

1. Legal Ad

Documents: [5-6-15 LEGAL AD.PDF](#)

2. Agenda

Documents: [5-6-15 AGENDA.DOCX](#)

3. Fort Allen Park

Documents: [HP MEMO - FORT ALLEN PARK.PDF](#)

4. India Street Historic District

Documents: [HP MEMO - INDIA STREET HISTORIC DISTRICT.PDF](#)

5. Building 1 - House Island

Documents: [HP MEMO - BUILDING 1 \(HOUSE ISLAND\).PDF](#)

6. 521 Cumberland Avenue

Documents: [HP MEMO - 521 CUMBERLAND AVENUE.PDF](#)

**LEGAL ADVERTISEMENT
HISTORIC PRESERVATION BOARD
CITY OF PORTLAND
Public comments are taken at all meetings.**

On Wednesday, May 6, 2015 at 5:00 p.m, the Portland Historic Preservation Board will hold a meeting to review the following items:

1. ON-SITE WORKSHOP –meet at Fort Allen Park

- i. Preliminary Review of Proposed Installation of Interpretive Panels; FORT ALLEN PARK; Friends of the Eastern Promenade, Applicant.

Dinner Break; Meeting Resumes in Room 209 of City Hall at 6:45

2. WORKSHOP

- i. Preliminary Review of Proposed India Street Historic District (3rd Workshop); INDIA STREET AND IMMEDIATE ENVIRONS; City of Portland, Applicant.
- ii. Preliminary Review of Proposed Porch Alterations; BUILDING #1 (SMALL BARRACKS), HOUSE ISLAND; Vincent and Christina Mona, Applicant
- iii. Preliminary Review of Proposed Deck Addition; 521 CUMBERLAND AVENUE; Jason Stankiewicz, Applicant

3. CONSENT AGENDA

**Contact the Department of Planning and Urban Development, Planning Division, 874-8726 for further information. To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date:
<http://www.portlandmaine.gov/historic.htm>**

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Scott Benson, Chair
Bruce Wood, Vice Chair
Glenn Harmon
Ted Oldham
Penny Pollard
Julia Sheridan
John Turk

HISTORIC PRESERVATION BOARD AGENDA
May 6, 2015, 5:00 p.m. - Room 209, Portland City Hall

Public comment is taken at all meetings.

- 1. ROLL CALL AND DECLARATION OF QUORUM**
- 2. COMMUNICATIONS AND REPORTS**
- 3. REPORT OF DECISIONS OF APRIL 15, 2015**

- i. Certificate of Appropriateness for Rooftop Alterations; 276 STATE STREET; Brad and Colleen Brazell, Applicant. *The Board voted 6-0 (Oldham absent) to approve the application subject to conditions.*
- ii. Certificate of Appropriateness for Exterior Rehabilitation, including Window Replacement; 181 BRACKETT STREET; LearningWorks, Applicant. *The Board voted 6-0 (Oldham absent) to approve the application subject to conditions.*

4. ON-SITE WORKSHOP (5:00 P.M. – Meet at Fort Allen Park)

- i. Preliminary Review of Proposed Installation of Interpretive Panels; FORT ALLEN PARK; Friends of the Eastern Promenade, Applicant.

Dinner Break; Meeting Resumes at 6:45 p.m. in Room 209, 2nd Floor, City Hall

5. WORKSHOP

- i. Preliminary Review of Proposed India Street Historic District (3rd Workshop); INDIA STREET AND IMMEDIATE ENVIRONS; City of Portland, Applicant.
- ii. Preliminary Review of Proposed Porch Alterations; BUILDING #1 (SMALL BARRACKS), HOUSE ISLAND; Vincent and Christina Mona, Applicant.
- iii. Preliminary Review of Proposed Deck Addition; 521 CUMBERLAND AVENUE; Jason Stankiewicz, Applicant.

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**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**ON-SITE WORKSHOP
FORT ALLEN PARK**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: April 30, 2015

RE: May 6, 2015 On-Site Workshop – Preliminary Review of Proposed Installation of Interpretive Signs

Address: Fort Allen Park

Applicant: Friends of the Eastern Promenade

Consultant: Montgomery Design
Jack Vreeland, Nancy Montgomery, principals

Introduction

A workshop has been scheduled to review a proposed program of interpretive signage at Fort Allen Park. Given the nature of the application, in which the Board is being asked to assess the compatibility of a program of signs within an established landscape context, staff felt that an on-site workshop would be most productive. Meeting on site, the Board will be in a better position to address questions of scale, placement, number of fixtures, material/finish choices, etc.. Project consultants Jack Vreeland and Nancy Montgomery of Montgomery Design will be leading the site visit, along with Diane Davison of Friends of the Eastern Promenade, who has managed all aspects of the Fort Allen Park rehabilitation project. They will discuss the goals of the project, review specific sign locations and share a mock-up of a typical sign post with interpretive panel.

During the site visit, Board members will also be asked to provide input on a final proposed site modification at the northern edge of Fort Allen Park, in the vicinity of Cousins Memorial. Additional funding has been identified to improve the configuration and treatment of the sidewalk in this area, where Fort Allen Park transitions to the balance of the Eastern Promenade. Changes to the site immediately surrounding Cousins Memorial are also being considered.

Background

In conjunction with the comprehensive rehabilitation of Fort Allen Park—which is nearing completion--the Friends of the Eastern Promenade hope to provide information about the

history of the park itself and the key features and memorials that are located within it. While the space and its contributing elements are visually compelling, their fascinating history and significance are not self-evident. The Friends of the Eastern Promenade hope to educate visitors about various aspects of the park in order to enrich their experience. They also hope to do it in a way that does not diminish or compete with the landscape character of park itself or the vistas beyond. Montgomery Design was selected to develop the interpretive program based on the firm's extensive experience in projects of this type.

Note that the inclusion of an interpretive signage program was not raised during the Board's original review of the park rehabilitation project. At the time, Friends of the Eastern Promenade had not secured funding for signage and were unsure when they might be in a position to move forward with the initiative. As the park rehabilitation project was nearing completion, they approached Norway Savings Bank and the Maine Community Foundation for support to add interpretive signage and were successful in their fundraising efforts.

Proposed Scope of Work

The proposal calls for the installation of ten interpretive sign panels: nine individual panels with Fort Allen Park itself and one three-sided kiosk at the transition between Fort Allen Park and the Eastern Promenade. Two panel sizes are proposed within Fort Allen Park. Four general informational panels—two at the top of the park and two at the overlook—are sized 42" x 20". Smaller 11"x17" panels are located near specific features within the park to explain their history and significance. The three-sided kiosk will feature 24" x 48" panels. The kiosk is intended to provide directional and regulatory information, as well as a brief history of the Eastern Promenade.

Montgomery Design has provided a detailed submission, including an aerial view showing locations of all proposed signs, specifications for the sign panels and supporting posts, draft layouts for some of the proposed signs, etc. Other aspects of the proposal, including proposed finishes and position/orientation of the individual signs, will be shown at the site visit.

Staff Comments

Although the introduction of multiple signs within an historic landscape runs the risk of adding clutter and detracting from the visual character of the landscape itself, it appears that great care has been given in this instance to integrate the signage in a manner that is respectful of and deferential to the larger landscape. In a preliminary site visit with the project consultants, staff was impressed not only with the consultants' creative approach to the interpretive panels themselves, but also with their sensitivity to the surrounding context. As described to staff, the intention is to integrate the sign fixtures with the character of other elements in the park—e.g. the color of the sign posts are proposed match the charcoal gray of the new light bollards.

No signs are planned for the other locations on the Eastern Promenade at this time. At the workshop, the applicant might be asked to discuss what, if any, signage plans are being considered for the balance of the Eastern Promenade and what relationship any additional signs will have with those proposed for Fort Allen Park.

Attachments:

1. Letter from Diane Davison, Executive Director, Friends of the Eastern Promenade
2. Plans and details prepared by Montgomery Design

AH.1



Our Mission

Friends of the Eastern Promenade is a nonprofit organization dedicated to preserving the Park's significant historical landscape, and contributing to the community's well-being.

Board of Directors

George Campbell
President

Carol Smith
Vice President

Stephanie Adams
Secretary

William Ellis III
Treasurer

Lyndee Allen, Brown
David Carlson

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Sharon Smith

Robert W. Wadsworth

Diane Davison
Executive Director

Jessica Straco

Michael J. B.

David L. Wadsworth

Deb Andrews
Historic Preservation Board
389 Congress Street
Portland, ME 04101

May 1, 2015

Dear Deb;

Friends of the Eastern Promenade (FoEP) is excited to be requesting Historic Preservation Board approval for one of the final – and most enticing aspects of this historic landscape restoration project at Fort Allen Park.

As you may recall, the process to rehabilitate Portland's premier Olmsted landscape began in April of 2011 with research to identify the period of historic significance to which the Park would be restored. This timeframe was identified as 1890-1930.

Today, 90% of the work is complete. *(Out of the 1.5 million budget, FoEP has \$55,000 remaining to be raised to provide remaining wrought iron fencing around the perimeter of the site.)*

We are most fortunate to now be working with Montgomery Design; Nancy Montgomery and Jack Vreeland, to provide interpretive educational exhibits within key locations at this site. Nancy and Jack's reputation is unsurpassed for providing the highest quality interpretive and graphic design skills combined with writing and technology to weave pictorial stories together which educate and inspire those viewing their work.

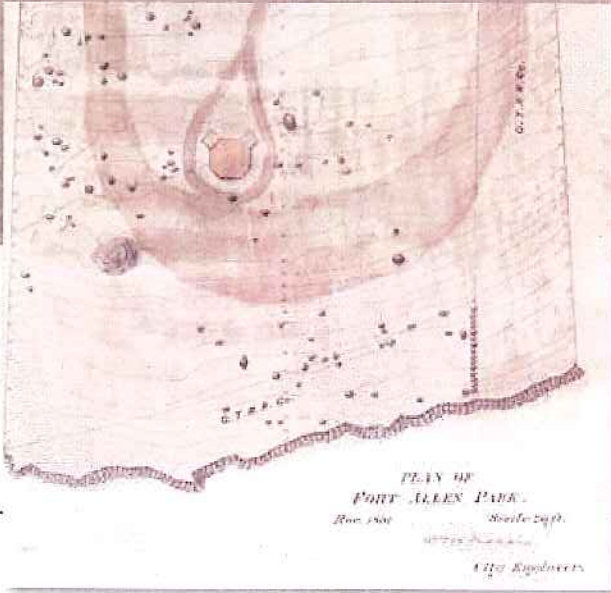
These installations will allow our community and our visitors to enjoy an enlightened perspective on the "Stories" Fort Allen has to share of the rich history of the landscape, its memorials and monuments.

Funding for this work has been provided by Norway Savings Bank in the amount of \$25,000; and Maine Community Foundation \$5,000.

We look forward to our on-site workshop next Wednesday, May 6. Thank you, in advance, for making time in your busy agenda line up to include this worthwhile consideration.

Sincerely,

Diane Davison,
Executive Director,
Friends of the Eastern Promenade



FORT ALLEN PARK INTERPRETIVE EXHIBITS

and crumbs" to entice visitor into the park: Site-specific smaller signs at memorials utilize a "Best Interpretive Practices" approach

PROPOSED EXHIBIT PANEL LOCATIONS & THEMES



INTERPRETIVE THEMES

- | | | | | | | | | | |
|---|---|---|--|---|---|---|---|---|---|
| 1 HISTORY of FORT ALLEN
• Why was Fort here?
• Fort berms
• Significance: Declaration of Independence | 2 ORIENTATION in Historic Park
• The big picture: a historic park
• The Park and its elements
• What am I looking at? | 3 1860s CANNON
• These Siege Rifles are Civil War artifacts | 4 1885 G.A.R. TENT CITY
• (What is GAR?)
• Grand Army of the Republic | 5 1893 BANDSHELL
• Connection to City Engineer William Goodman's 1891 plans | 6 GUN from the Maine
• Spark for the Spanish American War
• Context of the guns and the ship | 7 HARBOR DEFENSES Overlook
• Fort Gorges, House Island/Fort Scammel | 8 OVERLOOK What are we looking at?
• Defining the view (islands, harbor, etc.)
• Calendar Islands, Portland Harbor, Fore River, Lighthouses
• Longfellow poem snippet | 9 WW I JACOB COUSINS Jewish Memorial | 10 MAP TRI-PANEL at Cutter Street
• FoEP Maps
• Rules of the Park
• Dog areas/Rules |
|---|---|---|--|---|---|---|---|---|---|



You are here.

A bold vision for our public parks

“Such ground should have an approach commensurate with the value of the outlook.”

—William A. Goodwin, Portland city engineer, 1878 writing about his dream for these dramatic views (Art: Baker-McCully Bridge View, 1876)

“... Fort Allen lot, then unsightly with ash heaps, had to be taken in hand, ...”

—James P. Baxter, Mayor of Portland, 1905



“... and in a remarkable short space of time, transformed a piece of rough ground into the beautiful park which it now is, a delight to our citizens and thousands of visitors to our city...”

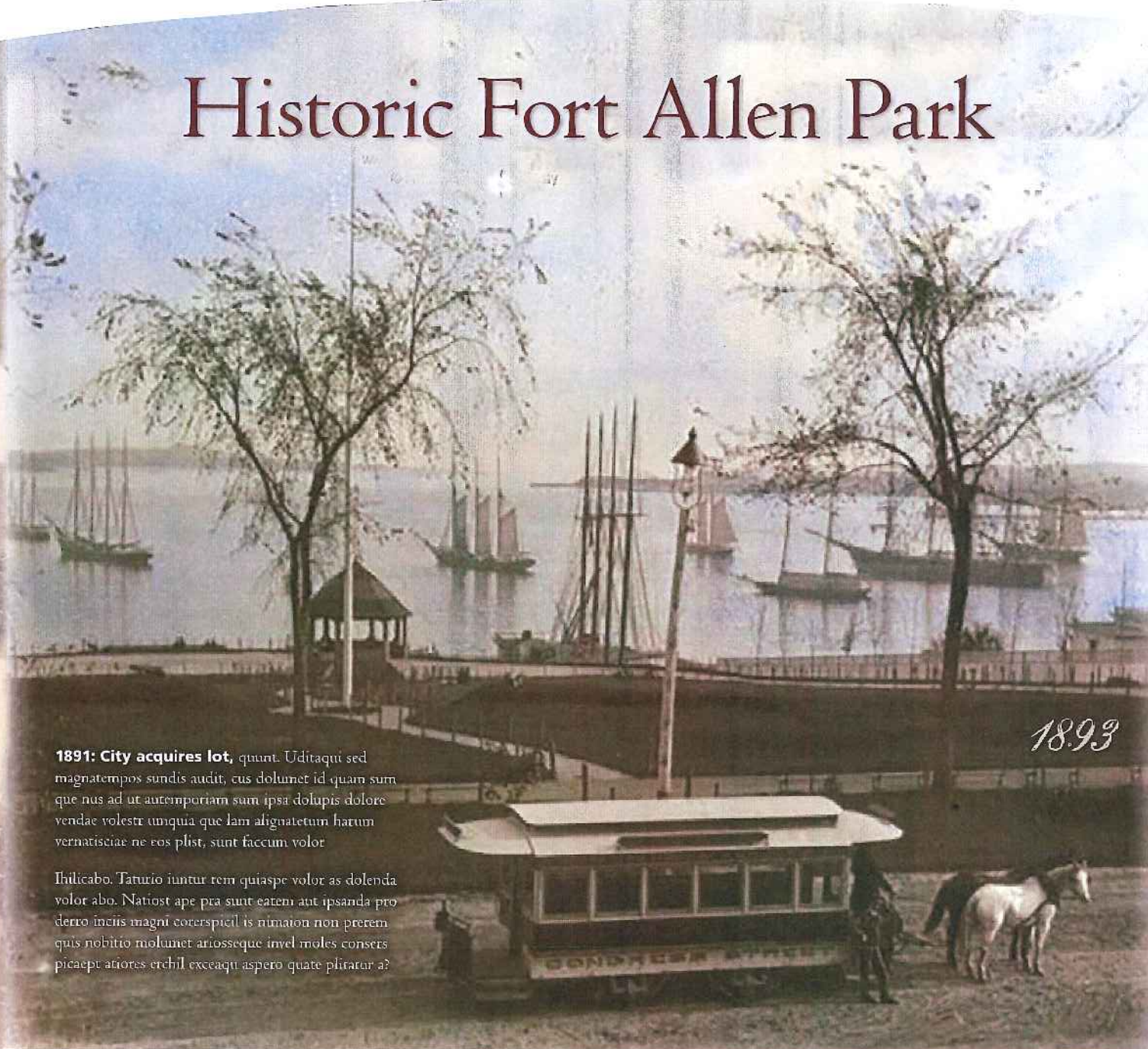
—James P. Baxter, Mayor of Portland, 1905



Funded by the generous support of **Norway Savings Bank** COMMERCIAL SOLUTIONS™

As a project of **FOEP** LOGO HERE

Historic Fort Allen Park



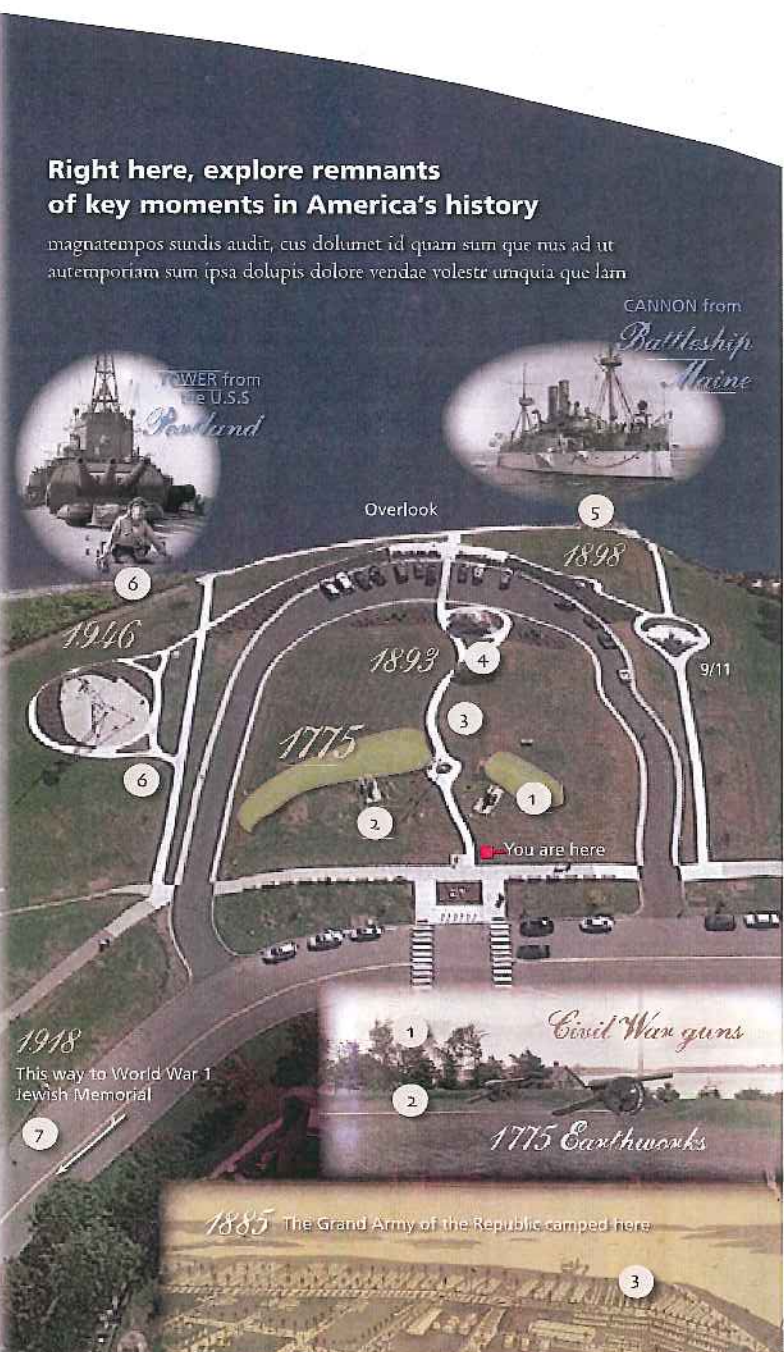
1893

1891: City acquires lot, quunt. Uditatqui sed magnatempus sundis audit, cus dolunet id quam sum que nus ad ut autemporiam sum ipsa dolupis dolore vendae volestr unquia que lam alignatetum harum vernatisciae ne eos plist, sunt faccum volor

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Right here, explore remnants of key moments in America's history

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CANNON from Battleship Maine

TOWER from the U.S.S. Portland

1898

1893

1775

1946

1918 This way to World War 1 Jewish Memorial

1885 The Grand Army of the Republic camped here

1775 Earthworks

Civil War guns

9/11

1

2

3

4

5

6

7

You are here

DRAFT WITH SAMPLE PALETTE



3

Civil War guns

The original cannons: Fort Allen was designed in 1775 for 8 guns to defend the harbor but outfitted with only two, and likely never fired.

Later, they were removed when Portland's defense shifted to harbor forts such as Fort Gorges visible in front of you.

Fort Gorges

DRAFT

These Civil War Guns are two historic 4.5-inch Siege Rifles acquired in the early 1900s, likely as army surplus.

In 2014, these guns were refurbished and mounted on replica aluminum garrison carriages as part of Fort Allen's Bicentennial Celebration.

PLAN OF
FORT ALLEN PARK.

