bathing Beach was about 1,000' long, half of it owned by the Grand Trunk Railway, but the whole beach was used by bathers. The Portland Evening News editorial reported 3,000 bathers per day at East End Beach over a 4 day hot spell in July.

In 1932 the Recreation Commission reported that East End Beach was one of the most popular resorts in the city. "Aquatic Day" was held at the beach with short swimming races as the main feature. The Portland Evening News sponsored a 2-1/2 mile swimming contest from Peaks Island to East End Beach. Commissioners recommended thoroughly overhauling the beach. The beach was open from June 15th to September 15th and had lifeguards, a matron and a caretaker. In 1934 a large raft was built for the beach, capable of sustaining a hundred persons at the same time. The slopes of the Promenade were well filled with interested spectators for the annual swim from Peak's Island to the beach. In anticipation of a major development at the East End bathing beach, surveys were made. In 1936 it was noted that East End Beach served approximately 125,000 people over the summer.

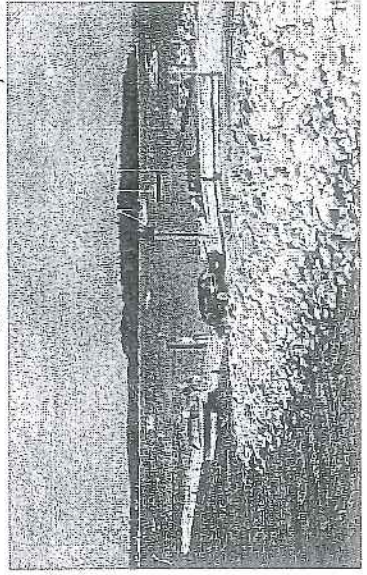
In 1963 East End Beach was closed to swimming due to severe pollution. The following year Charlotte Fairbanks asphalt swimming pool was constructed as a substitute for saltwater swimming. East End Beach reopened in 1980 after completion of the nearby water treatment plant.

The beach is in fair condition but has diminished use compared to the heavy attendance it once had. With increased transportation opportunities there are now other options available. Some believe that its proximity to the treatment plant may also be a deterrent to use. The beach still requires periodic importation of sand. Concerns have been raised about broken glass and seaweed on the beach. While there is no longer lifeguard support, park rangers and police patrols monitor beach activity.

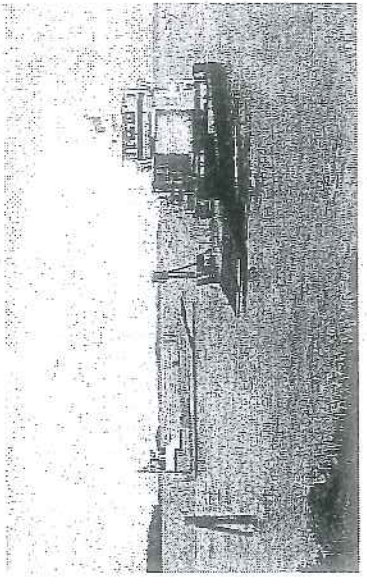
Recreational and Commercial Boat Ramps
In 1931 there was a suggestion to develop a combination marine park and municipal boat landing on the railroad land adjacent to the bathing beach, formerly the site of the Eastern Yacht Club and Curtis Shipyard. A boat ramp and parking was added in 1990. There is a proposed erosion control project for the shoreline between the recreational boat ramp and the Eastern Promenade Trail which is planned to begin in September 2003.

A commercial boat ramp is located near the bathhouse and a public recreational boat ramp is located at the northern end of this small peninsula, near a boat storage area. The commercial ramp is older. The upper area of the ramp is a concrete slab cast on the ground while the lower part going into the water consists of thick precast planks. These planks have large cracks but otherwise are not displaced or out of alignment. It is difficult to see how they were installed but they may have been simply laid on top of the natural rocky shore material. On one side there are large gaps under the planks and on the other side there is unfinished concrete fill against the side of the planks. However, this ramp still seems to be serviceable.

Recreational Boat Ramp, 2003



Commercial Boats, 2003



The recreational boat ramp appears to be relatively new and consists of scored precast concrete planks that are bolted together. While this ramp appears to be well built, the bare steel tabs that protrude from notches in the sides of the planks are rapidly corroding, especially where they are alternately washed with seawater on the incoming tide and dried out on the outgoing tide. The 1-1/2" x 1/2" bars appear to be embedded through the width of the concrete plank. That is, the same bar protrudes from both sides of the plank. With the steel expanding as it corrodes, the concrete is starting to crack at the locations of the bars. Eventually, this nicely built ramp will break up from the "rust-jacking" action of the embedded steel. These planks could have lasted for a very long time if the bars had been stainless steel. Galvanized steel would not have worked as well because the protective zinc coating would have been lost rapidly from the corroding effects of the seawater.

Sledding Hill

The sledding hill west of Cutter Street is in good condition but needs appropriate safety features at the base. It has been reported that there was a recent accident where the slope meets the parking area.

Skating

In 1928 the Portland Water District sanctioned building a skating rink on their land below the reservoir on North Street and laid several hundred feet of water main to flood the rink. In 1932 the rink was enlarged to over twice its original size.

The current skating area is located in a depression in the lawn next to the North Street Community Gardens. It is reputedly difficult to maintain as a skating area in winter and has limited use today.

Objectives

To enhance passive recreation opportunities by providing more open lawn areas and walking paths offering easier access to various areas of the park.

To recreate the historic landscape as much as possible without compromising today's recreation needs.

To separate conflicting facilities, and relocate and remove inappropriate facilities from sensitive areas.

To relocate or remove inappropriate facilities from sensitive areas.

To maintain, but not expand, active recreation facilities.

Recommendations

Passive Recreation Facilities

Fort Allen: Replace the gun carriages. Aluminum has been suggested for long term maintenance reasons. It should be verified that this material is suitable for an oceanfront location and the two metals [iron and aluminum] should be separated. Do not replace the central walk.

Picnic: Expand picnic facilities. Provide more tables between Fort Allen and Portland House as well as in other locations where they are not in the prime viewshed.

North Street Community Gardens: Expand the community gardens into the skating area which is little used today and difficult to maintain. Continue to provide public access to the crest of the slope overlooking the city skyline and Back Cove. Provide benches in this area for public enjoyment.

Active Recreation Facilities

Playground: In the long term, replacement of all of the equipment and making the entire facility accessible will be necessary. At that time the playground should be relocated to the area adjacent to the tennis and basketball courts. This should be accomplished in concert with the provision of a new multipurpose field as described in the recommendations for the Carter Little League Field.

Consider adding lower scaled equipment that is appropriate for small children, separated from equipment for larger children.

From a historic perspective, play equipment components inside the park should be metal with recessive colors. The use of primary colors, and roofs that could interfere with views, is discouraged. While wood might also be an appropriate material choice for the new equipment from a historic perspective, it is not recommended because it is less durable and has higher maintenance requirements.

Short term improvements to this facility should focus on public safety and accessibility, including the addition of an acceptable resilient surface at the swing sets. As a temporary measure, equipment from the Jack School may be used to upgrade existing equipment.

Athletic Fields

Kiley Softball Field: Reorient the field to improve orientation for users and reduce the presence of chain link fence directly abutting Eastern Promenade. Renovate the field, improve soils to facilitate drainage, replace fencing and backstop, and consider adding irrigation.

Jack School Softball Field: Convert the entire area into a multipurpose field that can serve the school and city with an extended period of use. Provide some off street parking adjacent to North Street.

Carter Little League Field: This field should be relocated outside Eastern Promenade to help restore the pastoral character of the park. Once this is accomplished and the playground is relocated, convert the entire area into a multipurpose field that can serve the city with an extended period of use. Renovate the field, improve soils, provide low fencing at the tops of embankments only as necessary, and consider adding irrigation. In the interim, work with the Little League to reduce fence heights that interfere with views, and limit capital improvements on the field.

Hard Court Sports

Tennis Courts and Basketball Court: These facilities are in excellent condition and no immediate recommendations are offered. Given the level of recent investment for these facilities, these uses should be maintained in their current locations as long as they are maintained in good condition and well used. In the long term, relocate these facilities for better use orientation, to reduce the presence of fencing along the promenade and to provide better proximity of the playground to Eastern Promenade as shown in the long range plan for this area.

Half Basketball Court: Consider elimination of this element when and if the Little League field is relocated.

Trails

Fitness Trail: Given the condition and limited use of this facility, removal was recommended and has been carried out.

Eastern Promenade Trail: Provide markings for bicycle lanes to reduce the hazard of mixed pedestrian and bicycle use.

East End Beach

Develop a beach management plan. Provide a more extensive application of sand, beyond the low tide mark.

Recreational and Commercial Boat Ramps

There is nothing practical that can be done to prolong the life of the boat ramps. While they will be useful for many more years, the design of the next generation of boat ramps should be based on the lessons learned from these current ramps.

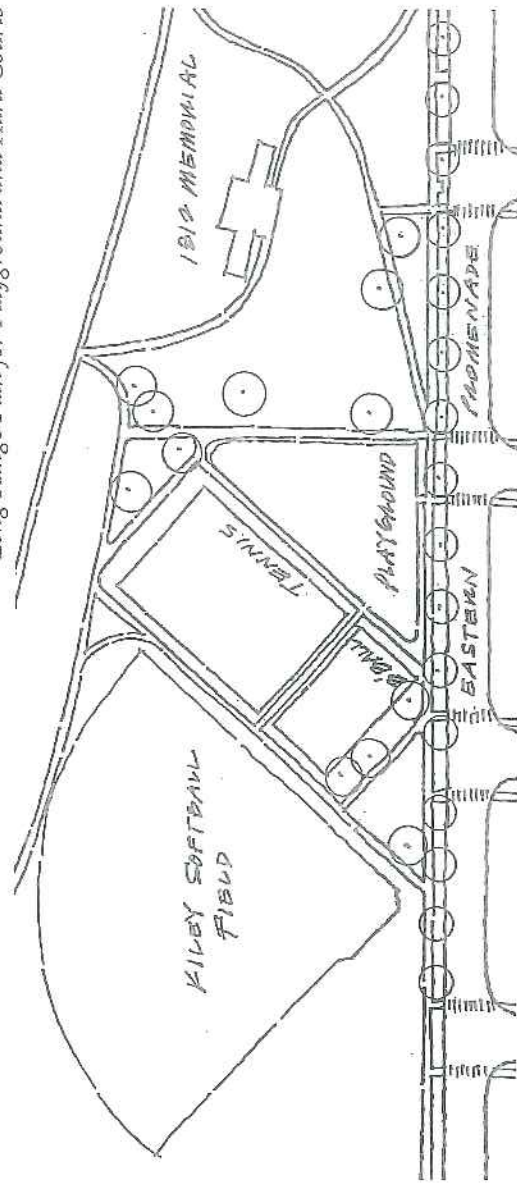
Skating

Eliminate the facility in favor of expanded community gardens. There are other skating facilities in the city that are better suited for this use.

Sledding Hill

Provide safety features at the bottom of slope to prevent accidents in the parking area. The solution could include temporary snow fence in winter as well as an earth berm at the bottom of the slope to help reduce speed. It has been reported that there is an interest in adding variety to the topography of this area to make it a more interesting sledding hill. This could be done in a limited way in the context of this historic park and could be beneficial in helping direct pedestrian traffic. The end result should not call attention to itself during the seasons when there is no snow.

Long Range Plan for Playground and Hard Courts



BUILDINGS

Issues

Bandstand

In 1891 Fort Allen opened to the public with a new shelter designed by Stevens & Cobb, architects. It was apparently moved from its original location. It was found in poor condition in 1904, rebuilt from the deck floor down to the foundation and painted two coats of paint. While not followed, the 1905 Olmsted firm plan recommended slight relocation again to a central axial position. In 1910 the bandstand was repaired and painted. It was repainted in 1918 and 1919, and repaired again in 1933. The bandstand was completely restored in 2000.

In 1929 midweek evening band concerts in Fort Allen during August for the first time in many years. Two concerts were given, and enough favorable comment was received to encourage the Commission to continue the policy another year. In 1952 the concerts formerly held at the Oaks were transferred to Fort Allen while the Oaks bandstand was being taken down.

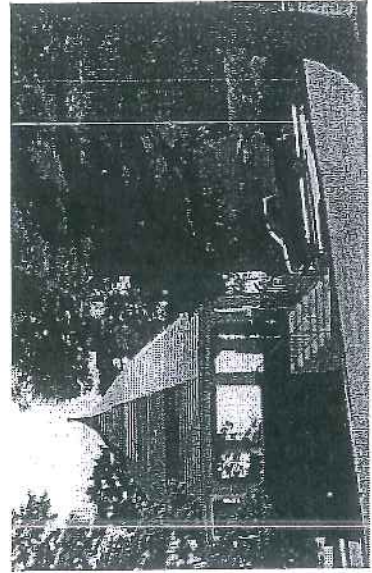
The 6 sided bandstand is a wood framed open structure with a shingled roof and cedar shingled lower walls. Except for a few damaged wall shingles, the bandstand is in excellent condition. It is noted that the designer cleverly created a drainage space between the edge of the floor deck and the flashed exterior wall.

Bandstand, 2003

Bathroom

In 1890 Mayor Holman S. Melcher recommended consideration of a public bathroom on the ocean. "With our city almost surrounded by water, it seems unfortunate that there is no place within the city limits where boys can indulge in the healthful and invigorating sport of a salt water bath, without exposing themselves to the risk of arrest for violating a city ordinance. I heartily recommend that the matter of a public bathroom receive your attention, and a suitable one be provided, if it appears expedient to do so after a proper examination of the subject." Not mentioned again until 1923, the municipal bathing beach then had 3 bathrooms with 80 dressing rooms accommodating 2 or 3 adults at a time and 2 attendants, a man and a woman.

The following year the Recreation Department reported that repairs would have to be made on the old bathroom, as it had seen many years of service. In 1925 there were 30 new dressing rooms and toilets, increasing the popularity and use of the beach. The following year it was noted that 90 dressing rooms were inadequate. Malicious mischief was also noted as a concern. In 1927 new and larger bathrooms were recommended, as well as more of them. Vandalism continued. The recommendation was repeated the next year with support for 2 chemical lavatory tanks.



In 1931 there were 3 bathrooms with 84 compartments. Each compartment was allotted to 2 or 3 adults, but even with doubling up this way the accommodations were far too small. Many people came to the beach in their bathing suits. The Portland Evening News editorial recommended 425 bathroom accommodations and uniformed patrolman. In 1932 Commissioners recommend new bathrooms with a basket system to prevent monopolizing a bathroom for several hours by any individual. In 1933 the Recreation Commission reported a decrease in vandalism.

A new bathroom was added in 1990. This comfort station building, consisting of concrete block bearing walls and a light wood truss roof, is in excellent condition.

Former Buildings

The former "pest house" located near the 1812 burial ground was removed many years ago as were the barracks at Fort Allen. With centralized maintenance facilities today, both the former tool houses no longer exist. Toilets were recommended for Wills Playground in 1924. A concrete block rest room facility located adjacent to the playground in 1985 has been removed.

Objectives

To limit the addition of new buildings in the park except as appropriate to the overall design intent.

Recommendations

General

Continue to provide periodic maintenance to the bandstand and bathroom. No additional buildings should be added to the park.