1893

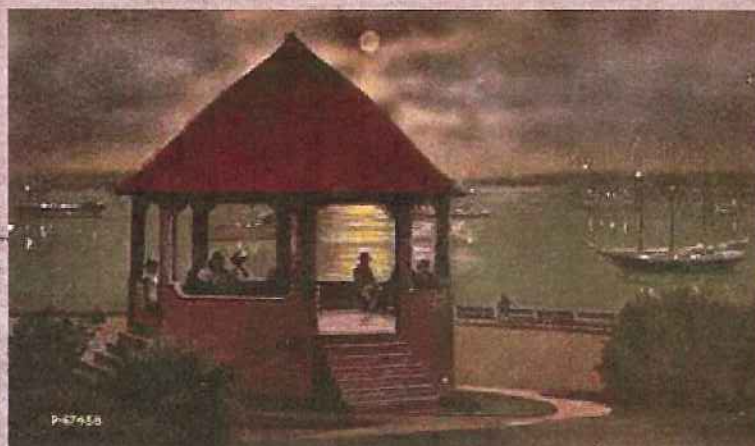
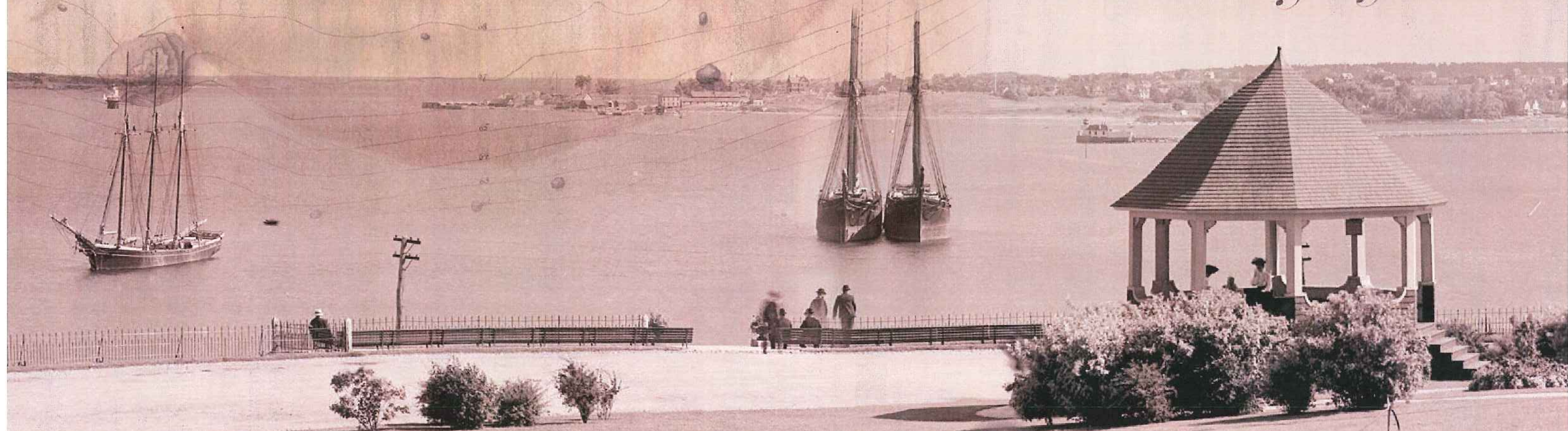
Bandshell: \$299

Nov. 1891

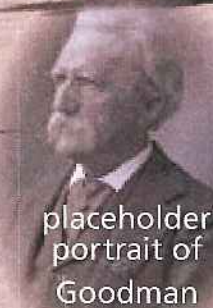
Scale 20 ft.

Wm. A. Goodwin

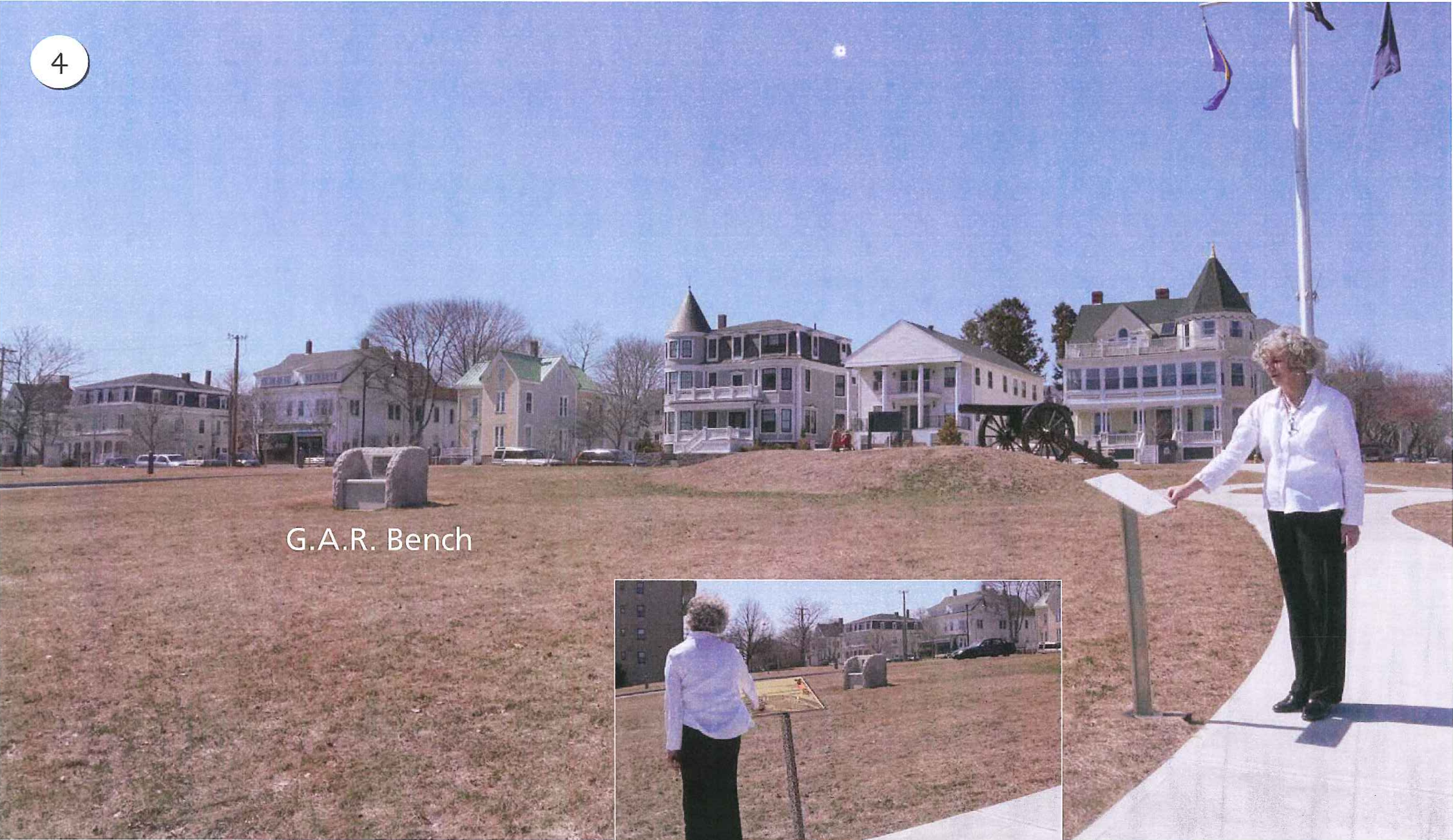
City Engineer.



City engineer William Goodwin created the first plan for Fort Allen Park with a public bandshell as a key feature. [His 1891 plan shown above]



Designed by two of Portland's leading architects, **Albert Winslow Cobb and John Calvin Stevens**, it cost \$299.01 and was finished in 1893.



G.A.R. Bench

1885's Tent city of Civil War Veterans

The Grand Army of the Republic

You are here

June, 1885: Portland hosts a reunion for over 20,000 Civil War veterans who tented here at Camp U.S. Grant, the 19th National Encampment.

This granite bench in front of you honors the G.A.R., that same veterans' organization for the Union Army, Navy, and U.S. Revenue Cutter Service who served in the Civil War. Membership reached a peak of 400,000 in 1890.



Fort Allen Interpretive Panel Matrix

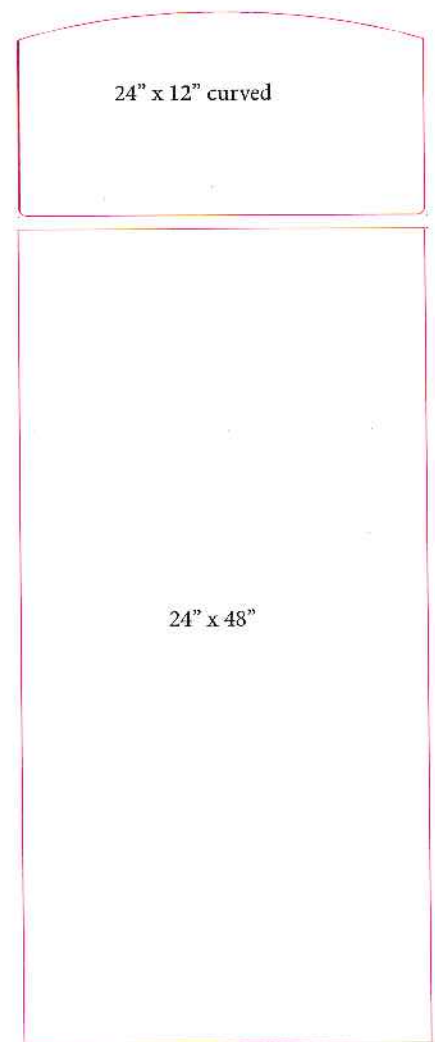
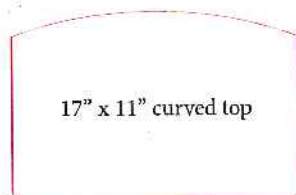
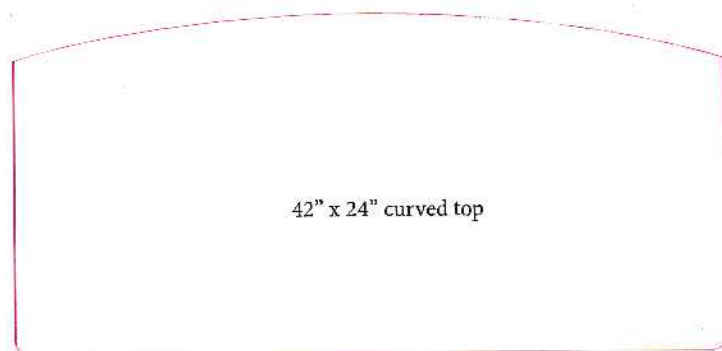
Montgomery Design • 4/30/2015

Map Key Number	Theme	Panel Size	Mount style	Mount detail
1	Fort Allen History	42" x 20" curved top	Double pedestal	In ground
2	Park History & Orientation	42" x 20" curved top	Double pedestal	In ground
3	Civil War Cannon	17" x 11" curved top	Single pedestal	In ground
4	G.A.R. 1885 Tent City commemorative bench	17" x 11" curved top	Single pedestal	In ground
5	1893 Bandshell	17" x 11" curved top	Single pedestal	In ground
6	USS <i>Maine</i> cannon	17" x 11" curved top	Single pedestal	In ground
7	Harbor defences: Forts	42" x 20" curved top	Granite	In ground
8	Overlook: captioning the Landscape	42" x 20" curved top	Granite	In ground
9	USS <i>Portland</i>	17" x 11" curved top	Single pedestal	In ground
10	Jacob Cousins WW1 Memorial	17" x 11" curved top	Single pedestal	In ground
11	Gateway/Orientation	3 @ 24" x 24, 3 @ 24" x 12" curved	3 sided vertical	Baseplate

Specifications

Panels 1/2" Exterior CHPL Graphic
 Pedestals and posts Powder Coated Aluminum best match to lights. Samples coming

See Fossil documents attached for details



FOSSIL

I N D U S T R I E S

FOSSIL TECHNICAL SPECIFICATIONS

Products Description for Custom High Pressure Laminate (CHPL)

Solid Composite Panels

General Description.

Fossil solid composite panels are, fire retardant, impervious to moisture, extremely resistant to UV rays, scratching, impact, and graffiti. Fossil outdoor panels are protected with a 10 year UV inhibitor. Graphics are made using 12-Color High Definition printing technology. Panels are entirely made in the U.S.A. Thickness from 1/16" to 1". Grades over 1/2" are self-supporting and can be fitted with threaded inserts.

Laminate Grades

General Description.

Laminate grades are manufactured with a smooth sub-surface image on one side and a sanded surface on the other side to allow proper bonding to the supporting substrate. Bonding FOSSIL laminate panels to substrate materials should be done according to the proven principles of veneering. Particleboard and MDF are among the many suitable substrates on which a FOSSIL laminate grade panels can be bonded. Fossil 0.035" panels can be formed to simple bends and profiles. FOSSIL 0.048" is a general purpose panel suitable for practically all flat (horizontal or vertical) applications. Panels are fire retardant, resistant to moisture, extremely resistant to UV rays, scratching, impact, and graffiti. Fossil outdoor panels are protected with a 10 year UV inhibitor. Graphics are made using 12-Color High Definition printing technology. Panels are entirely made in the U.S.A.

Thickness

1/2" (12mm)

Weight

Grade Pounds Per Sq.Ft.

1/2" = 3.6

Surface Finish

Semi-Gloss: A reflective finish that accentuates detail and diminishes reflective light. Reflectivity of 30 + or - 5 gloss units. UV Inhibitors added to outdoor finish.

Core Color

Black

Strength

Terms:

M.D. Machine Direction Length of the sheet

C.D. Cross Direction Width of the sheet

P.S.I. Pounds Per Square Inch

Ft/Lbs/IN Foot Pounds Per Inch

Comprehensive Strength:

M.D. 193,064 Kpa (31,000 PSI) C.D. 172,378 Kpa (25,000 PSI)

Tensile Strength:

M.D. 151,693 Kpa (22,000 PSI) C.D. 110,322 Kpa (16,000 PSI)

Flexural Strength:

M.D. 158,588 Kpa (23,000 PSI) C.D. 103,427 Kpa (15,000 PSI)

Impact (Edgewise)

M.D. 0.6 FT/LBS/IN C.D. 0.5 FT/LBS/IN

Rockwell Hardness M Scale: 95 to 115

PRODUCT PROPERTIES:

Product Description:

High Pressure Decorative Laminate consisting of decorative surface papers, impregnated with melamine resins, bonded under heat and pressure to kraft papers impregnated with phenolic resins.

NEMA:

FOSSIL CHPL panels exceed the standards for decorative laminates established by the National Electrical Manufacturers Association NEMA LD3-1991. These standards establish the minimum criteria for resistance to wear, boiling water, high temperature, cigarette burns, fading, dimensional stability, staining, appearance and formability (bending and postforming grades).

Chemical & Stain Resistant:

FOSSIL panels are perfectly suited for commercial use where chemical products are used. They are resistant to common house-hold products, solvents, mild alkalis, and diluted mild acids. Some staining agents, especially those with grease bases paint or ink, will require the use of a solvent for removal. These stains can be removed using turpentine, 100% mineral spirits, isopropyl "rubbing alcohol", Goof Off "Graffiti Remover" or WD-40, lacquer thinner, acetone or MEK.

Static Electricity:

FOSSIL CHPL panels do not store static electricity and are therefore suitable for use in controlled environments where accumulation and retention of static electricity must be avoided.

Fire Retardant:

FOSSIL CHPL panels are suitable for application where fire retardant properties are required by building codes.

Sheet thickness: 0.035" (.889mm)

1. Exceeding performance requirements of NEMA LD 3-1995 Grade VGF.
2. Surface burning characteristics in accordance with ASTM E 84; unbonded: Flame spread 40; Smoke developed 70.

Sheet thickness: 0.048" (1.2mm)

1. Exceeding performance requirements of NEMA LD 3-1995 Grade VGF.
2. Surface burning characteristics in accordance with ASTM E 84; unbonded: Flame spread 35; Smoke developed 80.

Sheet thickness: 1/16" (1.5mm) to 1" (25mm)

1. Exceeding performance requirements of NEMA LD 3-1995 Grade VGF.
2. Surface burning characteristics in accordance with ASTM E 84.
Flammability ASTM E-162. Flame propagation index of 10 (Radiant Panel) to 15 without drip of flame.

Toxicity Test: LC50 Pittsburgh Protocol Toxicity Test. Equal to and no more toxic than wood or paper.

DISCLAIMER:

This information is presented to assist you in determining what grades of material may meet the requirements of your project. User shall determine the suitability of the product for their intended use, and user assumes all risks and liability whatsoever in connection therewith. All statements, technical advice and recommendations contained herein are based on tests believed to be reliable, but the accuracy thereof is not guaranteed, and is made in lieu of all warranties, express or implied: seller's and manufacturer's only obligation shall be to replace the quantity of product proven to be defective. Neither seller nor manufacturer shall be liable for any injury, loss or damage, direct or consequential, arising out of the use of or the inability to use the product. No statement or recommendation contained herein shall have any force or effect unless in an agreement signed by officers of Fossil Industries, Inc.

FOSSIL
INDUSTRIES

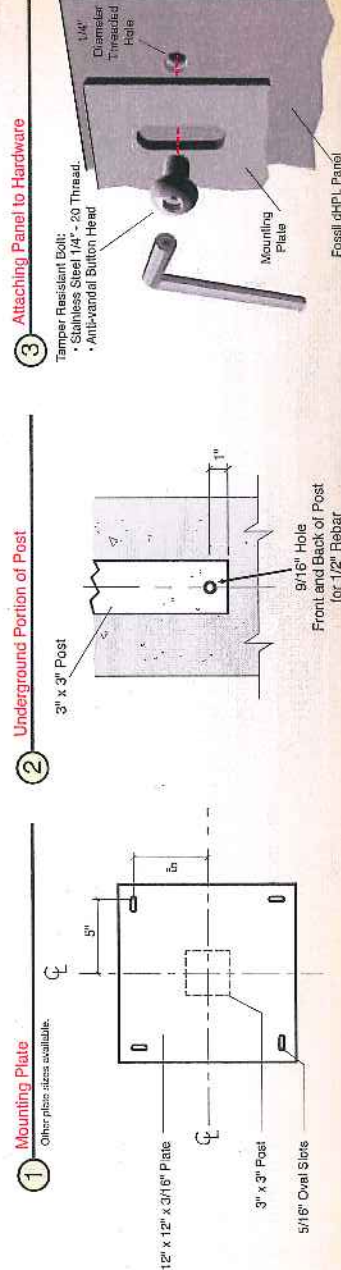
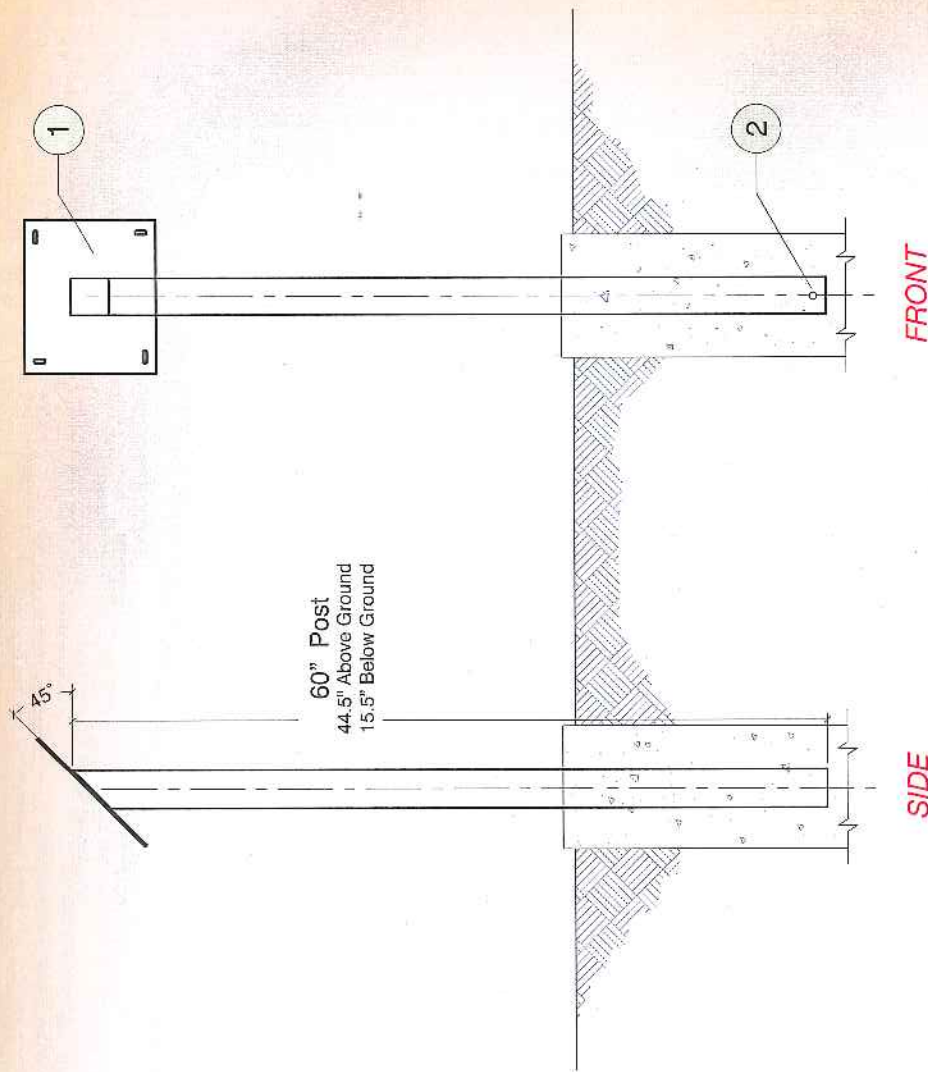
FOSSIL INDUSTRIES, INC.
44 Jefryn Boulevard
Deer Park, NY 11729
800-244-9809 631-254-9200
www.FossilGraphics.com

Updated: 2-13-2014

DOUBLE POST PEDESTAL: In Ground

- Black Powder Coated Aluminum
- Custom Sizes and Colors Available

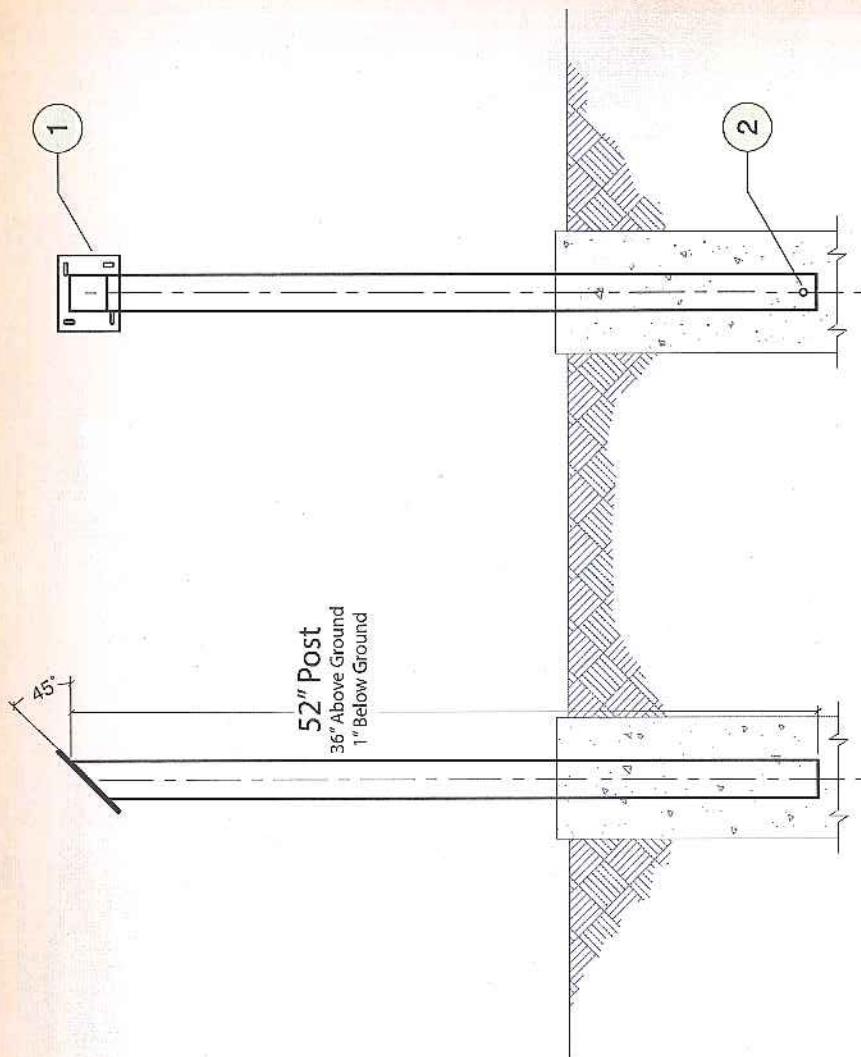
Part #: DPG1212



SINGLE POST PEDESTAL: In Ground

- Black Powder Coated Aluminum
- Custom Sizes and Colors Available

Part #: SPG66



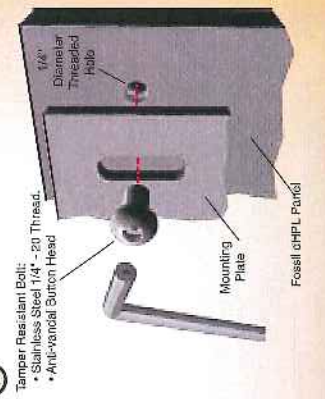
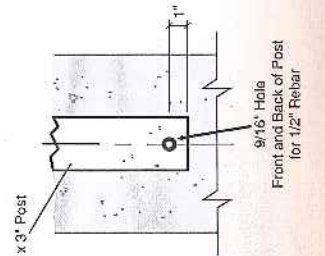
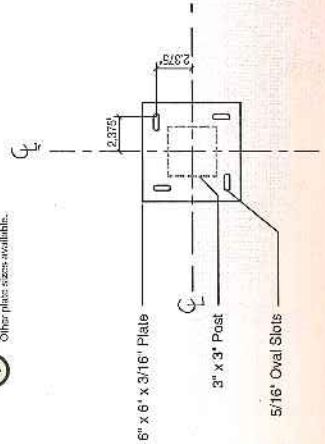
FRONT