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
163 DANFORTH STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: October 9, 2014

RE: October 15, 2014 WORKSHOP – Preliminary Review of Proposed Exterior and Site Alterations

Address: 163 Danforth
The Danforth Inn

Applicant: Tempo Dulu LLC

Architect: Erik Durbas, Fye Home Designs

Introduction

Architect Erik Durbas, on behalf of the new owners of the Danforth Inn at 163 Danforth Street, is requesting a workshop to seek preliminary Board feedback on the following proposed exterior and site alterations:

- Installation of a roof exhaust fan for the inn's restaurant. The fan will be mounted on the roof of a rear ell and will be visible as one approaches from the east. The roof fan will replace an existing wall-mounted fan installed by the previous proprietor when they expanded the inn's function to include a full-service restaurant. The fan was installed without required approvals, including Historic Preservation approval. Historic Preservation and Building Inspections staff had begun discussions with the previous owner about addressing the violation when the building was sold. The new owners were made aware of the violation prior to their purchase of the property.
- Installation of two ground-mounted air conditioner compressor units. The compressor units are proposed to be placed alongside the east elevation of the building, behind a projecting sun porch and bay window. Visibility will be limited and plans call for screening the units with vegetation.
- Installation of a patio along the Winter Street frontage of the property. The area proposed for a patio is in front of a rear ell and is currently a garden area. Many of the mature plantings will remain to surround the paved courtyard and serve as a buffer

from the abutting sidewalk. The paving material is not yet specified and the application indicates that fencing is being considered.

- Construction of a roof deck on top of an existing sunporch at the southeast corner of the main residence facing Danforth. An existing second floor window will be removed to accommodate an access door to the deck. As the height of the existing porch roof balustrade does not meet code, the project calls for installing 42" tall tempered glass panels behind the balustrade. The project also calls for erecting a 7' tall slatted screen on top of the deck (see roof plan for position of screen).

Subject Structure, Background

The Joseph Holt Ingraham House at 163 Danforth Street is an outstanding example of Federal style architecture. Built in 1823, this 3 story brick residence is one of many fine houses building in the early years of this neighborhood's development although it has had some high-quality additions over the years, most notably an Italianate cupola and some turn-of-the-century Colonial Revival remodeling, its form and many of its architectural details are still clearly Federal.

The building served for many years as the rectory for St. Dominic's Cathedral. In 1994, it was converted for use as an inn. As part of its renovations for the new use, the Board was asked to approve a number of exterior alterations, including the construction of a third floor rear addition to accommodate egress requirements and an additional bathroom. Given the location of the building at the corner of Danforth and Winter Streets, the "rear" of this building is clearly visible and is a relatively complex elevation in terms of architectural massing and details. Successfully integrating a sizeable building addition within an already complex building form proved to be a challenging exercise.

Staff Comments

As noted in the introduction, the project architect is seeking the Board's feedback about the proposed changes prior to finalizing the plans. Following are staff's preliminary comments and concerns:

Rooftop Exhaust Fan: There is no question that the existing fan on the east elevation of the building is incompatible with the scale and character of this high style residential structure and undermines the building's historic architectural integrity. By comparison to the existing solution, the rooftop vent appears to be a much better alternative and significant improvement. One can't help but consider, however, whether an exhaust fan of this nature is appropriate on a historic residential structure, especially one as architecturally notable as this. That said, the current owners have received a business license to operate a full service restaurant on site which creates the demand for an exhaust fan. The Board is encouraged to visit the site to determine the relative visibility of the proposed vent. The Board should also confirm that the computer generated images accurately depict the scale of the fan.

Rooftop deck above sunporch: Staff does not support the proposed deck installation given its visual impact and incongruity with one of the building's most prominent architectural features. Were the sunporch located at the rear of the building or in a secondary location, the deck

might be acceptable, however, not in this highly prominent, formal location. And, although much of the installation would be reversible, reversibility is only one of the applicable review standards. The impact on the historic character of the property, especially given the prominence of the location, is the primary consideration in this instance.

Applicable Review Standards

- (1) *Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.*
- (5) *Distinctive features, finishes, and construction techniques or examples of skilled craftsmanship which characterize a structure, object or site shall be treated with sensitivity.*
- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*
- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Attachments

- 1. Application, project description
- 2. Photos of existing conditions and computer-generated images of proposed alterations
- 3. Specifications for exhaust fan, compressor units



A#1

Date: 10/06/2014

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

163 DANFORTH STREET PORTLAND, ME 04102

CHART/BLOCK/LOT: 044 H003 (MAP D9NW)

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

1.) REMOVAL OF EXISTING SIDE-WALL KITCHEN EXHAUST VENT.

RELOCATE UNIT TO ROOF. ALL DUCTING TO BE INTERNAL.

ONLY ROOFTOP VENT WILL BE SEEN.

2.) ADDITION OF TWO EXTERIOR AIR CONDITIONER COMPRESSOR

UNITS. ALL POWER AND COOLING LINES TO ENTER/EXIT

BUILDING THROUGH AN EXISTING BASEMENT WINDOW SASH - NO MASONRY ALTERATIONS.

3.) ADDITION OF EXTERIOR PATIO, LANDSCAPE SCREENING,

POSSIBLE FENCING AND GUEST SEATING AT SOUTHWESTERN

GARDEN SITE.

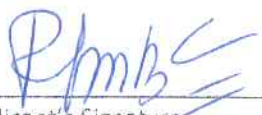
4.) ROOFTOP BALCONY ASSEMBLY ON EXISTING NORTHEASTERN

PORCH ROOF. ALL EXISTING BALUSTRADES TO REMAIN.

NORTHEASTERN WINDOW TO BE CHANGED TO A DOOR.

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: RAYMOND BRUNYANSKI Business Name, if applicable: THE DANFORTH Address: 163 DANFORTH STREET City/State: PORTLAND ME Zip Code: 04102	Applicant Contact Information Work # 207 236 4936 Home# 207 236 4200 Cell # 207 5429443 Fax# e-mail: RAYMOND@CAMDENHARBORINN.COM
Owner – (if different from Applicant) Name: (SAME AS ABOVE) Address: City/State: Zip Code:	Owner Contact Information Work # (SAME AS ABOVE) Home# Cell # Fax# e-mail:
Billing Information Name: (SAME AS ABOVE) Address: City/State: Zip Code:	Billing Contact Information Work # (SAME AS ABOVE) Cell # Fax# e-mail:
Architect DESIGNER Name: PHI HOME DESIGNS - ERIK DURBAS Address: 446 WEST STREET City/State: ROCKPORT, ME Zip Code: 04856	Architect Contact information Work # 207-230-0034 Home# Cell # Fax# e-mail: erik@phihomedesigns.com
Contractor Name: PHI HOME DESIGNS - ROB TROXLER Address: 446 WEST STREET City/State: ROCKPORT, ME Zip Code: 04856	Contractor Contact Information Work # Home# Cell # Fax# e-mail: rob@phihomedesigns.com


 Applicant's Signature

Owner's Signature (if different)