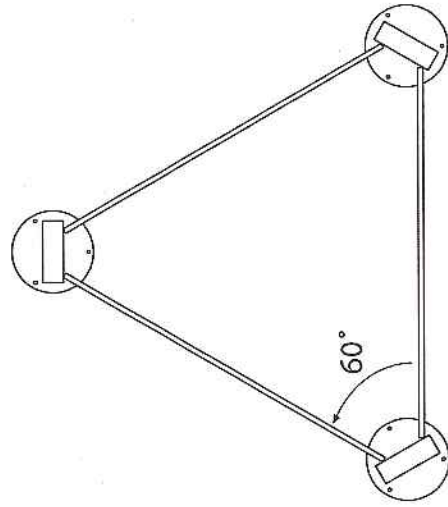
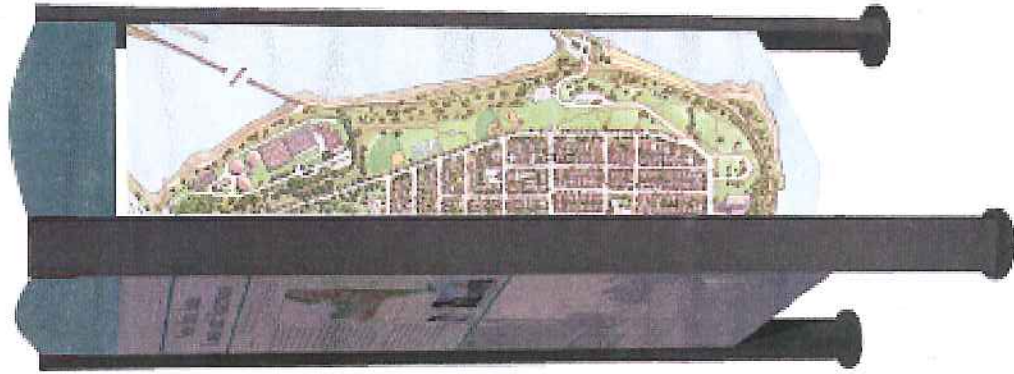
SIDE

1 Mounting Plate
Other plate sizes available.

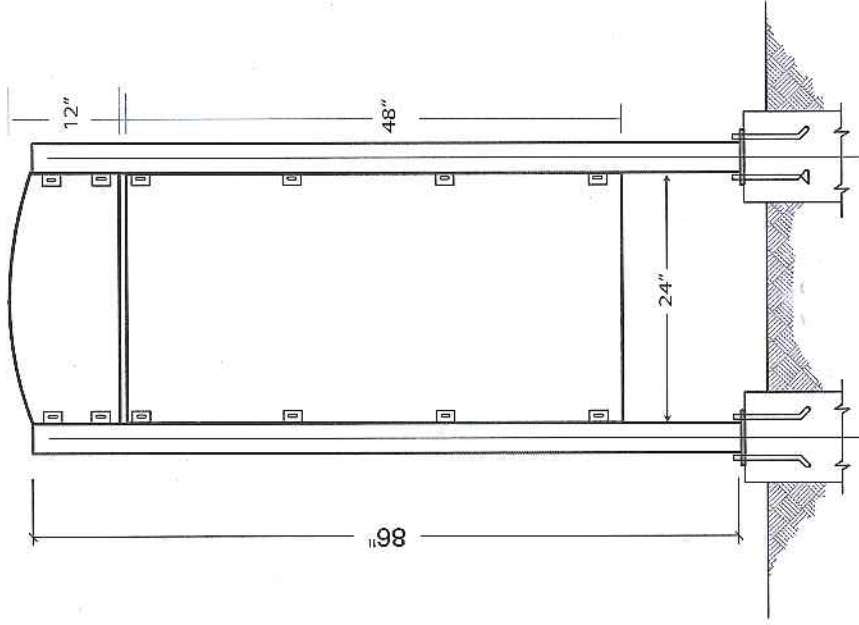
2 Underground Portion of Post

3 Attaching Panel to Hardware



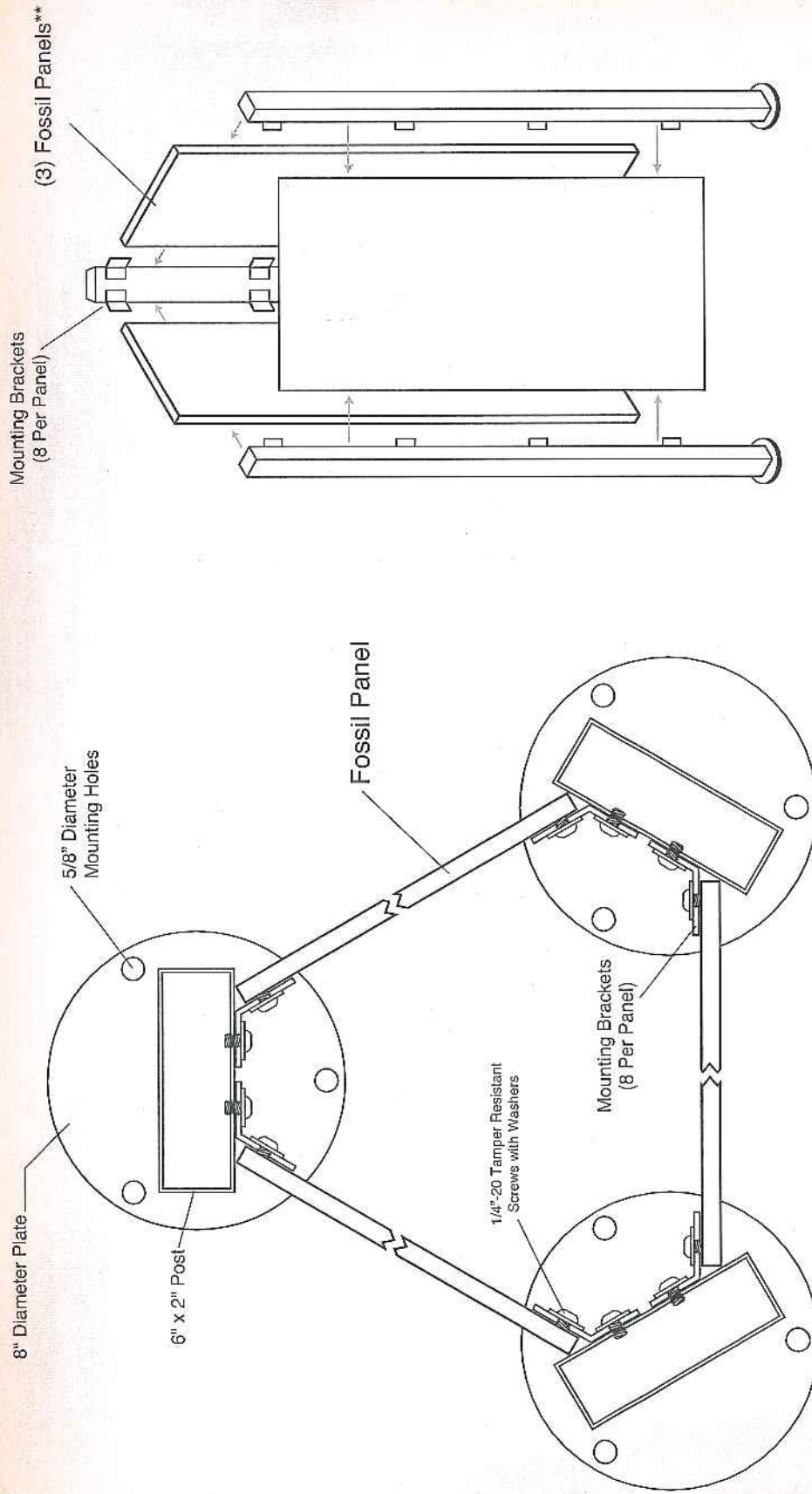


TOP



FRONT

TRIANGULAR DISPLAY



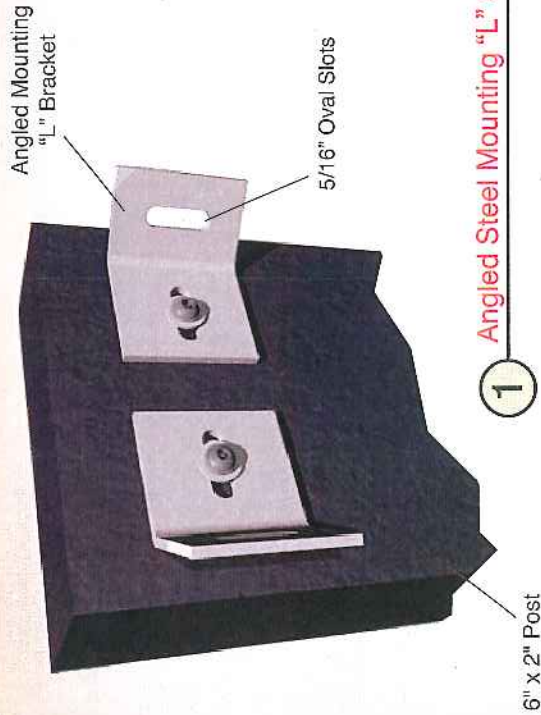
Triangular Kiosk - Top View

Multiple Post Assembly

TRIANGULAR -86 SPECIFICATIONS

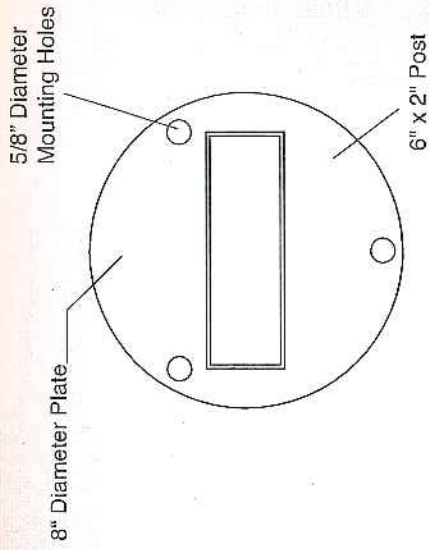
86 MOUNTING BRACKET, BASE PLATE & BOLT

SPECIFICATIONS



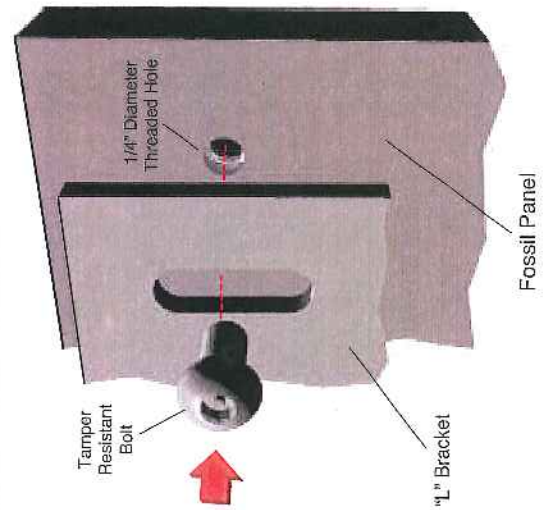
1

Angled Steel Mounting "L" Shaped Bracket



2

8" Diameter Base Plate (6x2 Post)



1/2" FOSSIL PANEL ON FOSSIL SUPPORT

TAMPER RESISTENT BOLT:

- BUTTON-HEAD ANTI-VANDAL SCREWS
- 1/2" LONG X 1/4" -20 THREAD
- STAINLESS STEEL

3/4" FOSSIL PANEL ON FOSSIL SUPPORT

TAMPER RESISTENT BOLT:

- BUTTON-HEAD ANTI-VANDAL SCREWS
- 5/8" LONG X 1/4" -20 THREAD
- STAINLESS STEEL

1" FOSSIL PANEL ON FOSSIL SUPPORT

TAMPER RESISTENT BOLT:

- BUTTON-HEAD ANTI-VANDAL SCREWS
- 3/4" LONG X 1/4" -20 THREAD
- STAINLESS STEEL

INCLUDES:



Fossil 10 Year Warranty

Fossil Industries, Inc. warrants that under normal use, it's CHPL graphics will not fade, delaminate, peel, blister or crack for a period of ten (10) years from the date of purchase. The sole remedy will be for the repair or replacement of the defective product, at the discretion of the Manufacturer.

Manufacturer shall not be liable for any other damages, direct or indirect, sustained or suffered by the purchaser or any other person, including costs of removal and or reinstallation. Claims resulting from misuse, willful destruction, acts of God, or improper fabrication/installation will be disallowed.

This warranty is supplied to the buyer in place of all other warranties, expressed or implied.

Manufacturer does not give warranty as to merchant ability or fitness for a particular use, nor will any oral statement constitute a warranty or amend a specific warranty. Laminate grades must have exposed edges and back sealed from moisture. Some degradation of materials and graphics over time is considered normal wear. This limited warranty applies to qualities that can be detected visually from a normal viewing distance. This warranty is effective as of 4 - 16 - 2012 for products purchased on or after this date.

FOSSIL INDUSTRIES, INC. - 44 Jefryn Boulevard - Deer Park, NY 11729

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INDUSTRIES

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
PROPOSAL TO DESIGNATE INDIA STREET HISTORIC DISTRICT**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Deb Andrews, Historic Preservation Program Manager

DATE: May 1, 2015

RE: May 6, 2015 Workshop (3rd) to Consider Designation of India Street Historic District

Introduction

A third, and potentially final, workshop has been scheduled on a proposal to designate the historic core of the India Street neighborhood as a local historic district. The upcoming workshop will focus on the relationship of historic district designation and the adoption of a Form-Based Code for the India Street neighborhood. The recently-completed India Street Sustainable Neighborhood Plan, as forwarded by the India Street Neighborhood Advisory Committee, recommends the adoption of both land use regulatory tools as effective means to guide future development in the neighborhood. (Board members will recall that unlike traditional Euclidean zoning, which focuses on the question of allowable uses in a given neighborhood, a Form-Based Code focuses on the form, scale and placement of development in the neighborhood and is generally less prescriptive on the issue of allowable uses.)

At Wednesday's workshop, Planning Division Director Alex Jaegerman will review the status of the Form-Based Code proposal and its key elements. Although Urban Designer Caitlin Cameron introduced the topic at a previous workshop, the FBC proposal has continued to evolve and various historic preservation considerations have informed some of the latest provisions under consideration. Mr. Jaegerman will also describe how Planning and Historic Preservation staff envision the two regulatory programs working together. It is staff's intention that the two tools complement, rather than duplicate or contradict, each other and that the review process for future applicants is as streamlined, consistent and predictable as possible. Attached is a memo prepared by Urban Designer Caitlin Cameron (who is unable to attend Wednesday's workshop) that provides an overview of the draft code and explains the interface between regulatory tools. The Historic Preservation Board is invited to provide input as Planning staff and the Form-Based Code working group finalize their proposal.

Note that as proposed, the Form-Based Code will be applicable to the entire India Street neighborhood, including areas outside the boundaries of the proposed historic district. As currently drafted, the Code includes both core dimensional standards (requirements) and

design guidelines. The design guidelines were developed based on an analysis of prevailing development patterns and building characteristics in the neighborhood. As such, it is envisioned that these design guidelines would be used by the Historic Preservation Board as an additional resource in its review new construction, major building additions or comprehensive renovation proposals, together with the more general review standards and guidelines included in the historic preservation ordinance. As guidelines, they would not be mandatory, but would inform the review process, both for the benefit of the applicant and the Board.

Staff suggests that these design guidelines be incorporated into the Historic Preservation Board's recommendation as regards adoption of an India Street Historic District. Note the HP ordinance allows the Historic Preservation Board to propose design guidelines specific to an individual historic district as part of their district designation recommendation to the Planning Board and Council—see Sec. 14-617 (c) in Attachment 3. While this has not been the general practice to date, it is allowed for in the ordinance and may be helpful in this instance.

Attachments

1. Memo from Caitlin Cameron, Urban Designer
2. Draft Form-Based Code
3. Excerpt from historic preservation ordinance: Sec. 14-617 (c)
4. Formal letter of nomination submitted by Board members Penny Pollard and Julia Sheridan on March 18, 2015 with accompanying proposed district boundary map
5. Recent communications re: historic district proposal

Memorandum
Planning and Urban Development Department
Planning Division



To: Scott Benson, Chair and Members of the Portland Historic Preservation Board

From: Caitlin Cameron, Urban Designer

Date: May 1, 2015

Re: India Street Historic District and Form-based Code Interaction

Meeting Date: May 6, 2015

This memo addresses the question of how an India Street Historic District will interact with the Form-based Code (FBC) as two different regulatory tools applicable to the same neighborhood.

The Form-based Code includes three Subdistricts, Regulating Plan, General Development Standards, Subdistrict Dimensional Requirements (height, setbacks, building length on the street), and Building Envelope Standards that are based on extensive observation of existing conditions as well as the stated goals of the India Street Sustainable Neighborhood Plan for a human-scaled, mixed-use built environment respectful of the existing context.

Staff has the following recommendations on how the two regulatory tools should interact in regulation and process.

I. Height

The dimensional standards required by the Form-based Code will apply to the entire district, including the historic district. However, the historic preservation review process does allow heights to be reduced for compatibility reasons. Therefore, the following three recommendations as to height regulation are suggested for the India Street Historic District. These recommendations are a result of internal discussions as well as feedback from stakeholder groups such as the Form-based Code working group and members of Greater Portland Landmarks.

Three recommendations for height:

1. Underlying zoning height of the FBC will apply to the historic district and may not be limited by the Historic Preservation review process.
2. The Historic Preservation review (board or staff) would have the ability to adjust how the maximum or minimum heights are achieved by a proposed project.
3. Height bonuses may be applied within the historic district on Congress Street and in the Urban Transitional (UT) subdistrict only.

II. Design Review and the Building Envelope Standards

Staff proposes that the review process for a project within the Historic District would follow the same process as currently in place – a project in the historic district will only undergo one design review which would be conducted by the Historic Preservation Board (or in the case of a project needing only administrative review, would be reviewed by the staff review panel and the Historic Preservation Program Manager).

The Form-based Code includes a set of design guidelines applicable to all projects – new construction, additions, alterations – within the India Street district. These design standards are based on study of existing conditions of the built environment in combination with the stated goals of the India Street Sustainable Neighborhood Plan – they recognize both the desirable characteristics of existing buildings to encourage and the less desirable aspects to avoid continuation of. These standards include quantifiable standards around building orientation, entry orientation and frequency, fenestration, façade proportion, and length of blank walls. The Building Envelope Standards section includes three levels of regulation to describe the design goals for the district as excerpted below. The current version of these Building Envelope Standards (from 3.30.15) may be found in the attached Form-based Code document – they are subject to revision as part of the Planning Board process.

Staff proposes that the India Street Historic District would include the FBC Building Envelope Standards as proposed design guidelines specific to this historic district as allowed for in Sec. 14-617.(b).
Recommendation by historic preservation board.

Sec. 14-xx Building Envelope Standards

The Building Envelope Standards (BES) contained herein address the quality of the India Street Neighborhood urban environment, recognizing that it is ultimately formed by numerous individual, private creative decisions. The BES provide an overview of how to create a pedestrian-oriented, visually cohesive, and economically vital neighborhood. They are designed to promote a clear, consistent, and predictable process for the redevelopment of land within the India Street Neighborhood.

Description of Terms

Design review is mandatory for all projects in the India Street Form-based Code District. The goals and requirements of the design review are listed under three headings for each review issue: *Intent*, *Guidelines*, and *Standards*. Descriptions for each are as follows:

Intent: Intent statements are provided to define goals that the guidelines and standards have been created to achieve. In circumstances where the appropriateness or applicability of a guideline or standard is in question or under negotiation, the intent statement will provide additional direction.

Guidelines: Design Guidelines provide further considerations to promote the goals defined by the intent statements. Guidelines use the term “should” or “may” to denote they are considered relevant to achieving the stated intent, and will be pertinent to the review process but will not be required for approval. Guidelines will, however, be strongly considered when there is a request to waive a related standard.

Standards: Design standards are objective criteria that provide specific direction based on the stated intent. Standards are used to denote issues that are considered critical to achieving the stated intent. Standards use the term “shall” to indicate that compliance is required unless it can be demonstrated that an acceptable alternative meets one or more of the following conditions:

- The alternative better achieves the stated intent;
- The intent which the standard was created to address will not be achieved by application of the standard in this particular circumstance;
- The application of the other standards and guidelines to achieve stated intents will be improved by not applying this standard;
- Unique site factors make the standard impractical or cost prohibitive.

DIVISION 15.2 IS-FBC - INDIA STREET FORM-BASED CODE DISTRICT

Sec. 14- XXX. Purpose

The India Street Form-based Code is different than traditional zoning, placing the primary emphasis on a buildings physical form and its relationship to the street, ~~with a secondary focus and de-emphasizing on~~ land uses. The intent of the India Street Form-based Code district is to establish a zoning district that encourages a vibrant, walkable, mixed-use, urban district, preserves and values the existing historic neighborhood fabric, and fosters and supports local businesses and residential areas. The components of a Form-Based Code include the Guiding Principles, REGULATING PLAN, Subdistricts, General Development Standards, Dimensional Requirements, BUILDING ENVELOPE STANDARDS, Diagrams, and Definitions.

The goal of the India Street Form-based Code is the creation and preservation of an active-vital and human scale public realm and the reinforcement of existing neighborhood character through good street space design.

The General Guiding Principles set forth here shall be applicable to all subdistricts within the India Street Form-based Code.