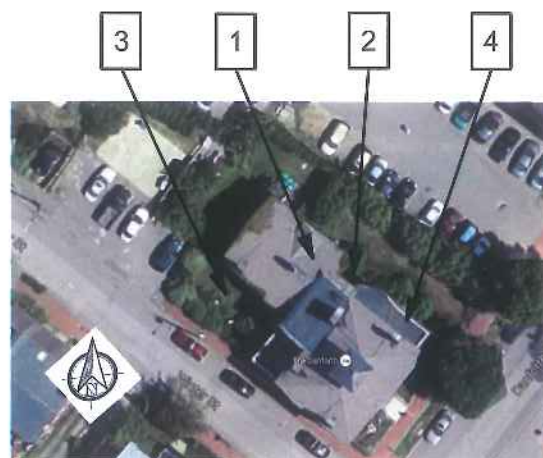
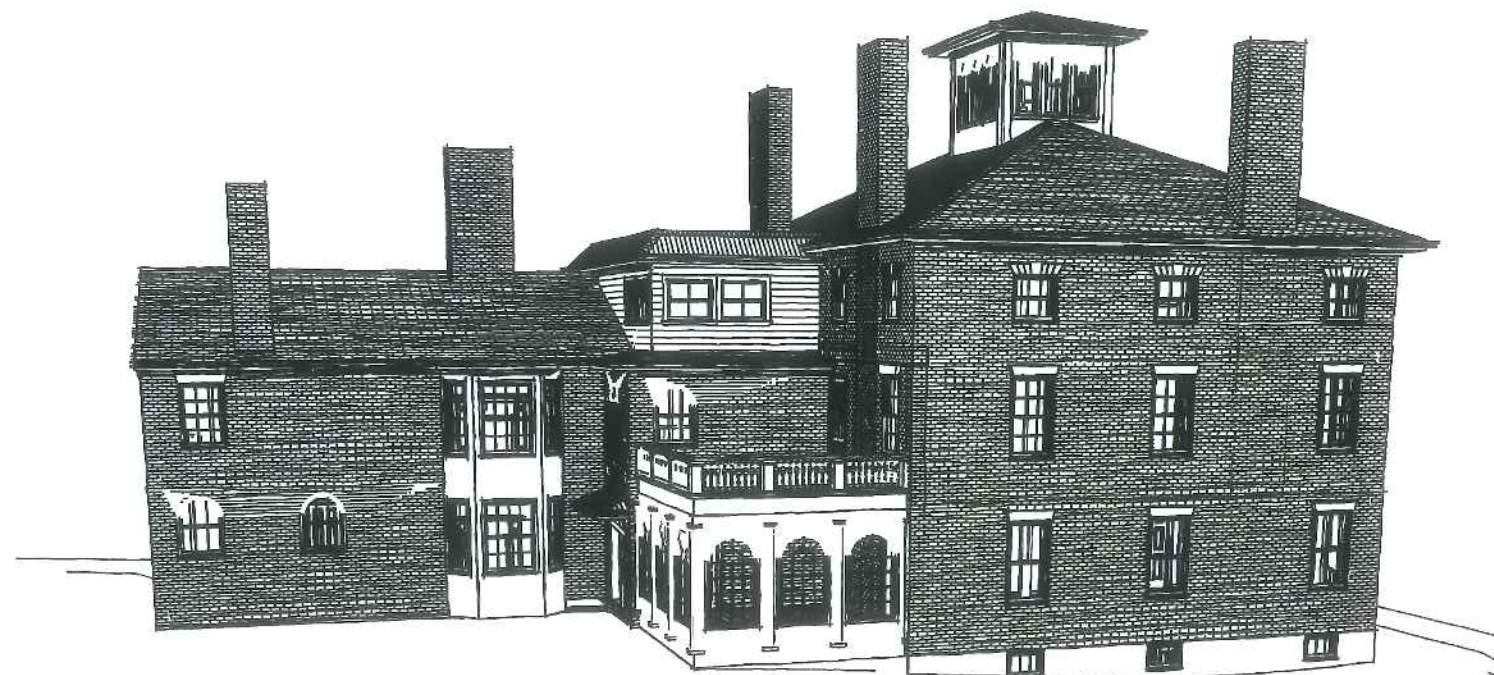
A#2



THE DANFORTH INN

163 DANFORTH STREET PORTLAND, MAINE

OWNER: TEMPO DULU, LLC



1	PRESENTATION KEY
CS1	SCALE: N/A

PROJECT DIRECTORY

OWNER: Tempo Dulu, LLC
 Raymond Brunanyszki & Oscar Verest
 83 Bay View Street
 Camden, ME 04843
 207.236.4200

DESIGNER: Phi Home Designs
 446 West Street
 Rockport, ME 04856
 207.230.0034
 Contact: Erik C. Durbas

CONTRACTOR: Phi Home Designs
 446 West Street
 Rockport, ME 04856
 207.230.0034
 Contact: Rob Troxler

DRAWING INDEX

CS-1 COVER SHEET
 SK-1 PROPOSED ROOF-TOP VENT
 SK-2 PROPOSED A/C COMPRESSORS
 SK-3 PROPOSED PATIO & LANDSCAPING
 SK-4 PROPOSED ROOF TOP DECK



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 ROCKPORT, ME 04856
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 FAX: 207.230.0034
 PHID@PHIDESIGNS.COM
 ©Phi Home Designs LLC

THE DANFORTH INN
 163 DANFORTH STREET PORTLAND, MAINE
 OWNER: TEMPO DULU, LLC

DATE:
 OCTOBER 6, 2014

DRAWN BY: ECD
 CHECKED BY: TES

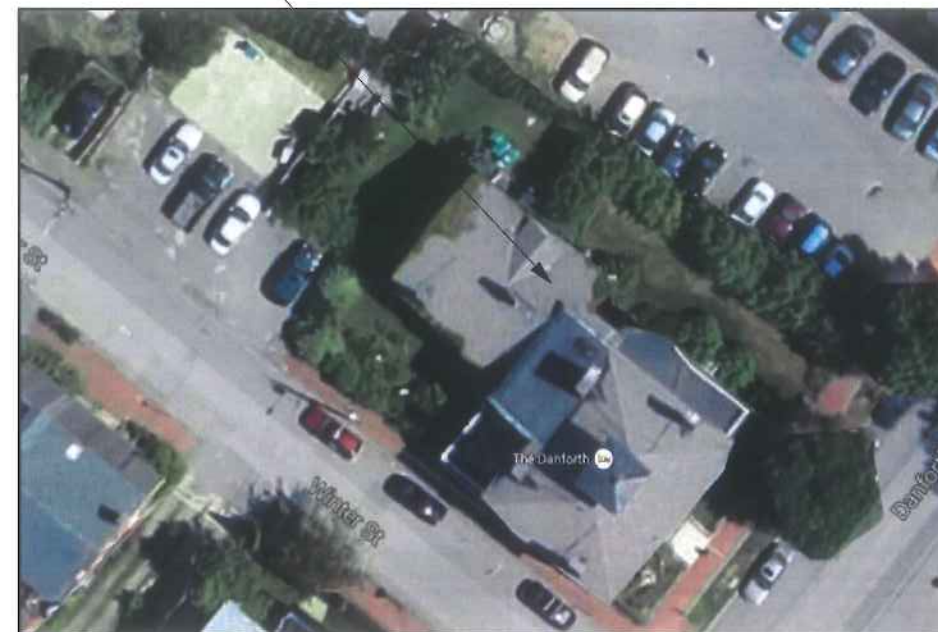
COVER
 SHEET

CS-1

FOR HISTORICAL PRESERVATION REVIEW



PROPOSED VENT LOCATION



2	AERIAL VIEW SHOWING PROPOSED ROOF-TOP VENT LOCATION
SK-1	SCALE: N/A

1	EXISTING EXTERIOR VENT CONDITIONS
SK-1	SCALE: N/A

NOTES:
 1 - EXISTING SIDE-WALL VENT TO BE REMOVED
 2 - MASONRY OPENING TO BE REPAIRED
 3 - NEW VENT COMPONENTS TO BE PAINTED TO MATCH EXISTING ROOFING



3	RENDERING SHOWING PROPOSED ROOF-TOP VENT
SK-1	SCALE: N/A

FOR HISTORICAL PRESERVATION REVIEW



HOME DESIGNS
 446 WEST STREET
 ROCKPORT, ME 04856
 TEL: 207.330.9834
 FAX: 207.330.9834
 PHIDESIGNS.COM
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DATE:
 OCTOBER 6, 2014

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PROPOSED
 ROOF-TOP
 VENT

SK-1

NEW LINE-SETS TO COME THROUGH EXISTING WINDOW PANE
NO NEW MASONRY PENETRATIONS REQUIRED



1 EXISTING EXTERIOR CONDITIONS
SK-2 SCALE: N/A

PROPOSED A/C LOCATION



3 RENDERING SHOWING PROPOSED A/C UNITS
SK-2 SCALE: N/A



2 EXAMPLE OF POTENTIAL A/C COMPRESSORS
SK-2 SCALE: N/A



4 RENDERING SHOWING PROPOSED A/C SCREENING
SK-2 SCALE: N/A

FOR HISTORICAL PRESERVATION REVIEW



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DATE:
OCTOBER 6, 2014

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PROPOSED
OUTDOOR
A/C UNITS

SK-2



1
SK-3 EXISTING EXTERIOR CONDITIONS - VIEW FROM THE SOUTH (WINTER ST)
SCALE: N/A



3
SK-3 RENDERING SHOWING PROPOSED PATIO
SCALE: N/A



2
SK-3 EXISTING EXTERIOR CONDITIONS VIEW FROM SOUTHWEST (WINTER ST)
SCALE: N/A

NOTES:
1 - EXISTING WELL-ESTABLISHED PLANTINGS TO REMAIN
2 - ADDITIONAL PLANTINGS TO BE ADDED
3 - PATIO MATERIAL AND FENCING TO BE DETERMINED - FINAL DESIGNING TO BE RE-SUBMITTED FOR APPROVAL



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PROPOSED
PATIO

SK-3

FOR HISTORICAL PRESERVATION REVIEW



VIEW FROM NORTHEAST



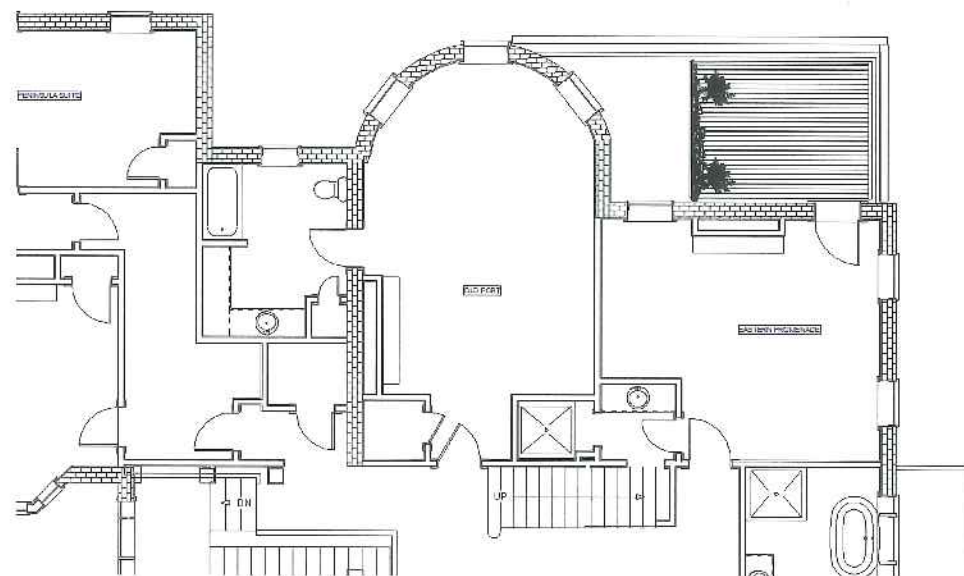
VIEW FROM "OLD PORT" GUEST ROOM

NEW DOOR GRILLE PATTERN TO MIMIC
ADJACENT DOUBLE HUNG WINDOWS



1 EXISTING ROOF CONDITIONS
SK4.0 SCALE: N/A

3 RENDERING SHOWING PROPOSED ROOF-TOP DECK
SK4.0 SCALE: N/A



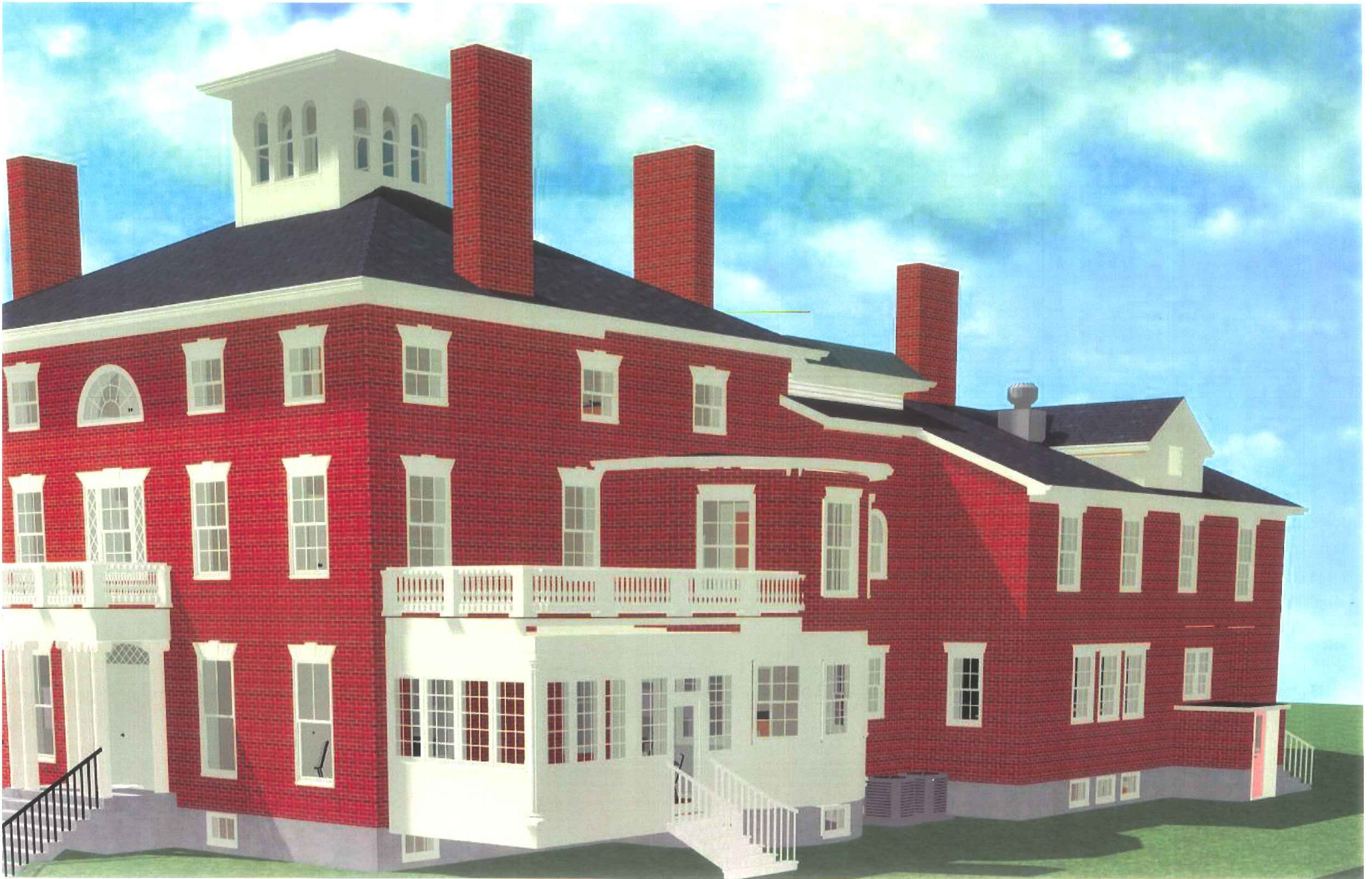
2 PROPOSED ROOF-TOP DECK PLAN - PARTIAL 2ND FLOOR PLAN
SK4.0 SCALE: N/A

- NOTES:
- 1 - IPE DECKING, TOP RAIL AND SLATTED SCREENING (84" TALL)
 - 2 - IPE WILL BE ALLOWED TO WEATHER AND TURN A NATURAL GRAY COLOR
 - 3 - ALUMINUM POSTS AND COMPONENTS (SILVER ANODIZED)
 - 4 - CLEAR TEMPERED GLASS RAIL PANELS
 - 5 - RAILS TO BE 42" HIGH
 - 6 - EXISTING BALUSTRADE TO REMAIN
 - 7 - NEW DECK TO BE FREESTANDING - NOT ATTACHED TO THE BUILDING