1. The street is a coherent space, with consistent building and streetscape character on both sides of the street. This agreement of buildings and streetscape across the street contributes to a clear public space and district identity.
2. The street wall is visually well defined. Land should be clearly public or private. Buildings contribute to the vital and safe public space while providing a clear boundary to the private, protected realm.
3. Street walls are engaged with the street environment. Buildings are inviting places that interact with and contribute to the street vitality. ~~Inactive edges,~~ ~~Vehicle~~ storage, garbage, and mechanical equipment should be kept away from the street. Shared infrastructure to the extent practicable, including, but not limited to service alleys, parking areas, stormwater treatment, public transportation facilities, and driveways, shall be utilized.
4. Buildings are designed for the urban environment. Buildings must be designed for the urban situation within the district which often includes mixed-uses. Buildings are positioned near the street and ~~F~~acades are oriented to the street.
5. Respect historic character. If your property is within the India Street Historic District, Sec. xx is applicable. New development, ADDITIONS, or ALTERATIONS in the India Street Historic District shall reflect and complement the character defining features and elements of the existing historic development to which it is visually related.

Sec. 14- xx Applicability

The requirements set forth in this Division shall apply to all new development, primary and accessory structures, including ADDITIONS and ALTERATIONS within the India Street Form-based Code District as designated on the India Street REGULATING PLAN.

Sec. 14-xx Other Provisions

All development must comply with relevant Federal, State, and City regulations. Whenever any provision of this Code imposes a greater requirement or a higher standard than is required in any State or Federal statute or other local by-law or regulation, the provisions of this Code shall govern unless preempted by State or Federal law.

Sec. 14-xx Severability

The provisions of this Code shall be severable, and in the event one (1) or more of the provisions of this Code shall be judged to be invalid or unenforceable, the validity and enforceability of the remaining provisions shall not in any way be affected or impaired by such adjudication.

Sec. 14-xx Compliance with the Regulating Plan

Within the India Street Form-based District as presented on the REGULATING PLAN, all lots hereafter created or modified, all buildings and structures hereafter erected, reconstructed, altered, enlarged or moved, all uses hereafter established, all other development or improvements, and all plans, applications and submissions shall comply with the requirements of this Form-based Code, as well as with all provisions of this Zoning Ordinance that are not superseded by the Form-based Code.

Sec. 14-xx Definitions

Terms used throughout this Form Based Code may be defined in Section 14-47 or elsewhere in the Zoning Ordinance. Terms not so defined shall be accorded their commonly accepted meanings. In the event of any conflict between the definitions in this Section and those in Section 14-47, or any other sections of the Zoning Ordinance, the Subdivision Rules and Regulations, or any other local land use ordinances, rules or regulations, those of this Form-based Code shall take precedence.

ADDITION: Any increase to footprint or volume of an existing structure. See Table 14.1c. Building – Principal & Accessory

ALTERATION: A change or rearrangement in the structural supports, exterior appearance, height, width or depth, moving of a structure from one location or position to another, or changing, adding to, or removing from or otherwise affecting the exterior appearance of a structure.

~~BLOCK: The aggregate of private lots, passages, and rear alleys circumscribed by streets.~~

~~BLOCK FACE: The aggregate of all the building facades on one side of a block.~~

BUILDABLE AREA: The area enclosed by the front, side, and rear yard setbacks.

~~STRUCTUREBUILDING~~, ACCESSORY: Detached structure that is incidental and subordinate in area and extent to the principal structure(s) on the property. A lot may have more than one accessory ~~structurebuilding~~. See Table 14.1c. Building – Principal & Accessory

~~STRUCTUREBUILDING~~, PRINCIPAL: The main structure(s) on a lot having the predominant area and extent. A lot may have more than one principal ~~structurebuilding~~. See Table 14.1c. Building – Principal & Accessory

STRUCTURES/BUILDINGS, ATTACHED: Two or more independent ~~structures-buildings~~ that share at least one common wall but have full building separation; not free-standing. Attached ~~structures-buildings~~ may or may not have common ownership.

BUILDING ENVELOPE STANDARD (BES): The basic parameters governing building form, including ~~the building envelope and required and preferred intent, guidelines and standards for~~ architectural elements such as proportion, articulation, fenestration, entries, roof lines, ~~façade composition, and~~ materials, ~~and articulation~~.

~~**DRIVEWAY:** The area used for vehicular access to an off-street parking area from a street or alley. Driveway shall also include the area used for vehicular access to areas of the zoning lot other than an off-street parking area.~~

ELEVATION: An exterior wall of a building not along a frontage line. See Façade and Table 14.1e. Frontage & Lot Lines

~~**ENTRANCE:** Point(s) of access for pedestrians into or out of a building that do not serve as the main point of access. A building may have more than one entrance.~~

ENTRANCE, PRINCIPAL: The main point of access for pedestrians into a building. A building may have more than one principal entrance.

EXPRESSION LINE: A line prescribed at a certain level of a building for the major part of the width of a Façade, expressed by a variation in material or by a limited projection such as a molding or balcony.

FAÇADE: Any exterior wall of a structure exposed to public view from a public right-of-way. See Elevation and Table 14.1e. Frontage & Lot Lines

FAÇADE, BLANK: Building façade that contains expanses of wall area with no windows, no entrances, and no other elements or features, or is otherwise undifferentiated.

FRONTAGE: The area between a building façade and the vehicular lanes, inclusive of its built and planted components. Frontage includes private and public frontage. See Table 14.1e. Frontage & Lot Lines

FRONTAGE LINE: A lot line bordering a public frontage. Facades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other lot lines. See Table 14.1e. Frontage & Lot Lines

FULL BUILDING SEPARATION: The condition of having a vertical party wall between two attached structures.

GREEN ROOF: A roof of a building that is partially or completely covered with vegetation. A green roof may serve the purpose of, but not limited to, stormwater retention or slowing, energy conservation, insulation, reduced heat island effect. Green roofs may be considered pervious for impervious calculations.

LOT LAYER: A range of depth of a LOT within which certain elements are permitted. See Table 14.1d. Lot Layers

~~LOT, CORNER: A lot on the junction of and abutting two (2) or more intersecting streets where the interior angle of intersection does not exceed 135 degrees.~~

PARTY WALL: A wall common to two adjoining attached buildings structures.

PASSAGE: A pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long blocks

~~PREDOMINANT: Architectural elements or characteristics being most frequent or common in a given subdistrict.~~

~~PREFERRED: A predominant architectural element or characteristic sanctioned as being an acceptable design choice in a given subdistrict. Any proposed architectural element or characteristic not listed as preferred shall require additional design review for compatibility with context.~~

REGULATING PLAN: A zoning map or set of maps that shows the boundary of the area and subdistricts subject to, or potentially subject to, regulation by the India Street Form-based Code.

STEPBACK: A building setback of a specified distance that occurs at a prescribed number of stories or height above the ground.

~~STOOP: A private frontage wherein the façade is aligned close to the frontage line with the first story elevated from the sidewalk with an exterior stair and landing at the entrance.~~

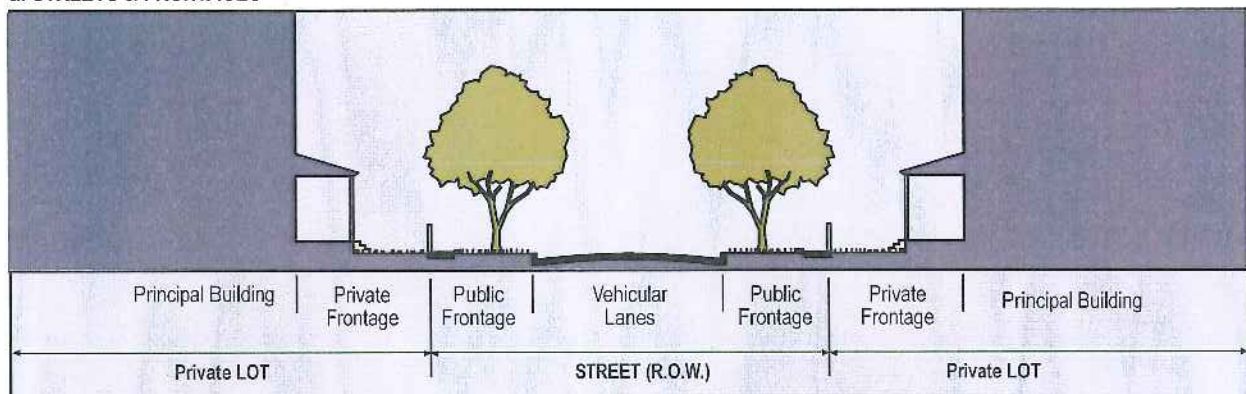
YARD, SIDE: A yard adjoining a side lot line extending from the front yard to the rear yard, the width of which shall be the shortest horizontal distance between the side lot line and any structure. On corner lots, non-frontage yards shall be considered side yards.

ZERO LOT LINE: The location of a structure on a lot such that one or more of the structure sides rests directly on a lot line. See Table 14.1e. Frontage & Lot Lines

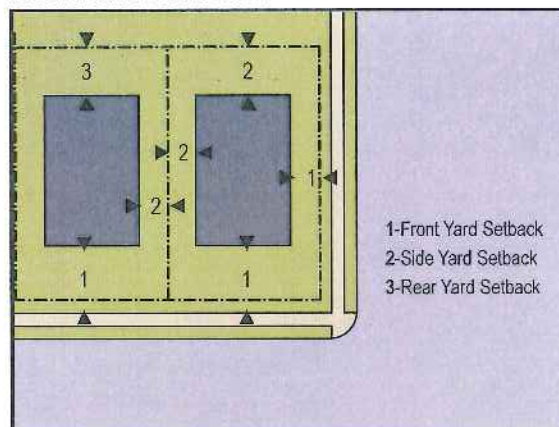
Table 14.1 Definitions illustrated

TABLE 14.1 DEFINITIONS ILLUSTRATED

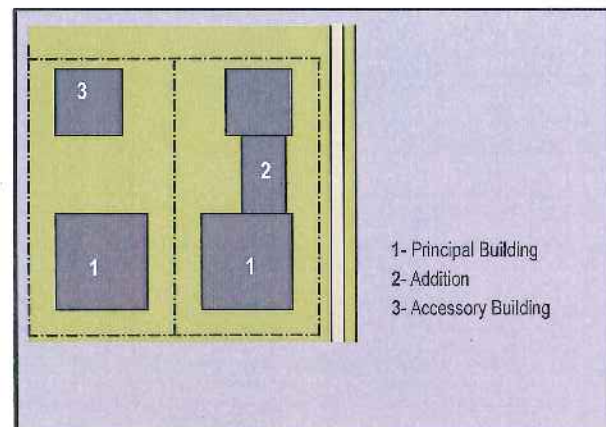
a. STREETS & FRONTAGES



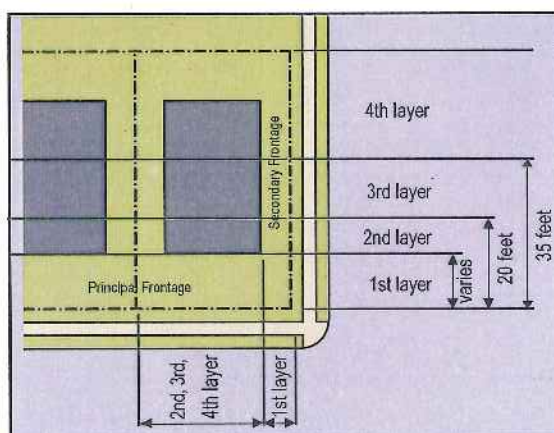
b. SETBACK DESIGNATIONS



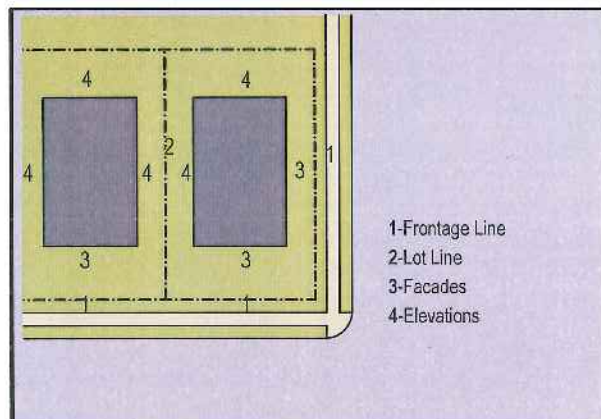
c. BUILDING - PRINCIPAL & ACCESSORY



d. LOT LAYERS



e. FRONTAGE & LOT LINES



Sec. 14-xx Establishment of subdistricts

The India Street Form-based Code District covers 57 acres and is divided into three distinct subdistricts.

a) Urban Neighborhood (UN) Subdistrict:

The intent of this subdistrict is to maintain and promote a mixed-use but primarily private, less active urban fabric. Building frontages may be less transparent and entries may be raised above sidewalk level. The subdistrict has smaller building footprints and many buildings within one block. Building types may include but are not limited to single, sideyard, and rowhouses, duplexes, triple-deckers, and double triple-deckers. Setbacks and landscaping are variable. Streets and sidewalks tend to be narrow.

b) Urban Transitional (UT) Subdistrict:

The intent of this subdistrict is to encourage higher density mixed-use building types that accommodate any use. Street-facing building frontages are a mix of activity level and more flexibility of height and scale. ~~G~~ground floor spaces may be less transparent and tend to accommodate flexible and changing uses. The subdistrict has larger building footprints and the most flexibility of height and scale. The streetscape may be less active than the UA subdistrict with wide sidewalks, street trees, and setbacks and stepbacks providing relief from large building masses.

c) Urban Active (UA) Subdistrict:

The intent of this subdistrict is to maintain and promote the look and feel of a small-moderate scale, diverse, mixed-use neighborhood with vibrant streets and active ground floor spaces. Buildings shall engage with the street at the ground level and contribute to a strong street wall. Building frontages are transparent and entries are at sidewalk level. Building height, mass, and scale shall be respectful of historic buildings in this subdistrictzone. The streetscape has steady street planting, and buildings set close to the street.

Sec. 14-xx Administration

The standards in the form based zones are specific and prescriptive. This level of specificity is meant to provide certainty for applicants, neighborhoods and City staff and is not intended to limit design creativity or ignore unique site features.

a) Application Requirements.

In addition all required application materials defined in Article V Site Plan, applicants submitting under the India Street Character-based Code shall additionally submit the application and checklist specific to this District.

b) Common Review Procedures.

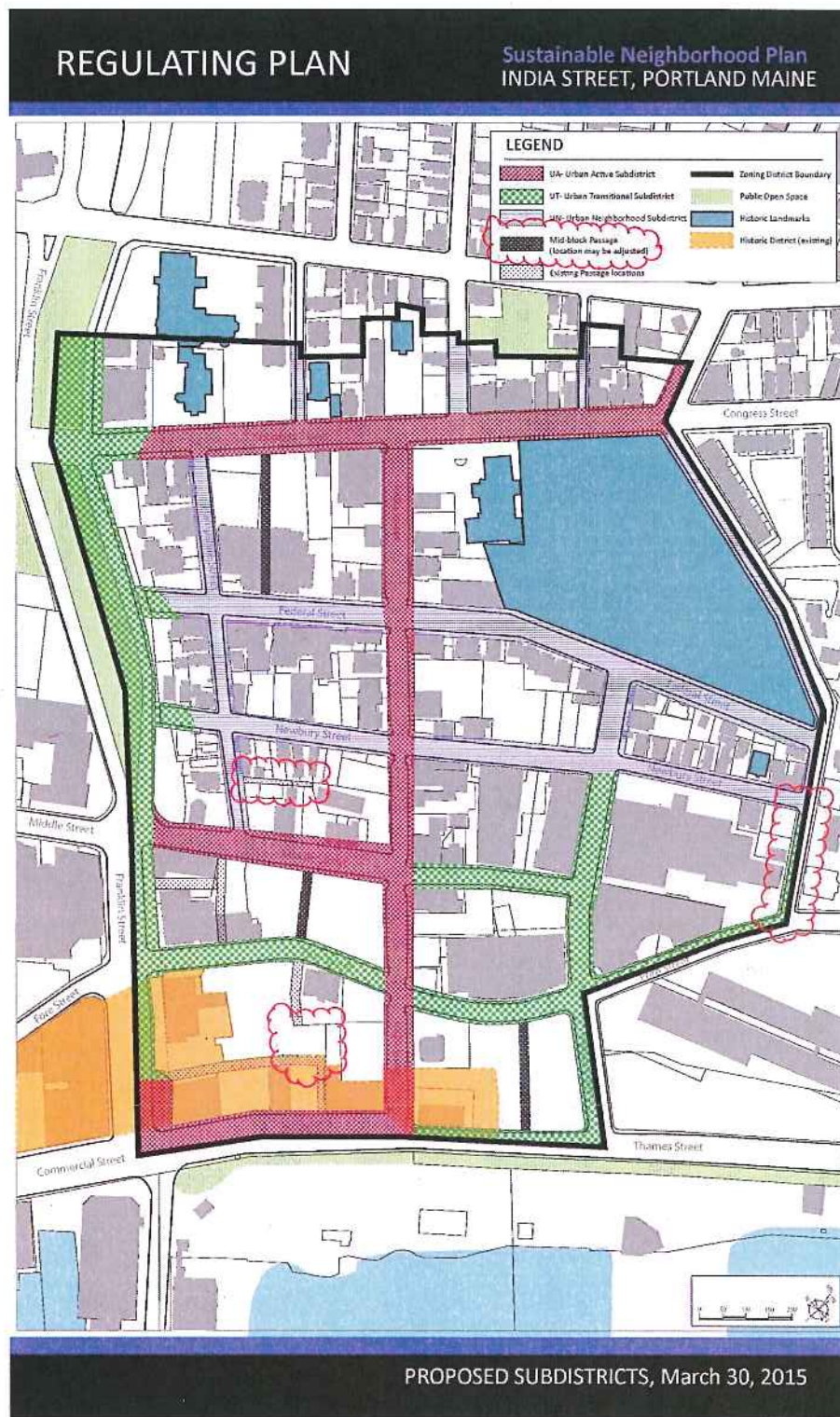
Development review will be conducted in accordance with the procedures set forth in Article V Site Plan of the City of Portland Zoning Ordinance, and as further defined by the table below:

Type of Application	Definition	Level of Review	Reviewing Authority
By Right Option	Projects on smaller site (square feet?) are considered under Level I or Level II Site Plan Review standards and are able	Administrative Site Plan- Level I, Level II	Planning Staff

	to build as a matter right when they meet all of the standards of the India Street Character Code.		
Special Permit Option	This option applies to projects that meet the intent of the code but deviate from one or more of the standards. They are considered under Level III or Master Development Plan as outlined in Article V Site Plan Review Standards, and require the approval of the Planning Board.	Level III Site Plan and Master Development Plan	Planning Board

Section 14-xx Regulating Plan

The REGULATING PLAN provides standards for the disposition of each property, or lot and how each relates to its adjacent properties and streets.



Sec. 14-xx General Development Standards

The following standards apply to all subdistricts unless expressly stated otherwise.

a) PROHIBITED USES – uses not to be established in the India Street Form-based Code District include:

Cremation facilities,

Drive-through facilities,

High-impact industrial uses, including industrial uses that are prohibited in the IL zone, specifically Section 14-233(c), (e – y), (aa),

Major/minor auto-service station,

Truck terminals,

Waste related services,

and storage and parking facilities for Class 1 flammable and combustible liquids (having an aggregate total of more than 100 gallons) but excluding storage that is part of a motorized vehicle or pleasure craft facility.

b) SITING STANDARDS

1. Mid-block Permeability – ~~For each and every 200' in frontage line length of lot:~~

- a. ~~For each and every 200' in frontage line length of lot, IL~~ots with frontage on two streets roughly parallel to Commercial/Thames Street, for each and every 200' in frontage line length of lot, a full break between structures of at least 20' in width must beshall be -provided roughly perpendicular to Commercial/Thames Street and within the middle third of the applicable street frontage. (see Table 14.2a. Mid-Block Permeability)
- b. Is encouraged in any location that connects existing public or private alleys, passages, or streets
- c. Any development providing a new mid-block passage with public access between two streets is eligible for one (1) additional story of up to 12' in height (see Table xx Height Bonuses)
- d. Refer to REGULATING PLAN for identified mid-block passage locations

2. Attached Buildings on Individual Lots - Subdivision developments consisting of horizontally attached ~~dwellings-buildings~~ on individual lots are not required to have side yards between buildings where a party wall condition will exist, but shall be required to meet the applicable side yard requirements at the external and internal subdivision lot boundaries between buildings that are not attached to each other.
3. Landscaping and Screening - The lot shall be suitably landscaped to screen parking, surrounding uses, and accessory site elements, including storage and solid waste receptacles where required by article IV (subdivisions) and article V (site plan).
4. Building ADDITIONS – A building ADDITION length may match but not exceed the length of the existing building to which it is an addition. All other Subdistrict Dimensional Requirements shall apply. (See Table 14.2b. Additions)

c) HEIGHT STANDARDS

1. Height Bonus – Only one height bonus may be applied per structure.

One (1) additional story of up to 12' in height is allowed if one of the following provisions is met:

a. For residential development with residential density equal to or greater than 150 dwelling units per acre (density must be achieved within stated subdistrict maximum building height), ~~one additional story of up to 12' above the stated building height maximum is allowed provided that such bonus story shall be stepped back an additional 15' from each and every building edge facing adjacent streets.~~

b. For any development providing a GREEN ROOF, where:

☐ at least 50% of the LOT AREA is pervious and,

☐ at least 50% of the roof is a GREEN ROOF, ~~one addition story in height (up to 12') is allowed provided that such added bonus story shall be stepped back an additional 15' from each and every building edge facing adjacent streets.~~

Table xx. Height Bonuses

Subdistrict	Maximum pre-bonus Height	Mid-block Passage	Residential Density	Green Roof	Maximum Height based on bonuses	Minimum Bonus floor Stepback (from the building edge facing any public right-of-way)
UN	45' and 4 stories	1 story Up to 12'	1 story Up to 12'	1 story Up to 12'	57' and 5 stories	15'
UT	65' and 6 stories	1 story Up to 12'	1 story Up to 12'	1 story Up to 12'	77' and 7 stories	15'
UA	50' and 4 stories	1 story Up to 12'	1 story Up to 12'	1 story Up to 12'	62' and 5 stories	15'

d) PARKING STANDARDS

1. Parking shall be provided as per Division 20 Off-Street Parking of Chapter 14 Land Use Code.

~~1-2. As specified in Division 20, No off-street parking is required to be provided for the first three dwelling units in a multi-family residential development.~~

~~2-3. Any major or minor development shall be eligible for the Peninsula fee-in-lieu of parking subject to the provisions of Sec. 14-345 of Chapter 14 Land Use Code.~~

~~3. Exception – One frontage building length up to the maximum building length (150' in UN and UA, 200' in UT) exceeding 100' without partition walls is allowed for the use of ground-level structured parking. Parking structures must meet the BES for Parking Garages (Sec. 14-xx) only if the following conditions are met:~~

~~a. Building projections or unique design features are provided at building entrances and/or at least one corner~~

~~4. Project provides an open space ratio of 15%. This area shall not include parking areas or other impervious surfaces as defined in Section 14-47.~~

SEC 14-XX. SUBDISTRICT DIMENSIONAL REQUIREMENTS

UN

Urban Neighborhood (UN) Subdistrict:

The intent of this subdistrict is to maintain and promote a mixed-use but primarily private, less active urban fabric. Building frontages may be less transparent and entries may be raised above sidewalk level. The subdistrict has smaller building footprints and many buildings within one block. Building types may include but are not limited to single, sideyard, and rowhouses, duplexes, triple-deckers, and double triple-deckers. Setbacks and landscaping are variable. Streets and sidewalks tend to be narrow.