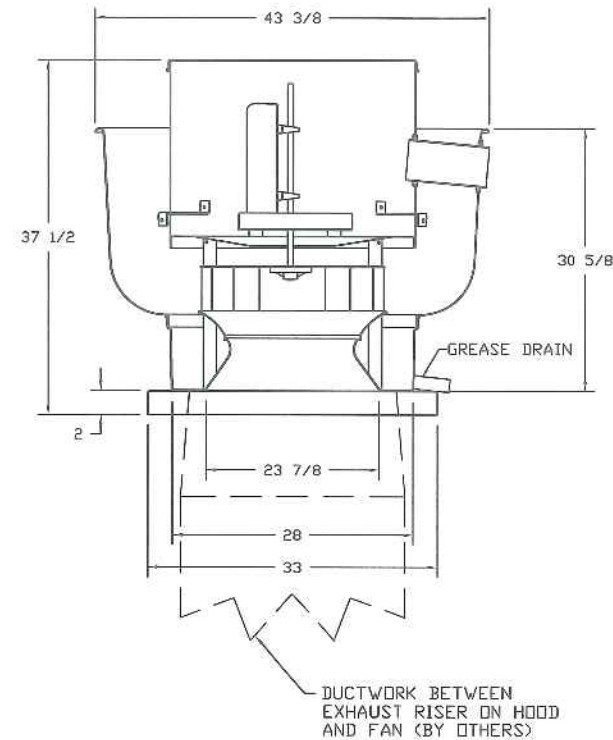


4 RENDERING SHOWING PROPOSED FREE-STANDING ROOF-TOP DECK UNIT
SK4.0 SCALE: N/A

FOR HISTORICAL PRESERVATION REVIEW



FAN #1 NCA24HPFA - EXHAUST FAN



FEATURES:

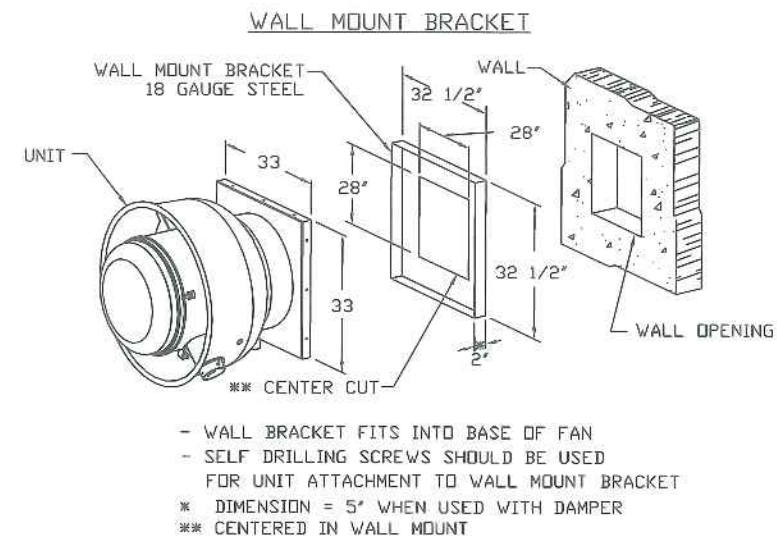
- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705 AND UL762
- AMCA SOUND AND AIR CERTIFIED
- WIRING FROM MOTOR TO DISCONNECT SWITCH
- WEATHERPROOF DISCONNECT
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING

NORMAL TEMPERATURE TEST
EXHAUST FAN MUST OPERATE CONTINUOUSLY
WHILE EXHAUSTING AIR AT 300°F (149°C)
UNTIL ALL FAN PARTS HAVE REACHED
THERMAL EQUILIBRIUM, AND WITHOUT ANY
DETERIORATING EFFECTS TO THE FAN WHICH
WOULD CAUSE UNSAFE OPERATION.

ABNORMAL FLARE-UP TEST
EXHAUST FAN MUST OPERATE CONTINUOUSLY
WHILE EXHAUSTING BURNING GREASE VAPORS
AT 600°F (316°C) FOR A PERIOD OF
15 MINUTES WITHOUT THE FAN BECOMING
DAMAGED TO ANY EXTENT THAT COULD CAUSE
AN UNSAFE CONDITION.

OPTIONS

GREASE BOX
WALLMOUNT 32.5 SQ. X 2"
3 YEAR EXTENDED MOTOR WARRANTY
EXTRA SET OF BELTS
FAN BASE CERAMIC SEAL - FOR GREASE DUCTS



CUSTOMER APPROVAL TO MANUFACTURE:

Approved as Noted ☐

Approved with NO Exception Taken ☐

Revise and Resubmit ☐

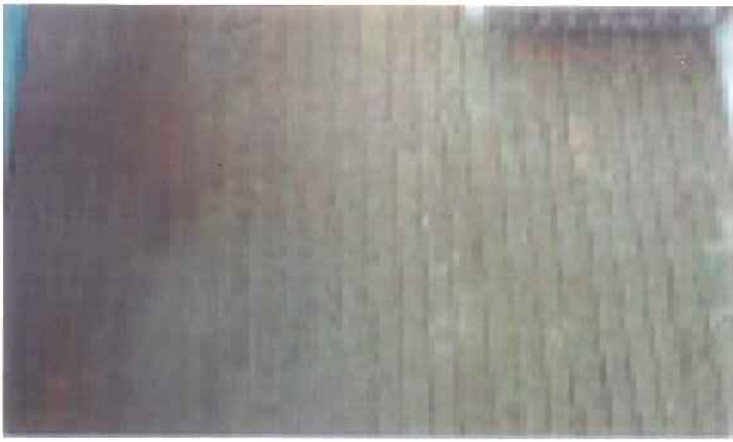
SIGNATURE _____

Your Title _____ Date _____



CAPTIVE AIRE

JOB Danforth	
LOCATION WINTHROP, ME,	
DATE 10/7/2014	JOB # 2151032
DWG # 4	DRAWN BY BFC-21
REV.	SCALE 3/8" = 1'-0"



**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
70 – 72 EMERY STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Rob Wiener, Preservation Compliance Coordinator

DATE: October 7, 2014

RE: October 15, 2014 Public Hearing

Application For: Certificate of Appropriateness for window replacement

Address: 70-72 Emery Street

Applicant: Port Resources

Contractor: Renewal by Andersen of Maine

Introduction

Donna Dion, Finance Director of Port Resources, and James Berry of Renewal by Andersen come before the Historic Preservation Board seeking a Certificate of Appropriateness to replace a total of 10 windows on the 3 walls most visible from Emery Street. All of the windows in question are double-hung, and most are on the first floor: 3 in the front bay, 3 in the left side bay (as viewed from Emery Street,) and an additional single window on both the left side and right side. The applicants also propose to replace 2 second floor windows on the front façade, in the interest of a consistent appearance.

Informed by staff that insert replacement windows, particularly in a material other than wood, are not typically approved for Portland's historic residential buildings, Port Resources staff members nonetheless believe that installing the Andersen composite insert replacement windows is the best solution for the current situation at the property. Historic Preservation staff agreed that the proposal should not be approved at the staff level, and should be reviewed by the Historic Preservation Board as an opportunity to explore the sometimes challenging choices faced by building owners and HP staff members. The current use of the property as a group home for clients with disabilities presents both budgetary and safety concerns for the applicants, as Ms. Dion has explained in her project description.

Staff is hoping to receive additional details and specifications for the proposed windows before the Board packets are mailed.

Subject Property and Current Conditions

The Dyer-Forbes House (c. 1858-1859) is an early, wood-framed, Italianate house, one of only 3 built on Emery Street before 1866. Alterations and additions have changed the appearance several times over the years, including an addition on the front that added an entrance facing the street, which is now more prominent than the original main entrance off the left side porch. A barn was once attached to the rear of the house. Trim details were removed during past renovations and siding changes, but exterior window trim appears to be original or very old.

A number of the windows proposed to be replaced contain late 20th Century sash with vinyl jamb liners, inserted in the original window frames. The front bay on the first floor appears to retain the original sash in all 3 windows. All of the windows in question have been fitted with storm panels, clipped on the exterior permanently – no doubt in an effort to improve comfort and energy efficiency, but the panels would prevent easy egress in emergencies, and detract from the house's appearance.

Proposed Window Replacements

The Andersen product appears to be designed to minimize the additional frame that is normally associated with an insert window, in which a new window with jambs is fastened inside the original window jamb. But nonetheless, when HP staff met onsite with Tim Bruns, Maintenance Coordinator for Port Resources and Jim Lang of Renewal by Andersen, the distance from jamb to the edge of the glass was noticeably greater with the replacement window than with the existing sash:

Jamb to glass, existing sash (front bay)	2.25"
Jamb to glass, Andersen Renewal:	3.0"

The applicant argues that the current storm windows, common in the West End, already reduce the daylight opening and are unattractive. In the applicant's view, the proposed windows barely reduce the daylight opening more than a storm window would.