SITING STANDARDS

Orientation - Principal Frontage	n/a
Lot Coverage	90% max

FRONTAGE REQUIREMENTS (within 1st Lot Layer)

- (a) Building Length* at 1st layer | 50' max.
at least 75% of total building length must be built within 1st Lot Layer (see Table 14.2c.)

Attached Buildings (Table 14.2)	
30' Building Length	unlimited run
50' Building Length	run of up to 3 buildings
100' Building Length	not permitted

SETBACKS

Principal Building	
(b) Front Yard (1st Lot Layer)	5' max.
Setback Applicability	75% of total building length must be built within 1st Lot Layer
(c) Side Yard	none required
(d) Rear Yard	10' min.
Accessory Building	
Side Yard	5' min.
Rear Yard	5' min.

WALLS/FENCES

1st Lot Layer - Height	6' max.
Visual Permeability	req. above 2' from sidewalk
All other Lot Layers - Height	8' max.

HEIGHT STANDARDS

Principal Building	
Building Height Min.**	25' and 2 stories
Building Height Max.	45' and 4 stories
Ground Story Height	n/a
Accessory Building	
Building Height Max.	25'

PARKING STANDARDS

Surface Parking Location	
Side Yard	20' max in width total
Rear Yard	permitted in 4th Lot Layer
Garage at frontage (attached or detached)	
Setback	not permitted in 1st Lot Layer
Garage Door Opening (max)	40% of facade length
or	20' whichever is less
Curb Cut Frequency	1 every 50'

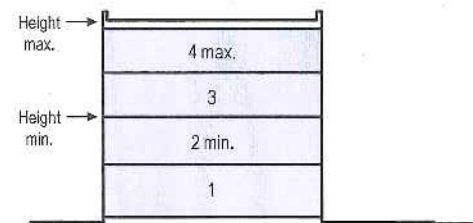
Exceptions

*One frontage building length up to 150' without partition walls is allowed for the use of ground-level structured parking on special condition (see Sec 14.xx(d) 3.)

**Pre-existing industrial uses are exempt from story minimums.

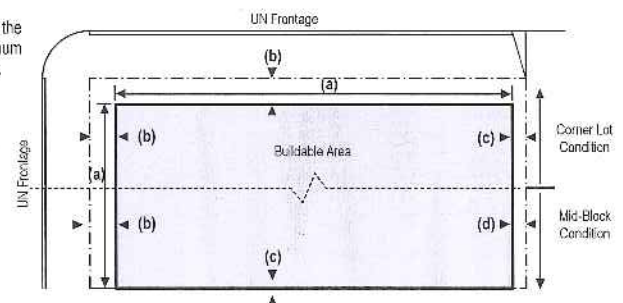
HEIGHT STANDARDS

- Height shall be measured as specified in Sec. 14-47 Definitions "Building, height of."
- Number of Stories excludes attics and raised basements.



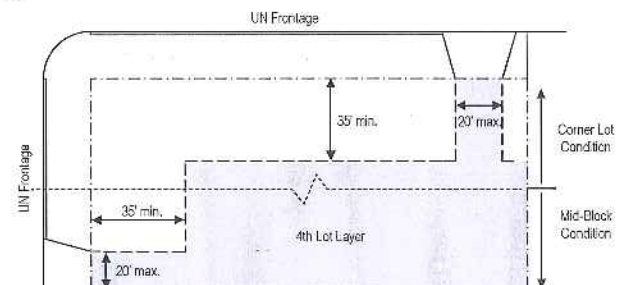
SETBACKS

- The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
- Facades shall be built along the Frontage Lines to the minimum specified width in the table.



PARKING PLACEMENT

- Surface parking areas may be provided within the shaded area shown.
- Exceptions may be made for structured parking with additional design review. See Sec. 14.xx (d) 3. Exception.



SEC 14-XX. SUBDISTRICT DIMENSIONAL REQUIREMENTS

UT

Urban Transitional (UT) Subdistrict:

The intent of this subdistrict is to encourage higher density mixed-use building types that accommodate any use. Street-facing building frontages are a mix of activity level and ground floor spaces may be less transparent and tend to accommodate flexible and changing uses. The subdistrict has larger building footprints and the most flexibility of height and scale. The streetscape may be less active than the UA subdistrict with wide sidewalks, street trees, and setbacks and stepbacks providing relief from large building masses.

SITING STANDARDS

Orientation - Principal Frontage	n/a
Lot Coverage	90% max

FRONTAGE REQUIREMENTS (within 1st Lot Layer)

(a) Building Length* at 1st Layer	100' max.
at least 75% of total building length must be built within 1st Lot Layer (see Table 14.2c.)	
Attached Buildings (Table 14.2)	
30' Building Length	unlimited run
50' Building Length	run of up to 3 buildings
100' Building Length	run of up to 2 buildings

SETBACKS

Principal Building	
(b) Front Yard (1st Lot Layer)	10' max.
Setback Applicability	75% of total building length must be built within 1st Lot Layer
(c) Side Yard	10' min.
(d) Rear Yard	10' min.
Accessory Building	
Side Yard	5' min.
Rear Yard	5' min.

WALLS/FENCES

1st Lot Layer - Height	6' max.
Visual Permeability	req. above 2' from sidewalk
All other Lot Layers - Height	8' max.

HEIGHT STANDARDS

Principal Building	
Building Height Min.**	3 stories
Building Height Max.	65' and 6 stories
Ground Story Height	n/a
Accessory Building	
Building Height Max.	25'

PARKING STANDARDS

Surface Parking Location	permitted in 4th Lot Layer
Garage at frontage (attached or detached)	
Setback	not permitted in 1st Lot Layer
Garage Door Opening (max)	40% of facade length
or	20' whichever is less
Curb Cut Frequency	1 every 100'

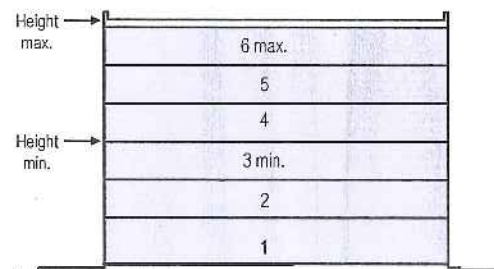
Exceptions

*One frontage building length up to 200' without partition walls is allowed for the use of ground-level structured parking on special condition (see Sec 14.xx(d) 3.)

**Pre-existing industrial uses are exempt from story minimums.

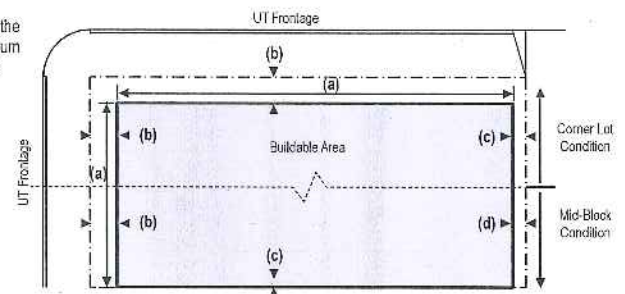
HEIGHT STANDARDS

- Height shall be measured as specified in Sec. 14-47 Definitions "Building, height of."
- Number of Stories excludes attics and raised basements.



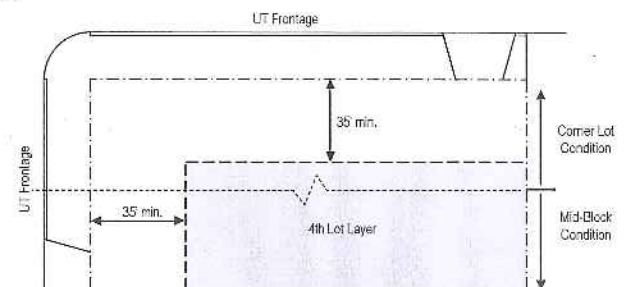
SETBACKS

- The Facades and Elevations of Principal Structures shall be distanced from the Lot lines as shown.
- Facades shall be built along the Frontage Lines to the minimum specified width in the table.



PARKING PLACEMENT

- Surface parking areas may be provided within the shaded area shown.
- Exceptions may be made for structured parking with additional design review. See Sec. 14.xx (d) 3. Exception.



SEC 14-XX. SUBDISTRICT DIMENSIONAL REQUIREMENTS

UA

Urban Active (UA) Subdistrict:

The intent of this subdistrict is to maintain and promote the look and feel of a moderate scale, diverse, mixed-use neighborhood with vibrant streets and active ground floor spaces. Buildings shall engage with the street at the ground level and contribute to a strong street wall. Building frontages are transparent and entries are at sidewalk level. Building height, mass, and scale shall be respectful of historic buildings in this subdistrict. The streetscape has steady street planting, and buildings set close to the street.

SITING STANDARDS

Orientation - Principal Frontage	Face a UA street
Lot Coverage	90% max

FRONTAGE REQUIREMENTS (within 1st Lot Layer)

(a) Building Length* at 1st Layer	50' max.
at least 75% of total building length must be built within 1st Lot Layer (see Table 14.2c.)	
Attached Buildings (Table 14.2)	
30' Building Length	unlimited run
50' Building Length	run of up to 3 buildings
100' Building Length	not permitted

SETBACKS

Principal Building	
(b) Front Yard** (1st Lot Layer)	5'0" max.
Setback Applicability	75% of total building length must be built within 1st Lot Layer
(c) Side Yard	none required
(d) Rear Yard	10'0" min.
Accessory Building	
Side Yard	5'0" min.
Rear Yard	5'0" min.

WALLS/FENCES

1st Lot Layer - Height	6'0" max.
Visual Permeability	req. above 2'0" from sidewalk
All other Lot Layers - Height	8'0" max.

HEIGHT STANDARDS

Principal Building	
Building Height Min.***	3 stories
Building Height Max.	50' and 4 stories
Ground Story Height	12'0" min. clear
Accessory Building	
Building Height Max.	25'

PARKING STANDARDS

Surface Parking Location	within the 4th layer, 35' from UA street
Garage at frontage (attached or detached)	
Setback	not permitted in 1st Lot Layer
Garage Door Opening (max)	not permitted on UA facades
Curb Cut Frequency	1 every 50'

Exceptions

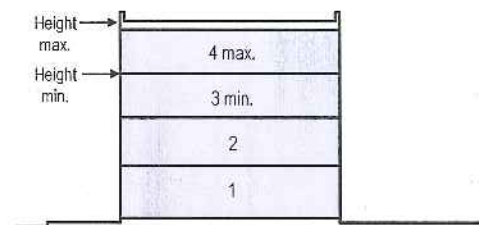
*One frontage building length up to 150' without partition walls is allowed for the use of ground-level structured parking on special condition (see Sec 14.xx(d) 3.)

**Up to 10'0" max. front yard setback is allowed if ground plane at frontage is a continuation of the accessible public right-of-way

***Pre-existing industrial uses are exempt from story minimums.

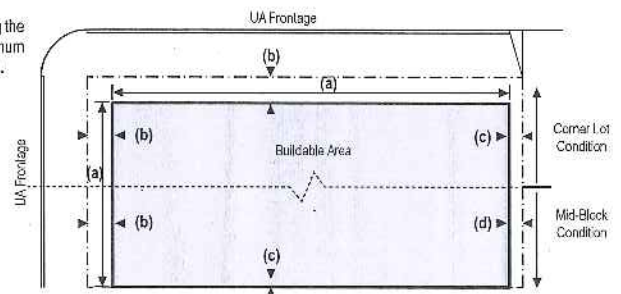
HEIGHT STANDARDS

- Height shall be measured as specified in Sec. 14-47 Definitions "Building, height of."
- Number of Stories excludes attics and raised basements.



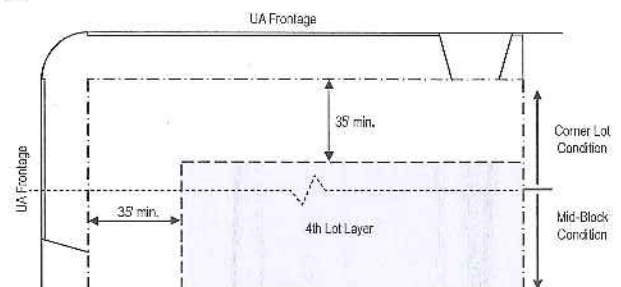
SETBACKS

- The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
- Facades shall be built along the Frontage Lines to the minimum specified width in the table.



PARKING PLACEMENT

- Surface parking areas may be provided within the 4th layer (shaded area) as shown.
- Exceptions may be made for structured parking with additional design review. See Sec. 14.xx (d) 3. Exception.



SEC 14-XX SUBDISTRICT DIMENSIONAL REQUIREMENTS CORNER

Corner Lot:

For corner lots where two different subdistricts intersect at a street corner, the Dimensional Requirements and Building Envelope Standards of the "dominant" subdistrict shall apply from the 1st through 3rd Lot Layer (35' deep into the lot measured from the dominant lot line) along its associated street frontage or public ways including required mid-block passage. Otherwise, Dimensional Requirements shall be according to subdistrict onto which the building facade faces.

UA INTERSECTS UT

Dominant Subdistrict (35' deep)	UA
Orientation - Principal Frontage	Face a UA street
Curb Cut Location	not within 50' of corner
Dominant Building Envelope Standards (applicable 35' deep)	
Ground Story Height	12' min. clear
Fenestration, ground floor	60-90%
(measured as a percentage of the facade that is between 2' and 20' above the frontage sidewalk grade)	

UA INTERSECTS UN

Dominant Subdistrict (35' deep)	UA
Orientation - Principal Frontage	Face a UA street
Curb Cut Location	not within 30' of corner
Dominant Building Envelope Standards (applicable 35' deep)	
Ground Story Height	12' min. clear
Fenestration, ground floor	60-90%
(measured as a percentage of the facade that is between 2' and 20' above the frontage sidewalk grade)	

UT INTERSECTS UN

Dominant Subdistrict (35' deep)	UN
Orientation - Principal Frontage	n/a
Curb Cut Location	not within 30' of corner

SETBACKS

(b) Front Yard (1st Lot Layer)	according to subdistrict
(c) Side Yard	according to subdistrict

Building facades within 10' of a corner are exempt from setback requirements in order to allow special corner treatments

ORIENTATION

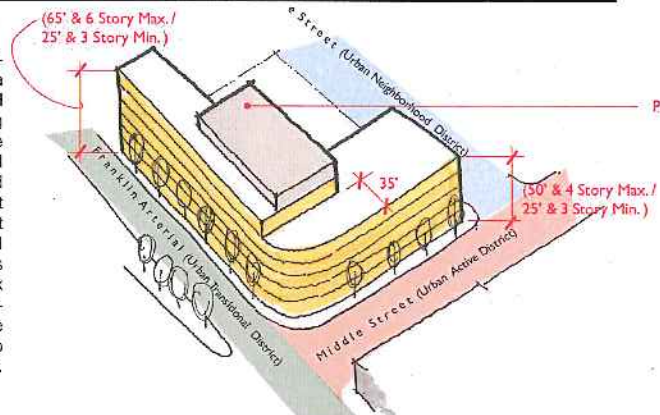
- Corner lots shall be treated as having street frontage on all streets regardless of building orientation
- Principal Building shall designate a Principal Frontage and Secondary Frontage*
- In the case of a corner lot having UA frontage, the Principal Frontage must face a UA street*

Notes

- * Does not have to correspond to legal building address

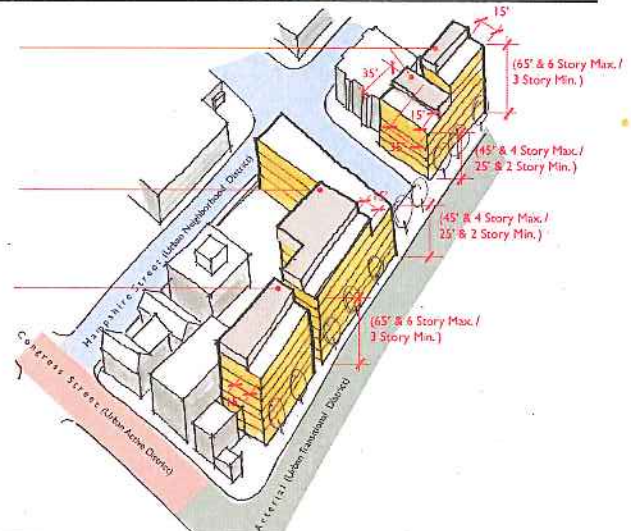
UA INTERSECTS UT (example only)

1. For corner lots where two different subdistricts intersect at a street corner, the Dimensional Requirements and Building Envelope Standards of the "dominant" subdistrict shall apply from the 1st through 3rd Lot Layer (35' deep into the lot measured from the dominant lot line) along its associated street frontage or public ways including required mid-block passages. Otherwise, Dimensional Requirements shall be according to subdistrict onto which the building facade faces.



UT INTERSECTS UN (example only)

1. For corner lots where two different subdistricts intersect at a street corner, the Dimensional Requirements and Building Envelope Standards of the "dominant" subdistrict shall apply from the 1st through 3rd Lot Layer (35' deep into the lot measured from the dominant lot line) along its associated street frontage or public ways including required mid-block passages. Otherwise, Dimensional Requirements shall be according to subdistrict onto which the building facade faces.



SETBACKS AND ORIENTATION

1. The Facades and Elevations of Principal Structures shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Frontage Lines to the minimum specified width according to the requirements of the subdistrict onto which the facade faces, the dominant subdistrict setbacks having effect 35' deep.
3. Building facades within 10' of a corner are exempt from setback requirements in order to allow special corner treatments.

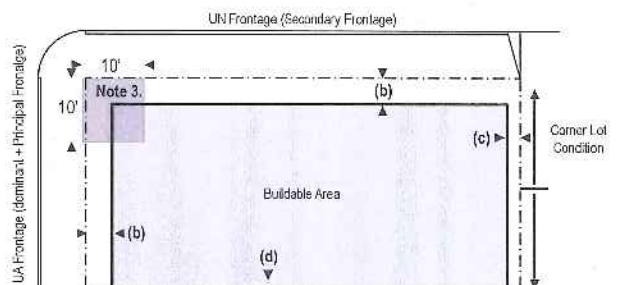
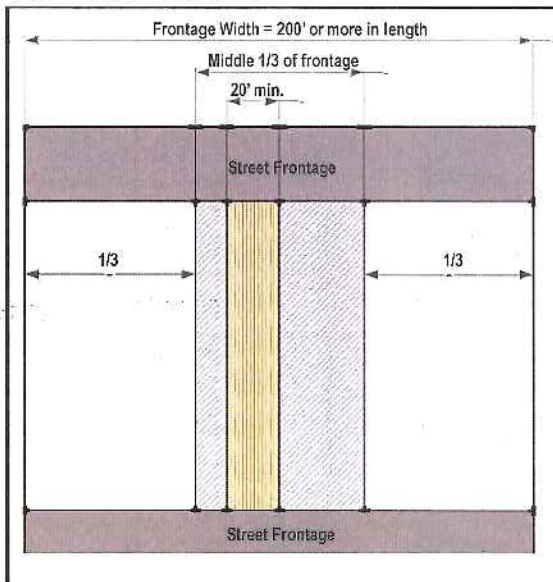
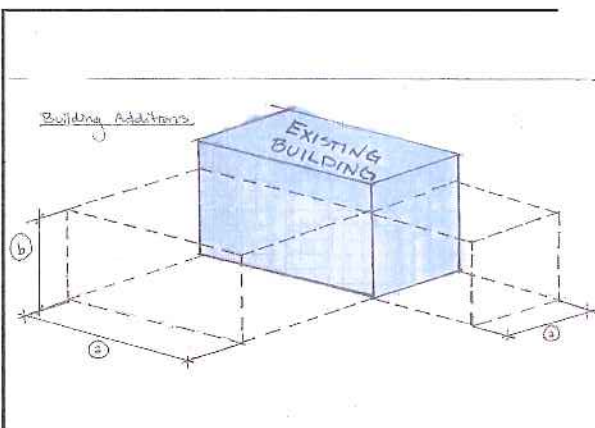


TABLE 14.2 DIMENSIONAL REQUIREMENTS ILLUSTRATED

a. MID-BLOCK PERMEABILITY

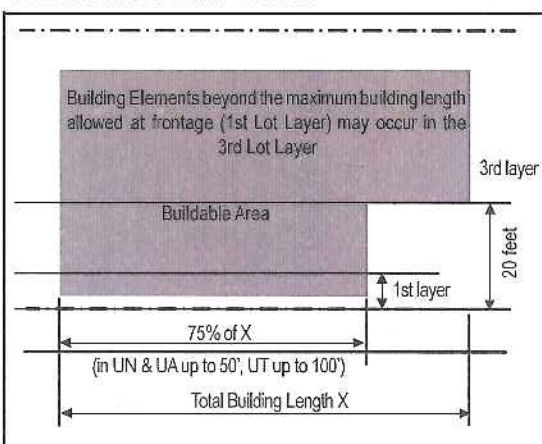


b. ADDITION

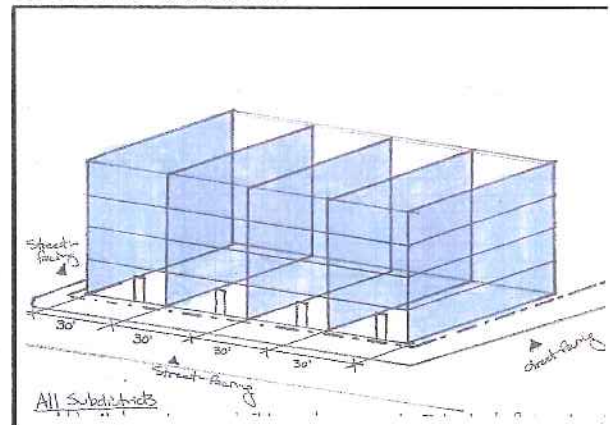


- Addition length may match but not exceed the length of existing building to which it is an addition
- Additions shall conform to all other Dimensional Requirements according to subdistrict

c. FRONTAGE BUILDING LENGTH

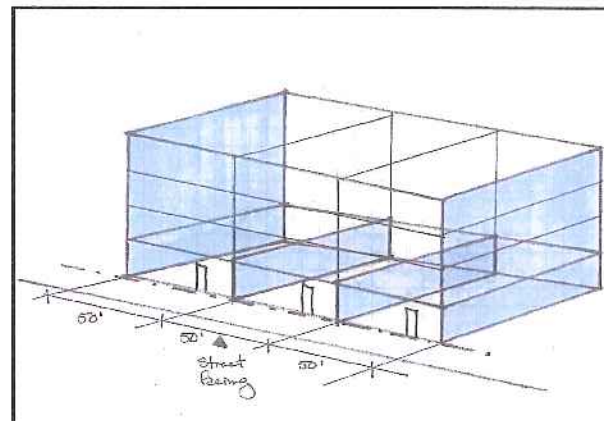


d. BUILDINGS - ATTACHED 30'



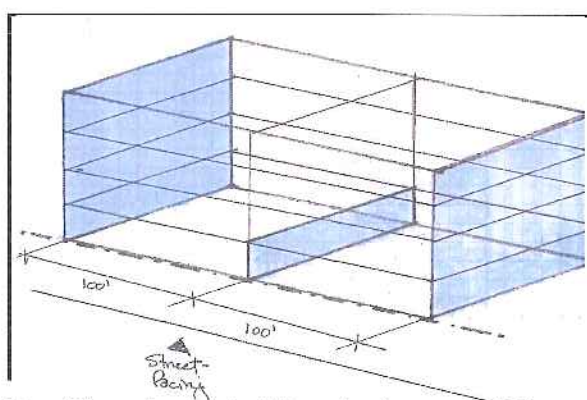
Unlimited contiguous buildings having up to 30' street-facing building length are allowed with zero lot lines; A party wall condition is required every 30' and for the entire height of each building

e. BUILDINGS - ATTACHED 50'



Three (3) contiguous buildings having up to 50' street-facing building length are allowed with zero lot lines; A party wall condition is required every 50' on the ground level only; Upper stories may be a continuous space

f. BUILDINGS - ATTACHED 100'



Two (2) contiguous buildings having up to 100' street-facing building length are allowed with zero lot lines; A party wall condition is required every 100' on the ground level only; Upper stories may be a continuous space.

SEC. 14-XX BUILDING ENVELOPE STANDARDS

The **Building Envelope Standards (BES)** contained herein address the quality of the India Street Neighborhood urban environment, recognizing that it is ultimately formed by numerous individual, private creative decisions. The BES provide an overview of how to create a pedestrian-oriented, visually cohesive, and economically vital neighborhood. They are designed to promote a clear, consistent, and predictable process for the redevelopment of land within the India Street Neighborhood.

Description of Terms

Design review is mandatory for all projects in the India Street Form-based Code District. The goals and requirements of the design review are listed under three headings for each review issue: **Intent, Guidelines, and Standards**. Descriptions for each are as follows:

Intent: Intent statements are provided to define goals which the guidelines and standards have been created to achieve. In circumstances where the appropriateness or applicability of a guideline or standard is in question or under negotiation, the intent statement will provide additional direction.

Guidelines: Design Guidelines provide further considerations to promote the goals defined by the intent statements. Guidelines use the term "should" or "may" to denote they are considered relevant to achieving the stated intent, and will be pertinent to the review process but will not be required for approval. Guidelines will, however, be strongly considered when there is a request to waive a related standard.

Standards: Design standards are objective criteria that provide specific direction based on the stated intent. Standards are used to denote issues that are considered critical to achieving the stated intent. Standards use the term "shall" to indicate that compliance is required unless it can be demonstrated that an acceptable alternative meets one or more of the following conditions:

- The alternative better achieves the stated intent;
- The intent which the standard was created to address will not be achieved by application of the standard in this particular circumstance;
- The application of the other standards and guidelines to achieve stated intents will be improved by not applying this standard;
- Unique site factors make the standard impractical or cost prohibitive.

Neighborhood Context

Intent

- Promote active ground level and streets (**especially in the UA Subdistrict**)
- Provide human-scale through change, contrast, and intricacy of facade form, color, and material where lower levels of structures face public streets and sidewalks
- Spatially define the street space to concentrate pedestrian activity and create a clear urban character and street wall edge
- Encourage easy pedestrian access to buildings and uses along public streets and sidewalks
- Promote architectural relationships between buildings of various height and mass and between adjacent urban districts

Guidelines

- New construction and ADDITIONS should respect the surrounding context demonstrating recognition of patterns and characteristics that exist in the context sharing the same streetscape. Such patterns and characteristics include:
 - Rhythm of spacing and structures on the streetscape
 - Proportion of principle facades
 - Rhythm of solids to voids in facades
 - Proportion of openings
 - Rhythm of entries and projections
 - Relationship of materials, texture, and color
 - Roof shapes

SEC. 14-XX. BUILDING ENVELOPE STANDARDS (CONTINUED)

Façade Proportion

Intent

- To ensure the provision of human-scaled architecture
- To provide variation of building massing that relates to the scale and proportions that exist in the context sharing the same streetscape
- To reinforce the distinctions between public and private spaces and uses

Guidelines

- The impact of large scale forms should be mitigated by large scale variations in the building form, mass, and composition such as stepping back an upper floor, or a change in the direction of a wall or roof line
- Large scale variations in the building form, mass, and composition should reflect surround lot and block patterns and relate to the scale of surrounding buildings and the context in which it is seen.

Standards

- Buildings of four (4) or more stories shall be designed to have a defined base, middle, and top.
- Building facades shall be designed using simple proportions such as the rational (1:1, 2:1, 3:2, 4:3, etc.) and the irrational (the square root of 2 and the golden ratio).

Articulation Elements

Intent

- To create a comfortably scaled and well-detailed urban environment through the establishment of an organized variety of façade composition, architectural form, and detail
- To provide for the comfort and interest of the pedestrians environment through the provision of human-scaled architectural character
- To avoid large areas of undifferentiated or blank building facades
- To establish architectural scale patterns or features that relate to adjacent buildings

Guidelines

- Architectural scaling elements should be used to break down the appearance of large building facades into authentic architectural patterns and component building forms. Building facades should provide variation of building massing corresponding to architectural or structural bay dimensions. Variation in building massing may include changes in wall plane or height and may relate to primary building entries, important corners, or other significant architectural features.
- Find common reference lines to surrounding built context examples of which include expression lines, change of material, delineation of floors, window alignment.
- Required articulation elements should be integral with the building form and construction, not a thinly applied facade.
- Variation in building massing and detail should relate to the scale and function of pedestrian-oriented uses along the street.
- Architectural detail may relate to but not necessarily mimic traditional building details to establish a human-scale vocabulary. Detail patterns may also relate to the inherent formal qualities of architectural structural systems.
- Where the architecture meets the street, the base of all buildings should be clearly expressed by the articulation of forms and details. Special ground level features such as canopies, awnings, storefront, and emphasized entrances lend richness to the street.
- Blank, undifferentiated walls should be avoided.
- Balconies and terraces should be incorporated into vertical and horizontal shifts in building massing to avoid building facades that are dominated by cantilevered balcony projections.

SEC. 14-XX BUILDING ENVELOPE STANDARDS (CONTINUED)

Standards

- Each building facade shall use articulation strategies that incorporate three or more of the following elements (listed in descending order of impact):
 - Expressions of building structural elements such as floors (banding, belt courses, etc. but not less than 1" deep and 4" wide), columns (pilasters, piers, quoins, etc. but not less than 4" deep and 1' wide), and foundations (watertables, rustication, etc.)
 - Stoops, porches, bay windows, overhangs, and other variations to the facade planes
 - Recessed entrances and windows into the facade to create depth and shadow lines
 - Projections or unique design features at building entrances or corners
 - Trellises, canopies, awnings, or similar projecting features over openings
 - Patterns of window and door openings that are emphasized through change of plane (not less than 4" deep) and/or the use of sills, lintels, mullions, and other scale-providing elements
 - Changes in material
 - Changes in color
 - Changes in texture
 - Changes in material module or pattern
 - Patterns of architectural ornament integral to the building material
- Each change of material shall involve at least 1" variation in wall plane. Reveals shall not be less than 1" deep and 1" wide
- Blank, undifferentiated walls shall be limited as follows:

BLANK FACADE	UN	UT	UA
Maximum Length	15'	30'	15'

Articulation Elements: Examples



Bay projections, Base/Middle/Top, Delineation of floors, Lintels, Recessed entry, Overhang cornice



Lintels, Expressed structural elements, Fenestration recessed from building face, Change of materials, Arcade, Cornice



Delineation of floors, Window details add scale, Change of materials, Stepback, Recessed entry

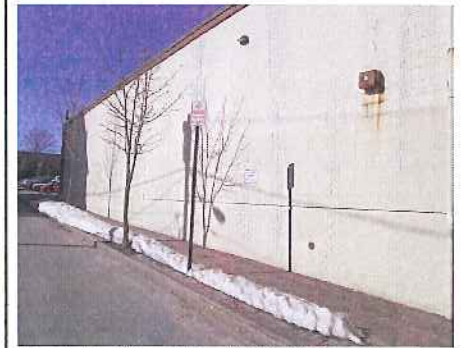


Base/Middle/Top, Window details add scale, Change of facade planes, Stepback, Overhang Cornice line, Recessed entry, Storefront

Blank Facades: Examples



In-active wall with articulation - Preferred



Blank, Undifferentiated Wall - Not preferred

SEC. 14-XX. BUILDING ENVELOPE STANDARDS (CONTINUED)

Fenestration

Intent

- To provide visibility that reinforces the safety and activity of the street
- To reinforce the distinctions between uses and functions within the building To provide a high degree of transparency and visibility at the lower levels of building facades **(especially in the UA Subdistrict)**
- To provide an active, human-scaled architectural pattern along the street
- To establish a pattern of individual windows at upper floors that provide a variety of scale through fenestration patterns, material variation, detail, and surface relief

Guidelines

- The majority of the lower floor facades should be transparent glazing. **(UA Subdistrict)**
- Fenestration should punctuate facades providing scale and pattern.
- Location and patterns of glazing should enhance building function and scale. Variations in fenestration patterns should be used to emphasize building features such as entries, shifts in building form or differences in function.
- Recessed glazing and glass framing and mullion patterns may be used to provide depth and substance to the building façade and should consider the play of sunlight across the façade.

Standards

- Between 60-90% of the ground floor façade shall be constructed of transparent materials or otherwise designed to allow pedestrians to view activities inside the building or displays related to those activities (measured as a percentage of the facade that is between 2' and 20' above the frontage sidewalk grade). **(UA Subdistrict)**
- Between 25 -60% of the second floor façade and above shall be transparent glazing.
- Transparent glass shall have a Visual Transmittance (VT) of at least .7.
- Areas of the building that are functionally restricted from providing vision glass may be exempted provided other architectural scaling techniques are employed.

Building Materials

Intent

- To encourage human-scaled buildings through the use of smaller material modules
- To ensure the consistent use of high quality materials appropriate to the urban environment

Guidelines

- High quality materials and design techniques shall be applied. Developments shall use high quality, durable, and authentic materials that exhibit longevity and integrity.
- Building materials and techniques shall reflect or complement the existing materials and techniques within the India Street Form-based Code District and shall be visually compatible with the predominant materials used in the structures to which they are visually related.
- Building materials used at the lower floors adjacent to street frontage shall be of the highest quality and most durable and authentic.
- Building materials used at the lower floors adjacent to street frontage should respond to the character of the pedestrian environment through such qualities as scale, texture, color, and detail.
- Carefully detailed combinations of materials should reinforce Articulation Elements requirements.

SEC. 14-XX BUILDING ENVELOPE STANDARDS (CONTINUED)

Building Entries

Intent

- To enhance the scale, activity, safety, and function of the public streets by providing frequent entries oriented to the streets
- To reinforce the convenience of pedestrian activity and circulation along the street by creating as many external, street oriented entries as possible to ground floor, pedestrian-active uses

Guidelines

- Each building should have one or more clearly identifiable PRINCIPAL ENTRANCES that address the street for each major street facing street.
- Principal building entries should be emphasized through changes in wall plan or building massing, differentiation in material and/or color, greater level of detail, and enhanced lighting as well as permanent signage.
- Entries to ground floor uses should be direct and as numerous as possible to encourage active pedestrian use.

Standards

- All buildings shall provide at least one principal entry oriented directly to a public street.
- If the LOT has a UA frontage, at least one (1) PRINCIPAL ENTRANCE must face the UA street.
- All street-oriented building entries shall be directly connected to the public sidewalk via paved walk, stair, or ramp.
- All pedestrian active uses with street level, exterior exposure shall provide at least one direct pedestrian entry from the street.
- Recessed entries shall be excluded from the setback requirements.
- Where possible, garage entrances should be oriented away from the street and should not be placed on facades within the 1st Lot Layer.
- Entry Location and Frequency are regulated as shown below:

	UN	UT	UA
BUILDING ENTRY CONFIGURATION - PRINCIPAL ENTRY(IES) (allowed)			
Street-facing Entry	X	X*	X*
Side Entry	X		
Corner Entry	X	X	X
Elevated Stoop (more than 1 step above sidewalk grade)	X	X	
*At least 1 principal entry must face an UA street			
BUILDING ENTRY CONFIGURATION - NON-PRINCIPAL ENTRY(IES) (allowed)			
Street-facing Entry	X	X	X
Side Entry	X	X	X
Corner Entry	X	X	X**
Elevated Stoop (more than 1 step above sidewalk grade)	X	X	X**
**If corner entry is at an intersection of two subdistricts, elevated stoop is allowed			
ENTRY FREQUENCY			
Entry provided at least every	35'	95'	40'

SEC. 14-XX. BUILDING ENVELOPE STANDARDS (CONTINUED)

Roof Lines

Intent

- To require buildings to integrate all building systems within a complete architectural form
- To respect the character of and views from the surrounding context
- To make a positive contribution to the Portland skyline

Guidelines

- The architecture of the building's upper floors and termination should complete the building form within an overall design concept for the base, middle, and top that works in concert with the Articulation Elements requirements.
- Roof forms should consider and respect the context in which it is viewed in terms of height, proportions, form, and materials, whether the context is surrounding buildings, view corridors, or the waterfront.

Standards

- All rooftop building systems shall be incorporated into the building form in a manner integral to the building architecture in terms of form and material. All mechanical, electrical, and telecommunications systems shall be screened from view of surrounding streets and structures.
- Roof line shall be articulated with the use of details such as, but not limited to:
 - Cornices
 - Moldings, trims, and fascia boards
 - Altering the height of the building or roofline
 - Open eaves and rakes, and other overhangs
 - Exposed rafters or purlins, or decorative brackets
- All roof forms are allowed in all Subdistricts.

Parking Garages

Intent

- To minimize the visual impact of parking structures on adjacent development and the street environment
- To minimize the impact of vehicle noise and headlights from within parking structures on adjacent streets
- To activate street level garage frontage (**especially in the UA Subdistrict**)

Guidelines

- Parking structures should not exceed 50% of any block frontage along a **UA street**
- Parking structures should use materials and architectural detailing found in the primary development being served.

Standards

- Parking structures with exposed street frontage may not be located in the 1st Lot Layer.
- Parking structures shall conform to the BES for Articulation Elements and Building Materials.
- Parking structures shall be designed to conceal the view of all parked cars and internal light sources from adjacent public rights-of-way or open space for the full height of the structure.
- Façade openings which face any public right-of-way or open space shall be vertically and horizontally aligned and the floors on such façades shall be level.
- Parking structures shall provide adequate ground floor dimensions to allow use by or conversion to active uses. Adequate dimensions shall include floor-to-floor heights, structural, driving aisle, and utility layouts within 35' of the public right-of-way designed to accommodate occupancy by active uses.

Sec. 14-xx Nonconformance

Sec. 14-xx Amendments

a) Regulating Plan Amendment

The Regulating Plan in effect from time to time may be amended as a Zoning Map amendment in accordance with the provisions of this ordinance. An application for Regulating Plan amendment initiated by or on behalf of the owner of property shall be accompanied by approved proposed site plan.

b) Preparation and requirements

An application for REGULATING PLAN amendment shall be prepared in accordance with xxx and shall conform to the requirements of Section 14-xx .c (below) and other provisions hereof.

c) Application Requirements

In addition to all other requirements for zoning map amendments under this Section, an application for a Regulating Plan Amendment shall include approved proposed site plan that complies with this ordinance and indicates the area proposed to be amended and all adjacent property; all existing zoning districts or Character Districts and the maximum number of stories and the maximum building height in feet and any other special requirements.

d) Plan Submission

An application for a Regulating Plan Amendment shall be submitted and processed in accordance with this Section as applicable.

e) Action on Plan

Any application for a Regulating Plan Amendment shall be processed and be subject to submission, consideration, and approval as a zoning map amendment under this Section.

(a) A public hearing on the nomination shall be held by the historic preservation board within thirty (30) days of the first scheduled meeting referred to in section 14-615, or at an event later than sixty (60) days following receipt of the nomination form by the department. Notice of the nomination and of the public hearing shall be in accordance with the procedures for public hearings before the planning board for site plan approval.

(b) The hearing shall be conducted in accordance with procedures adopted by the historic preservation board. The historic preservation board shall consider all testimony or evidence relating to the designation criteria in division 3 from any person who makes written submissions or appears at the public hearing. Historic preservation board members may also present testimony or make submissions. The owner of a nominated landmark or of property within a nominated district shall be allowed reasonable opportunity to present testimony or evidence concerning the applicability of the designation criteria in division 3.

(Ord. No. 235-90, 2-26-90)

* Sec. 14-617. Recommendation by historic preservation board.

Within thirty (30) days following the close of the public hearing, the historic preservation board shall make recommendation to the council in the case of a landmark, or to the planning board in the case of a district, upon the evidence as to whether the nominated landmark or district meets the criteria for designation in division 3. Such recommendation shall be approved by at least four (4) members of the historic preservation board and shall be accompanied by a report to the council or planning board containing the following information:

(a) Explanation of the significance or lack of significance of the nominated landmark or district as it relates to the criteria for designation.

(b) Explanation of the integrity or lack of integrity of a nominated landmark or historic district.

* (c) Proposed design guidelines for review of alteration or construction. The specific design guidelines may provide explanation by text and/or schematic examples of visual compatibility for purposes of division 7.

(d) Relationship of the nominated landmark or district to the ongoing effort by the committee to identify and nominate

all potential areas, sites, structures and objects that meet the criteria for designation.

- (e) A map showing the location of the nominated landmark and the boundaries of the nominated district.
- (f) A list, including the address, of every site, structure and object in each nominated historic district indicating their degree of cultural, historic, architectural or archeological significance by classification as of a landmark or contributing significance.

Where a motion either in favor of a recommendation or in opposition to a recommendation results in a vote of fewer than four (4) members, the item shall automatically be tabled to the next regularly scheduled meeting.

(Ord. No. 235-90, 2-26-90; Ord. No. 220-93, § 3, 5-17-93)

Sec. 14-618. Reserved.

Sec. 14-619. Notification of historic preservation board recommendation.

(a) The recommendation of the historic preservation board, including a copy of the report, shall be transmitted to the city council in the case of a landmark and to the planning board in the case of a district. Notice of the recommendation shall be sent by mail to the owner of a nominated landmark and to all owners within a nominated district within ten (10) business days following adoption of the recommendation and report.

(b) If the recommendation of the historic preservation board is that the property or district not be designated, the nomination process shall terminate and no new nomination shall be submitted for the identical property or area for a period of one (1) year from the date of termination, except upon a showing of substantial and material newly discovered information.

(Ord. No. 235-90, 2-26-90)

Sec. 14-620. Determination by planning board.

(a) The planning board, upon receipt of a recommendation and a report from the historic preservation board concerning nomination of a district, may hold a workshop meeting pursuant to the provisions of section 14-26. After review of the historic preservation board recommendation and report, the planning board shall hold a public hearing.

March 18, 2015

ATT. 4
DISTRIBUTED TO
BOARD AT 3/18/15
MEETING

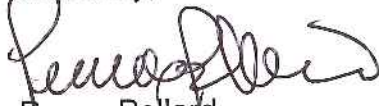
Deborah Andrews
Historic Preservation Program Manager
Department of Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Dear Ms. Andrews,

We wish to formally nominate a portion of the India Street neighborhood for designation as a local historic district subject to the provisions of Portland's historic preservation ordinance. The specific area proposed for designation is delineated on the attached map.

As is evidenced by the extensive documentation assembled in support of the India St. Neighborhood Plan, the neighborhood has a rich history that is unique within the city of Portland and has within the delineated boundaries a substantial number of properties, sites, and structures that have a high degree of cultural, historic and/or architectural significance that warrant stewardship under the City's historic preservation program.

Sincerely,



Penny Pollard
Member, Historic Preservation Board



Julia Sheridan
Member, Historic Preservation Board

Cc:

Jeff Levine, Director of Planning and Urban Development

Alex Jaegerman, Planning Division Director

March 18, 2015

ATT. 4
DISTRIBUTED TO
BOARD AT 3/18/15
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Department of Planning and Urban Development
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Penny Pollard
Member, Historic Preservation Board



Julia Sheridan
Member, Historic Preservation Board

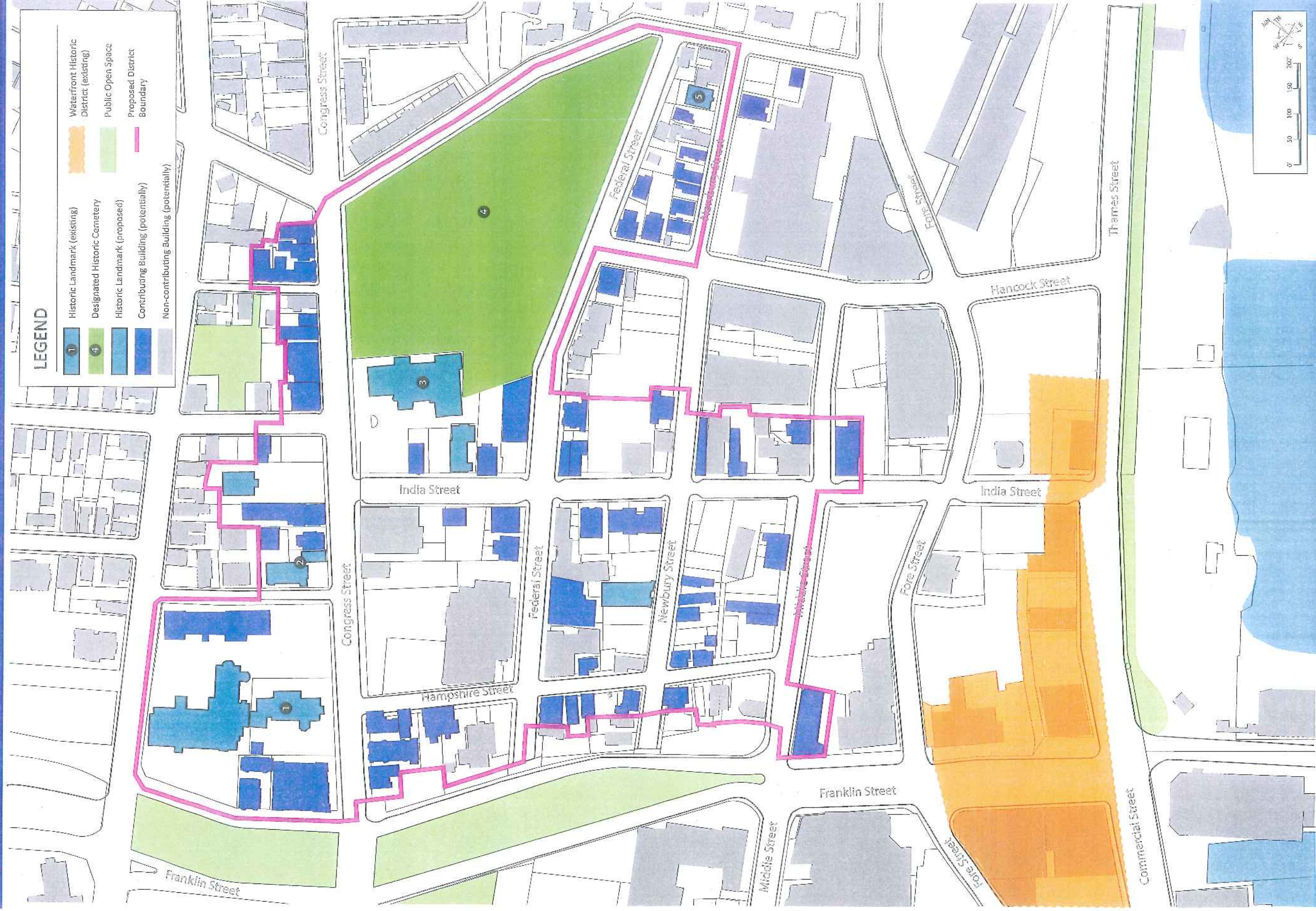
Cc:

Jeff Levine, Director of Planning and Urban Development

Alex Jaegerman, Planning Division Director

HISTORIC DISTRICT

Sustainable Neighborhood Plan INDIA STREET, PORTLAND MAINE



Proposed India Street Historic District Boundary - March 18, 2015

April 28, 2015

ATT. 5

Chair O'Brien, Planning Board members and staff,

I support the creation of a local historic district for the core of the India Street neighborhood.