Staff Comments

As only the first floor bay window retains its old sash, the question of replacement versus repair of the existing windows is not the issue in this case. This application raises the following questions for consideration:

- 1) Is it acceptable in this instance to install a full-frame replacement window within an existing frame, recognizing the inevitable reduction in daylight opening and build-up of surrounding frame? (The applicant has raised concerns about the additional cost of having to remove interior or exterior trim to install new windows.)
- 2) Is a composite window, versus a wood window, acceptable in this instance?

The applicant asks that the Board consider the use of the building, the clients' safety, and the cost ramifications of an alternative solution in their review of this application.

Applicable Review Standard

- (6) *Deteriorated historic features shall be repaired rather than replaced wherever feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the feature being replaced in composition, design, texture and other visual qualities and, where possible, materials. Repair or replacement of missing historic features should be based on accurate duplications of features, substantiated by documentary, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.*

Motion for Consideration

On the basis of plans and specifications submitted by the applicant for the 10-15-14 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed window replacement at 70-72 Emery Street **meets (fails to meet)** the historic preservation ordinance's review standards, specifically Standard # 6, (subject to the following conditions.....)

Attachments

1. Applicant's project description
2. 1924 photo of building
3. Photos of existing conditions
4. Proposal by Renewal by Andersen

Note: Specifications have been requested; will be attached if received prior to mailing of packet.

A4.1

Attachment A

Project Description

70-72 Emery St.

Portland, Maine 04101

In the true spirit of Historical preservation Port Resources (Port), a non-profit organization, is submitting this project description clearly demonstrating Port's desire to maintain the visual integrity of its' building at 70/72 Emery St. Portland, Maine. The proposal for renewal windows has been developed by James Berry a representative of Renewal by Andersen of Maine. Mr. Berry evaluated the project and understanding the severity of providing a recommendation that would maintain the integrity of the current features of Port's building that exist within the historical zone was of the utmost importance.

Under Port's financial restraints but Port's willingness to work to satisfy the Historical standards we work many hours with Andersen Glass and with Robert Wiener to put together a sound proposal for your approval.

Mr. Berry from Andersen Glass was able to demonstrate that the glass area of the replacement sashes would a close match to the existing window, with minimal difference, not traceable by eye sight. He also clearly provided the added features of going with the cost effective approach to replacing the deteriorating sashes. The new sills would be manufactured to match the existing sills in size and color. Filling the entire sill would eliminate any gaps and the need for fill. Important feature was the new renewal sashes would be installed without affecting the outside and inside trim, giving a true appearance of no change to the windows.

The renewal windows would maintain the current historical appearances. The financial alternative is to place metal storm windows, which Port believes would change the current historical appearance. Port is not in a financial position to replace the deteriorating sashes with wooden sashes, it is cost preventive.

Port does realize that Port must replace the deteriorating sashes and that metal storm windows may protect the internal windows from the harsh weather and add warmth, but it does not remove the risk or liability that still exist with those windows. The possible injuries to our residents if they should touch the window and the glass could shatter; this situation has not been eliminated with the installation of metal storm windows. A win/win situation can only be obtained if we are able to maintain the current historical features and safe guard our residents from injuries.

Lengthy discussions have taken place between Mr. Wiener, who based on his correspondence with Port, held discussions with Director Andrews. I respect Director Andrews' concerns with the "loss of daylight opening", which not visually be noticed. If we went with option (2) Port would change the current historical features by adding metal storm windows. With the storm windows the daylight would definitely decrease but the changing of the features would be very noticeable.

Even Mr. Weiner indicated; "the renewal looks like a good product, but because this is not the type of replacement normally approved in these situations it may not get approved". I respect where Mr. Weiner is coming from, Port definitely understand the complexity of the approval for a home in the historical zone. With the newly developed products geared to keeping the historical features of homes, this is an opportunity to consider a new type of glass replacement that could satisfy you standards and maintain those unique historical features and avoid covering them up with metal storm windows.

Port's proposal is to take care of a serious risk of possible injuries in the future as the sashes continue to deteriorate but also with an eye to maintaining the integrity of the historical features of the home.

In reviewing the ten (10) "Standards for Review of Alterations to Historic Buildings", I feel we have satisfied those standards, even though we are not an historical building but a home in the historical zone. A key note is number (9), with the Andersen renewal proposal I believe we satisfy the need to be "compatible with the size, scale, color and character of the property, neighborhood or environment". The change in the material of the sashes is covered up by the color it will be manufactured in and it would fit appropriately with the historical features of the home.

In conclusion the metal storm windows will cover the problem but not resolve it. A risk will continue to exist until the sashes are replaced. Port is not in a financial position to replace them with wooden sashes and feel the Andersen Renewal proposal will maintain the integrity of the historical features of Port's home at 70-72 Emery St. Portland, Maine.

Attachment B

Pictures:

Front: A

A1: Front of building, recommended by Robert Wiener to also replace the two windows on the second floor to maintain consistency in appearance, Port agrees. Also those windows demonstrate the diminished daylight because they already have the storm window on them.

A2 & A3: Three lower bays are the windows we are requesting to change.

Right Side: B

B1: Only one window needs replacement, right side of building not in driveway.

Left Side: C

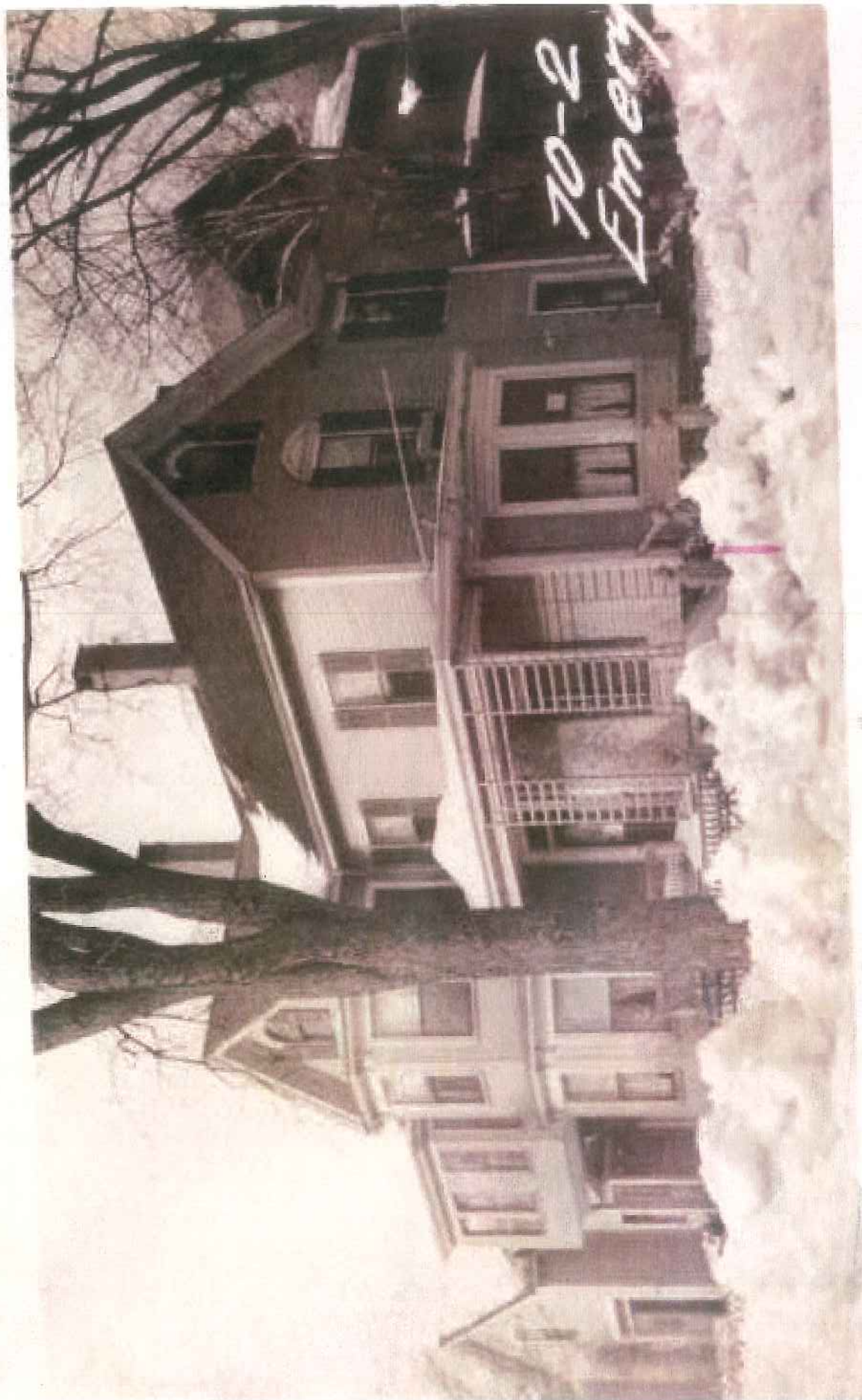
C1: On driveway side of building, first window on the porch, we are requesting replacement