I spend a lot of time in and around India Street—shopping, on my way to the Eastern waterfront, lingering at Coffee by Design, visiting with friends. I am there on bicycle and on foot.

For me, the two ugly blotches on the face of the neighborhood are, first, the surface parking lots representing old buildings that were torn down, and, second, the massive new parking garages and other buildings that loom over older buildings and that deaden those otherwise lively streets with empty first floors facing passersby, garage doors and driveways fronting and crossing sidewalks, and locked gates blocking passages.

The only tool I know of that addresses both issues is a local historic district.

- Such a district would help prevent the tearing down of more buildings that contribute to this neighborhood's still distinctive character.
- To the extent it were to include empty building sites, the district would help assure that new buildings convey some respect in massing, form, and details for the remaining historic fabric of Federal, Newbury, India, Middle and Hampshire streets.

This is true even if some of the historic fabric is typical instead of remarkable architecture. The street I live on, May Street in the West End, exhibits a similar character of three deckers, wooden single-family homes and an occasional brick home, now broken into apartments.

The overlay of a historic district on much of our street within the past 20 years has helped assure thoughtful maintenance and alterations to our residences, has attracted new on-site owners, and is helping to guide the first new buildings on the street in nearly a century. I have every reason to hope that a local historic district will do the same for the India Street neighborhood.

Nothing else I know of could engender the same broad array of positive impacts.

—Peter Monro, 32 May St., Portland, ME 04102

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Portland Society for Architecture

PO BOX 5321

Portland, Maine 04101

www.portlandarchitects.org**INDIA STREET NEIGHBORHOOD HISTORIC DESIGNATION**

PSA does not support the proposal to designate the India Street Neighborhood as an Historic District. A designated neighborhood should "demonstrate a high degree of historical, cultural and/or architectural significance". While much is made of India Street as Portland's first street, the India Street that was -- is no more. It is even unlikely that the India Street destroyed by the Great Fire bore much resemblance to the first India Street. Aside from a small handful of already landmarked buildings, the map of Cultural Assets contained in the plan is most notable for what exists in memory and not on the ground: Fore Street as the first waterfront and India Street as the first street. This does not mean that this neighborhood is without culture or has not been the scene of important events -- but that its current culture comes from its enormous variety, not its historic texture.

Does this neighborhood offer a collection of buildings that are remarkable, unique, historically significant or provide a coherent picture of its history or the story of Portland? The Historic District Map, as proposed, reveals that contributing buildings are scattered among vacant parcels, older non-contributing buildings or among ones that are not yet 50 years old. This map does not look anything like the map of contributing buildings on the West End or Congress St. or any other historic district. In fact, it is unlikely that a map of any neighborhood in Portland would have so many 'holes' or such a small proportion of contributing buildings as this one does.

The Plan lists a 'lack of clear identity' as this neighborhood's first challenge. What will looking to its past rather than its future do for its identity problem? Historic District designation has profound economic repercussions. While this plan calls for maintaining and reinforcing neighborhood economic diversity, 'gentrification by designation' is the usual result in cities which have not undertaken very aggressive measures to counter that tendency. Tax credits, limited to income producing buildings, do not offer enough to overcome the fact that small property owners in Historic Districts need to have deeper pockets than owners elsewhere. Likewise, the goal of having businesses that provide services to neighborhood residents and workers is hampered by having every storefront renovation dictated by the history of the building rather than by the future of the business. While historic district guidelines do not require modifications to existing buildings to emulate the historic scale and/or appearance; in practice this is the way it has played out more often than not.

The neighborhood plan seems to endorse increased residential density without increased building height. Will the historic districting control the height of infill buildings or will the proposed form based code? In either case it appears that residential density will not increase enough to support the extensive retail development that is planned. New buildings matching the bulk of historic buildings will house many fewer people because household size is so much smaller than it was 100 years ago. Unit reduction is already happening in buildings that are being renovated -- while family size is dropping, the apparent need for greater space is increasing.

Historic designation will not further the 'authenticity' this plan seeks; it will do the reverse. It will try to rebuild a new historic 'feel' that is long gone. It will remove an entire neighborhood from the natural evolution of the city --- an evolution that accounts for the India Street neighborhood's vitality and diversity right now.

Thank you.

Portland Society for Architecture

What if I presented you with a choice — That you could preserve a part of Portland's rich cultural and architectural history, that you could stimulate economic growth and boost local property values, or that you could spur the creation of an architectural mecca, that would attract more people to visit Portland. Well, you don't have to choose. I'd like to suggest to you that approving the historic district being presented to you could have all three benefits.

Let me focus on the architectural / cultural. Some you may have felt that's not so important as the India Street corridor doesn't have any grand old mansions. But the material that the city's consultants have gathered shows how much history resides in this area. India Street was the first street in Portland, and the architectural trail shows evidence of a mixed population, of a number of waves of immigration, of varied industry, and of much adaptive re-use. In a democratic society, that's an important history to preserve.

You are being presented with two documents, that need to be taken as one whole:

A form based code, with interpretative material, that will insure new buildings and renovations result in buildings that are of appropriate size and proportion to fit in. While storefronts are not required, the required first floor ceiling height is a strong incentive to keep a mercantile first floor. These, and the other aspects of the proposed code, all contribute to the maintenance of an historic district, but they lack some of the specificity required.

A proposed historic district, ~~that~~ would bring the protections of Portland's Historic Preservation ordinance to the India Street neighborhood. These regulations, along with the associated staff and board involvement, insure that renovations and new construction would enhance the historic neighborhood rather than fight with it. Note that the ordinance does not favor new buildings or renovations that mimic the old. Modern architecture is preferred for new construction — but architecture that honors the scale, the integrity of material, and the patterns, of what has been part of King (its original name) or India street for a long time.

The form based code, without a historic district, would allow many historic buildings or streetscapes to be damaged or destroyed. And the historic district, without the form based code, would give developers less clarity about the appropriate scale and form for new projects, leading to proposals that overwhelm or too sharply contrast or fight with, what is already there.

I expect you will hear from others who suggest that the historic designation is unnecessary, will limit economic opportunity and slow down growth, and that it impinges on the "freedom" we so value. I hope that you will reject these false arguments, and simply focus on the India Street corridor you want to preserve, and the India Street corridor you want to grow. A historic district will protect the unique character of our city and also support the growth that will carry it into the future.

Thank you,

Arthur Fink

Greater Portland Landmarks Statement for Planning Board re: India Street Historic District – 4-28-2015

Greater Portland Landmarks strongly supports designation of a historic district for the India Street neighborhood – the final details of such designation are currently under consideration by the historic preservation board. District designation is a positive way to manage change, promote neighborhood identity, and preserve historic resources.

The social, architectural, and cultural history of the India neighborhood makes it unique in our city – it tells the Immigrant Story of Portland, from its 19th century African American and Irish populations, to the early 20th century Italian, Jewish and other immigrant groups. No other designated historic district in the City features this part of Portland's history.

It is important to note that historic district designation and the form based code are different planning tools with different purposes that complement each other. District designation protects historic buildings and their character defining features, and provides a review process for changes to existing buildings – the Form Based Code does not do this. District designation provides a review process for design quality and details of new construction as they relate to a historic context – and encourages new buildings that are clearly of our own time.

At the historic preservation board, current deliberations on the proposed district are taking into account extensive and additional public comments to arrive at recommended boundaries. These boundaries encompass a smaller area than the area governed by a form based code.

District designation has proven to be highly successful in revitalizing mixed use neighborhoods such as the Old Port, Commercial Street, and Congress Street areas. Overall, a historic district will focus on preserving the character and encouraging compatible new development in one of Portland's most diverse and historic neighborhoods. A form based code and historic district designation can serve as complementary planning tools for the India Street area.

Hilary Bassett, Executive Director, Greater Portland Landmarks



**India Street Historic District:
A Planning Tool to Address Neighborhood Goals
12/9/2014**

Why should the City consider designating an India Street Historic District?

The India Street area was notable in the early-to-mid-19th century for its free black population, which provided the workforce for nearby maritime and industrial operations. After the Great Fire of 1866 families of European and African American descent were joined in an increasingly dense neighborhood by successive waves of immigrants including Irish, Italian, and at the turn of the 20th century, Eastern European Jews. Each wave of immigrants left their mark on the neighborhood establishing houses of worship, residences and businesses, many of which continue to the present. The proposed historic district, which encompasses most of this area, would meet the City ordinance's criteria for designation as an area representative of a broad period of 19th and early 20th century architectural, cultural and social history in Portland.

Is creating an historic district here a new idea?

No. There is a long history of consideration by City staff and Council Committees that the historic resources in the India Street neighborhood warrant recognition and protection. In the face of extensive development pressures in the late 1990s, the City of Portland commissioned Greater Portland Landmarks to prepare a preliminary historic resources inventory of the area, which was completed in 2002. In 2007 the Council's Housing & Community Development Committee voiced support for a potential India Street district. In 2011 the Planning Board endorsed efforts to establish a historic district.

What is an historic district?

An historic district is a geographically definable area that possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united by past events or aesthetically by plan or physical development. The City of Portland's historic preservation ordinance cites specific criteria for designation of a local historic district.

How would creating an historic district help achieve goals of the India Street Neighborhood Plan?

An historic district designation would advance the goals of vitality, good quality design, strong neighborhood identity, diversity and mixed-use. The Plan states: "The historic fabric and landmarks tell a story about this neighborhood and are critically important to its identity."

Are there too many open sites or noncontributing buildings to justify designation of this area as an historic district?

While there have been many losses of individual buildings over the years, there are enough properties remaining to give a sense of the evolution of the neighborhood, and its relationship to the city. The designation standards of the National Register of Historic Places, which guide the City's designation approach, support boundaries that can accommodate non-contributing buildings that comprise up to 50% of the structures of the district.

(over)

What makes this historic district different from others already designated in the City?

The India Street neighborhood tells the Immigrant Story of Portland's 19th century African American and Irish immigrant working class populations and 20th century Italian, Jewish and other immigrant groups. No other designated historic district in the City features this part of Portland's history.

What would be the public benefit of designating an historic district in the India Street Neighborhood?

As older properties are developed and new buildings constructed within the district, the architectural character of the contributing and landmark buildings would be reinforced through renovations of existing buildings and newly built projects that are complementary in scale and massing. The resulting urban district would advance the neighborhoods' goals of vitality, good quality design, strong neighborhood identity, diversity and mixed-use.

If an historic district is designated here, would new building construction be allowed?

New building construction would be encouraged. Projects are reviewed to ensure they do not detract from the existing historic fabric of the district. New approaches to architectural design, that are clearly of our own time, are welcomed. Examples of new buildings or additions using both traditional elements and contemporary designs can be found throughout Portland's existing historic districts.

Could federal and state tax incentives assist developers of historic buildings in the district?

Yes. Developers of income producing commercial or residential projects could use a 20% federal tax credit and 25% state tax credit if they meet standards established to ensure that the character-defining features of these buildings are maintained in the course of the rehabilitation work. An additional 5% is available for rehabilitation projects that include affordable housing.

Would historic designation lead to gentrification of the neighborhood?

Gentrification is defined as, "the buying and renovation of houses and stores in deteriorated urban neighborhoods by upper- or middle-income families or individuals, thus improving property values but often displacing low-income families and small businesses." Gentrification is happening in this neighborhood regardless of historic designation. An historic district could encourage maintaining and redeveloping the existing housing stock thereby helping to maintain the diversity of housing stock that the plan seeks.

Would historic district designation impair the ability of the neighborhood to achieve the neighborhood plan's goals to add housing units and increase density?

There is sufficient land available in the neighborhood either open now or occupied by non-contributing buildings within and in close proximity to the likely boundaries of an historic district to allow for residential development of increased density to meet potential market demand.

Would an India Street Historic District serve to suppress economic vitality in the area?

On the contrary, studies have shown nationwide that reinvestment often follows historic district designations, raising property values and City tax revenues. In a recent study, Greater Portland Landmarks documented the rise in valuation of historic rehabilitation and new construction projects in the Old Port Historic District in 2003 that were subject to review and approval of the Historic Preservation Program. They range from redevelopment of vacant lots to rehabilitation of existing buildings.

Would adopting a form-based code for the India Street Neighborhood instead of creating an historic district preserve the sense of historic character in the area?

No. A form-based code would not protect historic features of the existing historic buildings that contribute to the neighborhood, nor the historic buildings themselves. Nor would there be review of design quality of details of new construction as they relate to the historic context. A form-based code and historic district designation, however, can serve as complementary planning tools.

Barbara Barhydt - Workshop-India Street Historic District

From: Liv Chase <livchase@yahoo.com>
To: Barbara Barhydt <bab@portlandmaine.gov>
Date: Tuesday, April 28, 2015 3:32 PM
Subject: Workshop-India Street Historic District

Hi Barbara,

I am not able to attend this evenings workshop for the India Street Historic District Proposal. I would like to make the following comments to the Planning Board.

I own 3 properties in the India Street Neighborhood. I am not in agreement with a historic district. Many of the building in the district are old tenement style structures which have no historic value. There are a handful of building in the district including the old firehouse, the synagogue, and the Abyssinian meeting house which I would consider historic. There is no reason that these building can't be noted on a plan. If individual owners want to apply for historic credits, they can still do so without a district wide historic zone. Imposing a historic district on architecture that is not historic adds more restrictions and increases the time frame when it comes to building improvements, building additions, and new construction. Again, I am strongly opposed to any historic district in the neighborhood.

Regards,
Liv Chase

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
BUILDING 1, HOUSE ISLAND**

TO: Chair Benson and Members of the Historic Preservation Board
FROM: Rob Wiener, Preservation Compliance Coordinator
DATE: April 30, 2015
RE: May 6, 2015 Preliminary Review of Proposed Porch Replacement

Address: House Island Small Detention Barracks (Building 1)
Property Owners: Vincent "Cap" and Christina Mona
Project Manager: Lynn DuBois
Project Architect: Mike Richman, Custom Concepts, Inc.

Introduction

On behalf of House Island (north end) owners Vincent and Christina Mona, architect Mike Richman and project manager Lynn DuBois are presenting plans for the replacement of the existing rear, or west porch and two smaller sets of entrance stairs on the primary, east side, at the former Small Barracks at House Island, also known as Building 1. This is the third building on House Island to come before the Board, after the former Doctor's Residence and the proposed new Energy and Utility Building.

In February and March, 2015, staff reviewed other alterations for Building 1 which included features that did not significantly alter the exterior appearance or original, character defining features. At that time, review of the porches and exterior stairs was postponed until spring, and the submission of a separate scope of work. Now the owners and their project manager are hoping to complete the porch replacements before the start of summer. Staff elected to involve the Board in review of the porches because they are quite visible features of the exterior, for which visible changes are proposed. The west side of the Small Barracks is particularly close to, and visible from, the water on that side of the island.

Mr. Richman, the architect, has provided plans and elevations of one alternative, a deck ringed with benches and planters. Another alternative is expected but has not yet been received: a stone patio at grade, with stairs descending from the center doors. It is difficult to ascertain what the original porch configurations were. Staff is including recent photos of the building,

and a 1941 photograph, dating from well after the construction date of the Small Detention Barracks. Unfortunately the historic photo does not provide conclusive evidence of what existed, either when the building was new, or in the middle of the 20th Century.

Subject Property

The Small Detention Barracks was built in 1907 in the Acadian Revival style, in the same year as the Doctor's residence and a no longer existing quarantine hospital. The building program followed the Federal takeover of the Portland Inspection and Quarantine Station at Fort Scammel, and the purchase of the north end of the island on which to locate the new facilities. The wood-framed barracks could accommodate about 50 people. The large, brick detention barracks – the remains of which lie just east of the small barracks - was constructed in 1920, to house up to 592 people.

The exterior appearance of the Small Detention Barracks has changed little since the early decades of the 20th Century, but the history of the west deck is uncertain. A photo taken from the water in 1941 clearly shows stairs descending from the central doors on the west side of the Small Detention Barracks, and it appears that perhaps a deck or raised patio existed then. It is also possible that the light colored stone foundation stands out to give the illusion that a deck or raised patio existed at the time. No railing is visible in the 1941 photo, nor are there visible stairs on the south end; but again, the resolution is poor. The exact date of the existing, two-level deck is unknown, but it is from the late 20th Century. It appears the deck's current form and details, particularly at the southwest corner, are not original, and whether it may be an approximation of a previously existing deck is unknown.

Proposed Alterations

The owners' preferred alternative is to remove the existing west deck completely, and construct stairs that descend from the central doors to the ground, where a stone patio is proposed. The stairs would require a landing outside the doors, with a minimum depth of 3'. Details are unclear at this time, but staff is hopeful that drawings can be included in the mailed packets.

A second alternative proposes a rectangular deck the full width of the west side, approximately 20" (three rises) below the door. The applicants hoped that lowering the deck height above grade to less than 30" would eliminate the need for a guard rail, but it appears that some kind of back or railing for the benches would be required by code, if the height of the *benches* is greater than 30" from grade. For these reasons the drawings supplied of the proposed deck would probably have to be revised in order for the deck to comply with building codes. If this alternative is pursued, more details concerning skirting, bench design, materials, and planters would be necessary.

Staff Comments

Because conclusive evidence is lacking concerning the original porches and stairs at the Small Detention Barracks it is difficult to say with certainty what the most appropriate design would be. A staircase from the doors down to a patio on the ground would expose much more of the lower west wall – a significant change in appearance. Ms. DuBois reported to staff that the foundation of rough, chiseled stone is relatively clean and finished looking below the existing

deck, and openings exist for basement windows and ventilation grates. (Note the condition of the foundation and water table in photos of the south and east sides of the building.) This raises the possibility that there was no deck during the early years of the building. Representations presenting this option may show the façade as it was meant to be seen – with an attractive stone base.

A deck that would be lower than the existing deck would also reveal more of the façade, including the water table, but not as much as the patio alternative. If the design can be manipulated to avoid the necessity of a guard rail, more of the wall will be visible. The proposed planters between bench sections provide punctuation, but are somewhat distracting and reduce visibility of the house wall.

The entrance landings and stairs proposed for the two east doors are identical and symmetrical, facing the east although the doors do not. Details will have to be supplied for the railing, stair, and skirt design, as well as a materials schedule. If the Board discussion provides clear direction and feedback to the applicants, members may feel comfortable instructing staff to conduct the final review of construction details.