C2 & C3: Pictures of the 3 window bay window on the driveway side of the building.

Inside Trim: D

D1 & D2: represents the trim in the inside of those replacement windows. And that trim will not change with our recommendation of replacement windows.

www.maine-memory.net/item/50674
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10-2
Emery

Att. 2

A1
A43



A2





B1





C2



C3





D2



FRONT BAY,
LEFT FACE





Renewal by Andersen® of Maine
62 Portland Road, Suite 30
Kennebunk, ME 04043
Tel: 207-985-8465 • Fax: 207-604-7755

Specification Sheet

Buyer(s) Name

PORT RESOURCES

Date of Agreement

8-8-14

WINDOW DETAILS

- Contractor will install a total of 8 windows and 0 Patio Doors in Owner's home, using the following individual quantities:
8 Double Hung (DB) ☒ Equal sash ☐ Cottage sash (1/3 top, 2/3 bottom) ☐ Oriel sash (2/3 top, 1/3 bottom) ☒ Flashed
☐ Casement (CS) ☐ Hinge right ☐ Hinge left (as viewed from exterior)
☐ Double Casement (CD)
☐ Casement / Picture / Casement (CT) ☐ 1:1:1 or ☐ 1:2:1
☐ 2 Lite Gliding Window (GW)
☐ Glider / Picture / Glider (GPW) ☐ 1:1:1 or ☐ 1:2:1
☐ Awning Window (AW)
☐ Picture Window (PW)
☐ Specialty / window style: _____
☐ Bay or Bow Window
☐ # lights
☐ Seat to be primed ☐ Oak ☐ Pine
☐ Soffit Roof: ☐ Shingle ☐ Copper
- ☒ Yes ☐ No Qty of Windows to be Custom Fit Replacement: 8
- ☐ Yes ☒ No Qty of Windows to be Custom Fit Full Frame (includes new interior and exterior casings): _____
- Glazing to be: ☒ HP Low-E-4® ☐ SmartSun™ ☐ Tempered ☐ Other If other, please specify: _____
- Exterior color to be: ☐ White ☐ Sand ☒ Canvas ☒ Terratone ☐ Cocoa Bean ☐ Dark Bronze ☐ Forest Green ☐ Black ☐ Red Rock
- Interior color to be: ☐ White ☐ Sand ☒ Canvas ☒ Terratone ☐ Pine ☐ Maple ☐ Oak
- Hardware: ☐ White ☒ Stone ☒ Canvas ☐ Estate Hardware: STYLE: _____
☒ Yes ☐ No Install Lifts with Double Hung Windows
- Screens: windows to have: ☒ Half or ☐ Full screens Screens to be: ☐ Fiberglass ☒ Aluminum ☐ TruScene
- ☐ Yes ☒ No Qty of Sills to be replaced by Contractor: _____

*CHANGED COLOR
(DB)*

GRILLE DETAILS

10. Windows have grilles: ☐ Yes ☒ No If yes: ☐ Grille Between Glass (GBG) ☐ Removable Interior Wood (INTW) ☐ Full Divided Light (FDL)

Qty:	Qty:	Qty:	Qty:	Qty:	Qty:	Qty:
DB	DB	DB	DB	AW/AS/Picture	Glider	CT or GPW

Draw grille patterns above

*Use additional sheet if needed

Owner approved (initials): ()

ADDITIONAL WORK DETAILS

- ☐ Yes ☒ No Contractor will install ☐ new paint-ready or ☐ stain-ready casings Interior casing qty of openings: _____
 Exterior casings qty of openings: _____ ☐ Pine ☐ Maintenance-free material: _____
- ☒ Yes ☐ No Contractor will install ☐ new paint-ready or ☐ stain-ready stops Interior stops qty of openings: 8
 Exterior stops qty of openings: 8 ☐ Pine ☒ Maintenance-free material: FIBREX as NEEDED
- ☐ Yes ☒ No Contractor will wrap exterior casings with aluminum coil stock of _____ color.
 Note: Wrapping may be required with storm window removal; removal of storm windows will leave screw holes in casing.
- ☒ Yes ☐ No Contractor will insulate, caulk and seal windows with 3-point system to prevent water and air infiltration.
- ☐ Yes ☒ No **Building Permit** - Contractor will secure any and all necessary permits. The fee for the permit(s) is not included in the Contract Price and a separate check is required at the time of sale for this fee. Check # _____ \$ _____
- ☒ Yes ☐ No Insulate weight pockets
- Additional job details: MEETS OR EXCEEDS HISTORICAL SPEC.



Renewal by Andersen® of Maine
62 Portland Road, Suite 50
Kennebunk, ME 04043
Tel: 207-985-8465 • Fax: 207-604-7755

Customer Remodeling Agreement

AGREEMENT SUBMITTED TO:		DATE <u>8.8.14</u>	
NAME <u>PORT RESOURCES</u>	JOB NAME <u>MUNROE HOUSE</u>		
STREET <u>2805 CANNETT DRIVE</u>	STREET <u>TO EMERY ST.</u>		
CITY <u>S. PORTLAND</u>	CITY <u>PORTLAND</u>		
STATE <u>ME</u>	ZIP <u>04106</u>	STATE <u>ME</u>	ZIP <u>04107</u>
HOME PHONE <u>772-3743</u>		WORK PHONE	
CELL PHONE <u>274-1560</u>		E-MAIL <u>JBRUNSE@PORTRESOURCES.ORG</u>	

TERMS (CHECK ONE): ☒ CASH ☐ BALANCE ACQUIRED THROUGH Renewal by Andersen® of Maine APPROVED FINANCING. Price includes labor, materials, taxes and clean up. We hereby propose to furnish labor and materials - complete in accordance with the Specification Sheet for the:

Total Investment of \$ 10,727
Initial Deposit With Order \$ 3,575
Additional Deposit Due ___/___/___ \$ ___
Balance Due Upon Completion \$ 7152

Acceptance of Agreement

The above prices, specifications and conditions are satisfactory and are hereby accepted. Contractor is authorized to do work as specified. Payment will be made as outlined above.

Customer Signature

Date

Customer Signature

James W. Brunse
Authorized Representative Signature

NOTICE OF RIGHT TO CANCEL

If this agreement was solicited at your residence and you do not want the goods and services, you may cancel this contract by giving notice to the seller. The notice must say that you do not want the goods and services and be mailed, delivered or faxed to: Renewal by Andersen® of Maine, 62 Portland Road, Suite 50, Kennebunk, Maine 04043. Fax (207) 604-7755, no later than midnight of ___/___/___, when your cancellation rights expire. If you cancel by this date, the seller may not keep any of your cash down payment. If this agreement requires seller to affix goods to real estate, then the seller may not begin work until after ___/___/___, when your cancellation rights expire. I have received two (2) copies of this notice:

Customer Signature

Date

Customer Signature

Date

Please see Additional terms on reverse side.



SAMPLE OF
ANDERSEN
RENEWAL
WINDOW