Attachments

1. Architect's plans and elevations
2. Staff photos of existing west deck and east entrance stairs
3. 1941 photo of House Island from the west (National Archives)

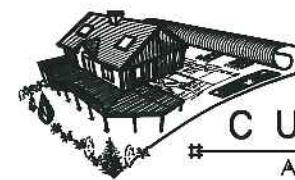


West Elevation



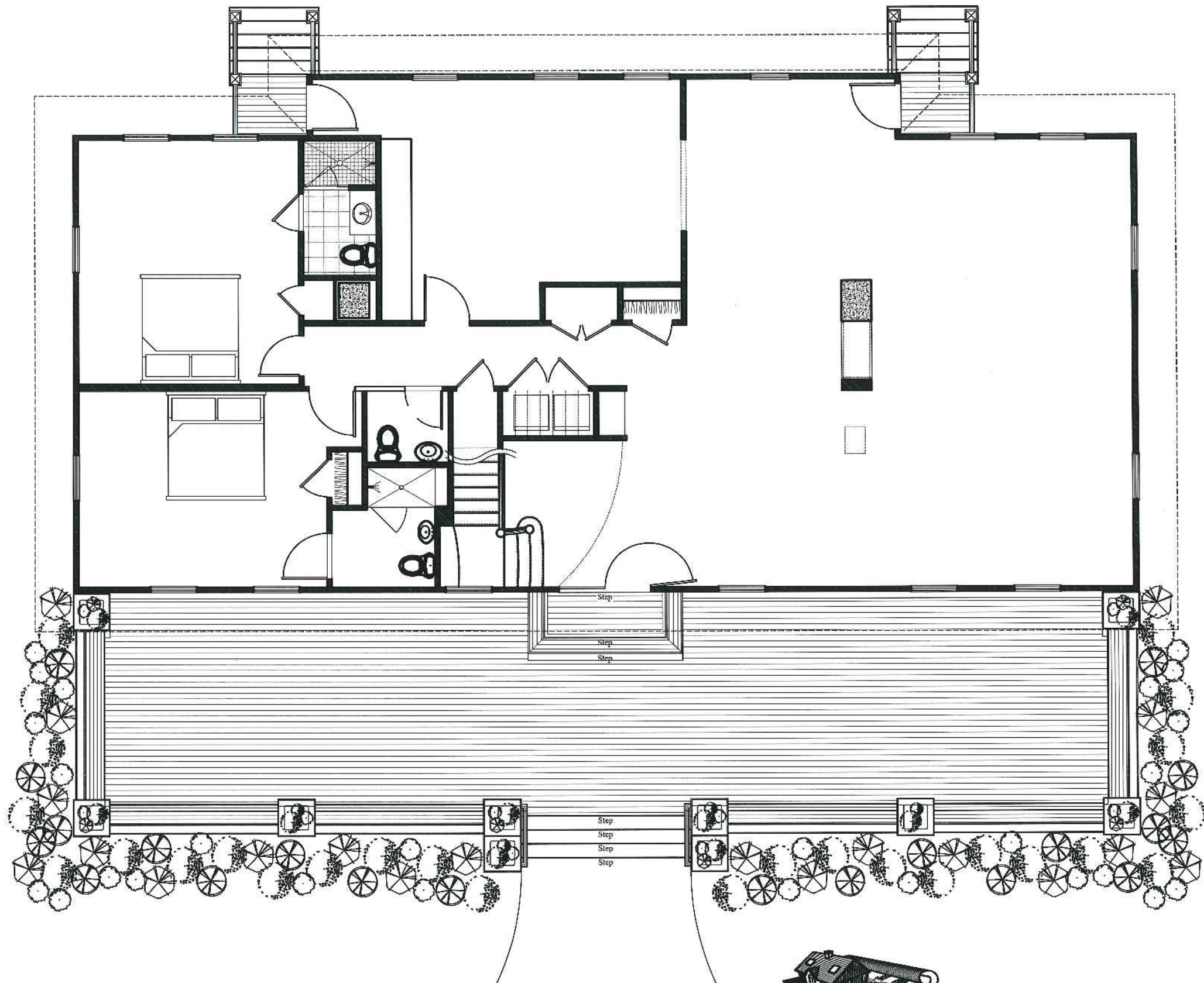
North Elevation

House Island - Buiding #1
 Historic Preservation Review
 Exterior Deck & Stairs



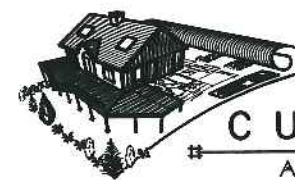
CUSTOM CONCEPTS, INC.
 ARCHITECTURE
 383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
 Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

ATTACHMENT 1
 OPTION
 A



OPTION
A

House Island - Buiding #1
Historic Preservation Review
Exterior Deck & Stairs



CUSTOM CONCEPTS, INC.
ARCHITECTURE
383 U.S. ROUTE 1, SUITE 1A - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM



 **East Elevation**



 **South Elevation**

House Island - Buiding #1
Historic Preservation Review
Exterior Deck & Stairs



CUSTOM CONCEPTS, INC.
ARCHITECTURE
383 U.S. ROUTE 1, SUITE 1A - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

OPTION
A



 **East Elevation**



 **South Elevation**

House Island - Buiding #1
Historic Preservation Review
Exterior Stairs & Patio

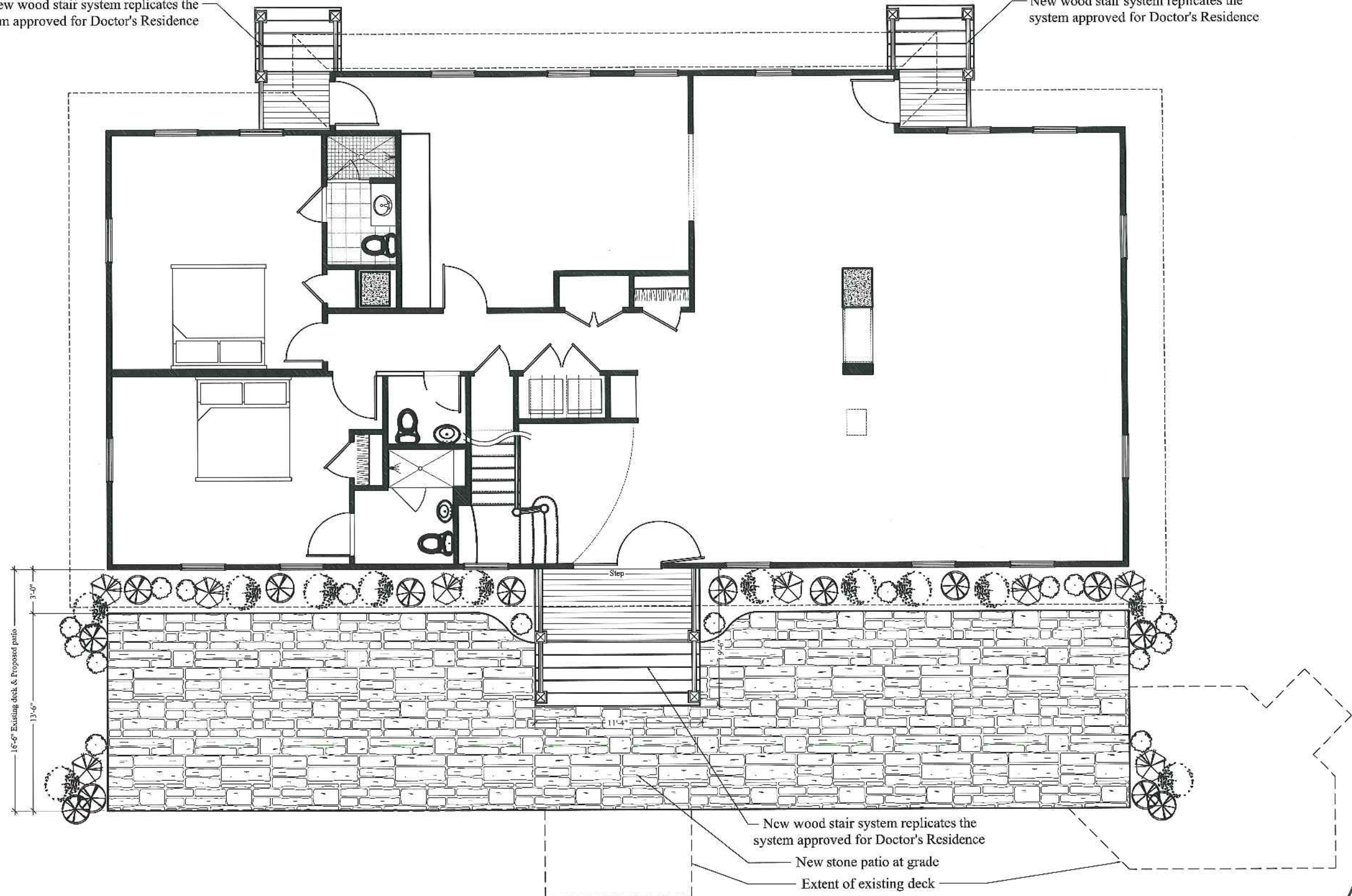


CUSTOM CONCEPTS, INC.
ARCHITECTURE
383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM

OPTION
B
(Rec'd after
memo was written)

New wood stair system replicates the system approved for Doctor's Residence

New wood stair system replicates the system approved for Doctor's Residence



New wood stair system replicates the system approved for Doctor's Residence

New stone patio at grade

Extent of existing deck

OPTION
B

House Island - Building #1
Historic Preservation Review
Exterior Stairs & Patio



CUSTOM CONCEPTS, INC.

ARCHITECTURE

383 U.S. ROUTE 1, SUITE 1A - SCARBOROUGH, MAINE 04074
Phone: (207) 883-0083 WWW.CUSTOMCONCEPTSINC.COM



 **West Elevation**



 **North Elevation**

House Island - Buiding #1
 Historic Preservation Review
 Exterior Stairs & Patio



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 A R C H I T E C T U R E
 383 U.S. ROUTE 1, SUITE 1a - SCARBOROUGH, MAINE 04074
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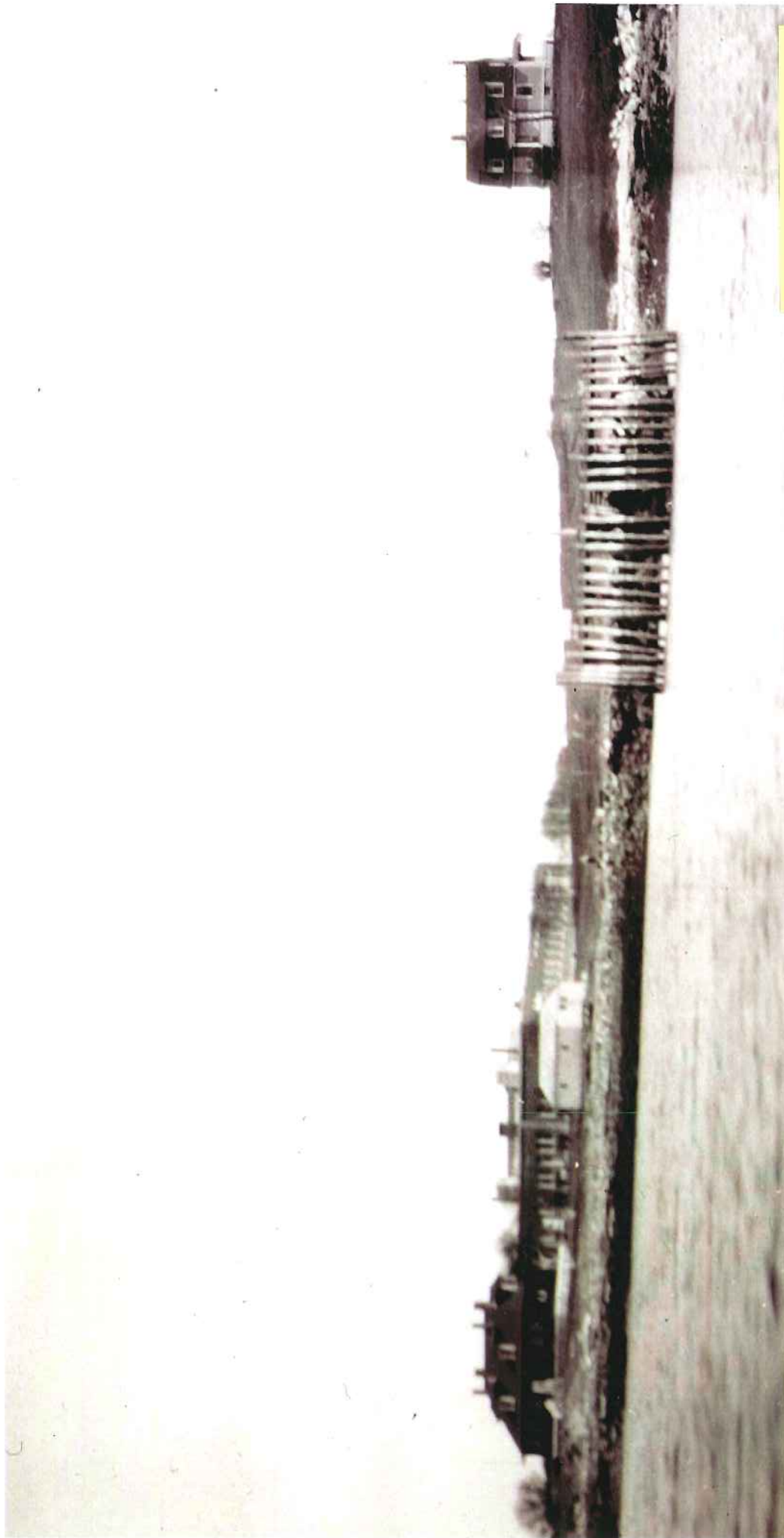
OPTION
 B



ATTACHMENT 2







ATTACHMENT 3

CA. 1941

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
521 CUMBERLAND AVENUE**

TO: Chair Benson and Members of the Historic Preservation Board
FROM: Rob Wiener, Preservation Compliance Coordinator
DATE: April 30, 2015
RE: May 6, 2015 Preliminary Review of Proposed deck and door

Address: 521 Cumberland Avenue, Unit 4
Property Owner: Jason Stankiewicz
Project Architect: Michael Hays, Grant Hays Associates
Contractor: Jeff Decereau

Introduction

Architect Michael Hays of Grant Hays Associates has requested a preliminary review for a proposed deck to be built on the roof of a one-story, two-car garage on the Mellen Street side of 521 Cumberland Avenue. The owner's unit is on the first floor, and the downhill slope of Mellen Street makes the roof of the basement level garage accessible from the owner's condominium. A new door is proposed for the west wall to provide access to the deck.

Mr. Hays has provided plans, elevations, and detail drawings, as well as photos of the property and the location of the proposed deck. At the writing of this report staff has not received renderings showing the proposed appearance of the deck from the street level.

Subject Property

This late 19th Century Queen Anne style property is the west side of a duplex at the corner of Cumberland and Mellen Streets in the Deering Street Historic District. After years as a multi-unit apartment house the units were renovated and sold as condominiums over the past several years. A distinctive, round, three-story tower anchors the corner at Mellen Street, and a one-story porch on the Cumberland Avenue frontage unites the two entrances. Old, 2/2 double-hung windows have been retained on the Cumberland Street facade, but on the other sides there are wood 1/1 units dating from a renovation in the last 20 years.

A two story garage that was added post-1924 protrudes from the brick basement level, down the hill on Mellen Street. The shallow-pitched shed roof of the garage adjoins the side wall of the subject unit, below a pair of windows. The garage has a large overhang at the street-facing eave, with the soffit divided by false rafter tails. The soffit is more ornate than the current side rakes, drip edge, and front fascia, which are very plain.

Proposed Alterations

The 10' by 20' proposed deck covers the entire garage roof, and is surrounded by a solid wall of painted plywood that has false balusters applied on the exterior. The entire wall is to be framed by painted pvc 1x4 trim. The proposed wall rises 3' from the deck surface, with a pipe rail proposed above the painted cap, to bring the total height to 42" above the deck as required by code. Because of the sloped roof of the garage, the deck is 2' above the roof at the lower eave, making the total height of the wall 5' above the current roof (5'-6" including the added pipe rail.) A benefit of the solid safety wall is that all of the deck framing would be hidden behind it, as would the slope of the shed roof. Mr. Hays is proposing new painted, azek (pvc) cornice trim around the edges of the garage roof, at the base of the new construction.

A new full-light glass door is proposed to access the deck from the interior of the property, with the opening to be finished out to match the exteriors of the neighboring windows, and the door header aligned with the window headers. Given the height of the wall around the deck, the proposed door and the existing windows may not be visible to a person standing in front of the garage on Mellen Street, but from across the street or up the hill on Cumberland Avenue the tops of the openings will be visible.

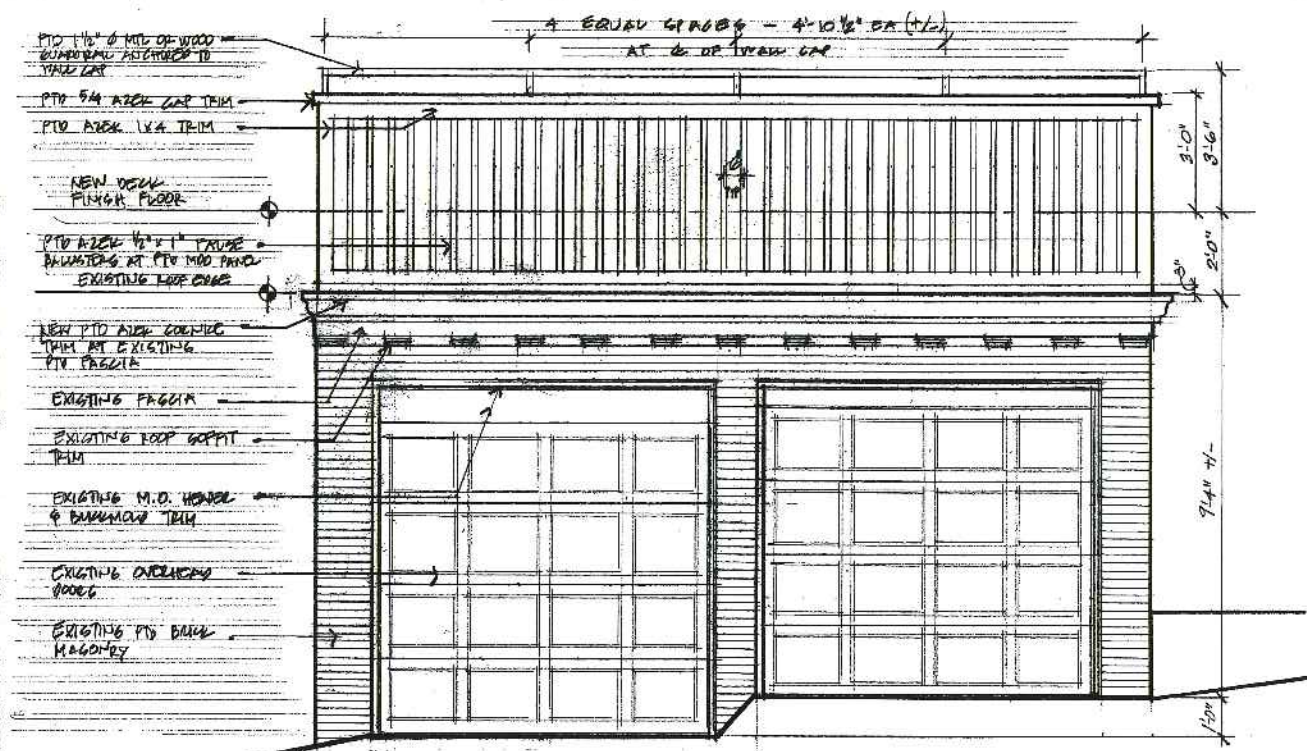
Mr. Hays noted that the owner has permission of the condominium association to build on top of the garage, but any plan that attempted to lower the silhouette of the addition by reframing or cutting into the existing garage roof would necessitate further, more complicated involvement of the association, since it is association property.

Staff Comments

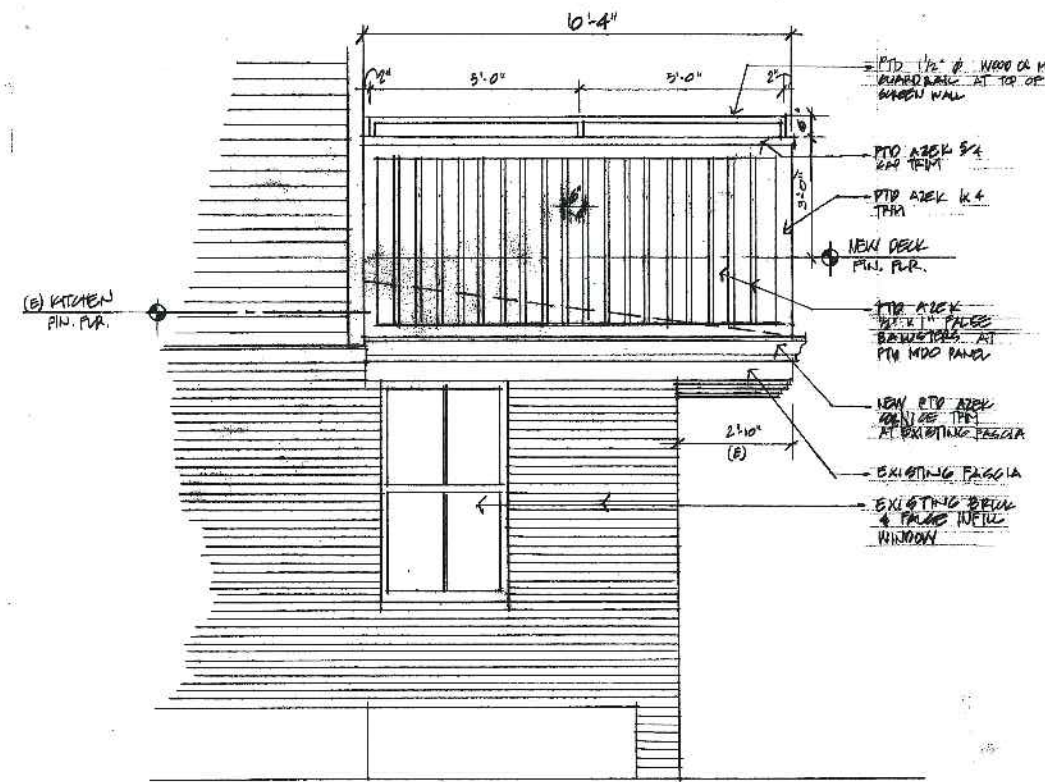
As noted above the solid wall proposed around the deck would hide the framing and the roof slope. It would significantly increase the apparent mass of the garage, and somewhat awkwardly obscure part of the west wall of the property. The architect has noted that he and his client would like the Board's feedback and ideas for mitigating the potentially awkward nature of the addition.

Attachments

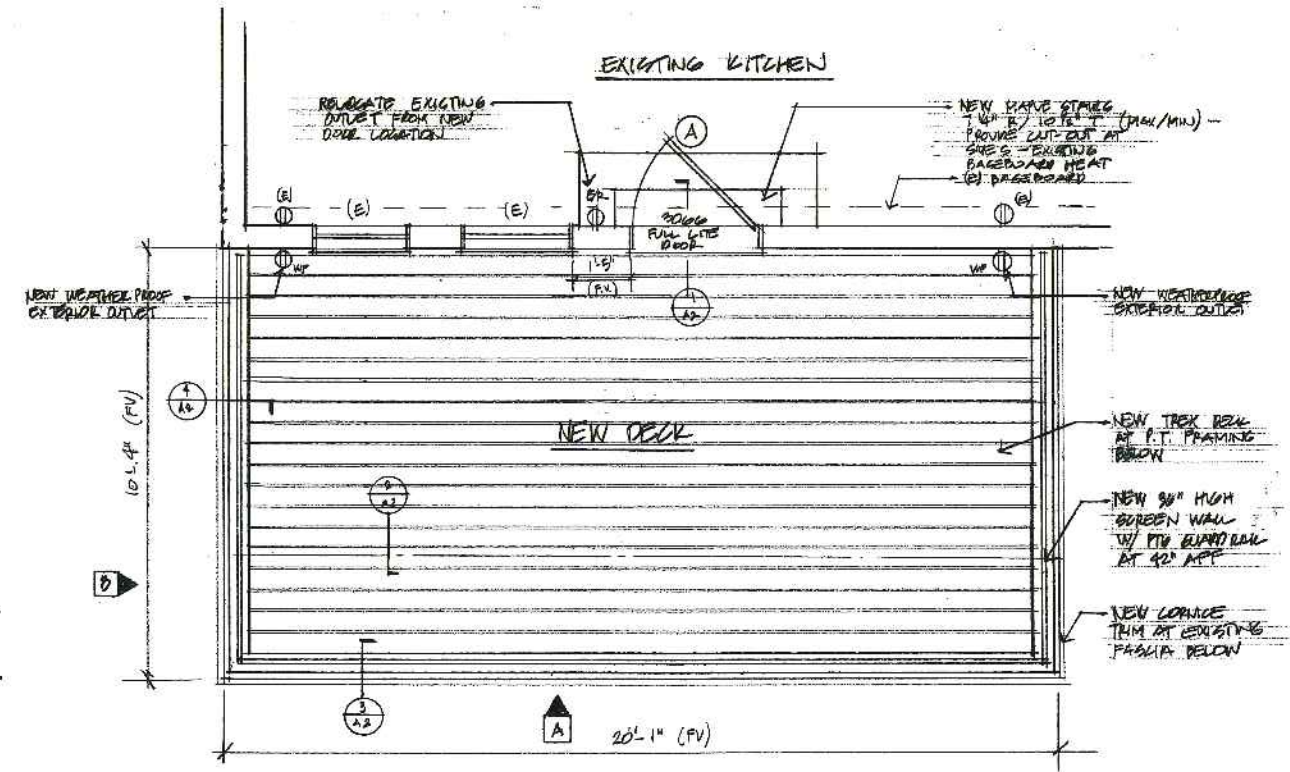
1. Architect's plans and elevations
2. Architect's project description
3. Photographs supplied by architect
4. 1924 tax assessor's photo



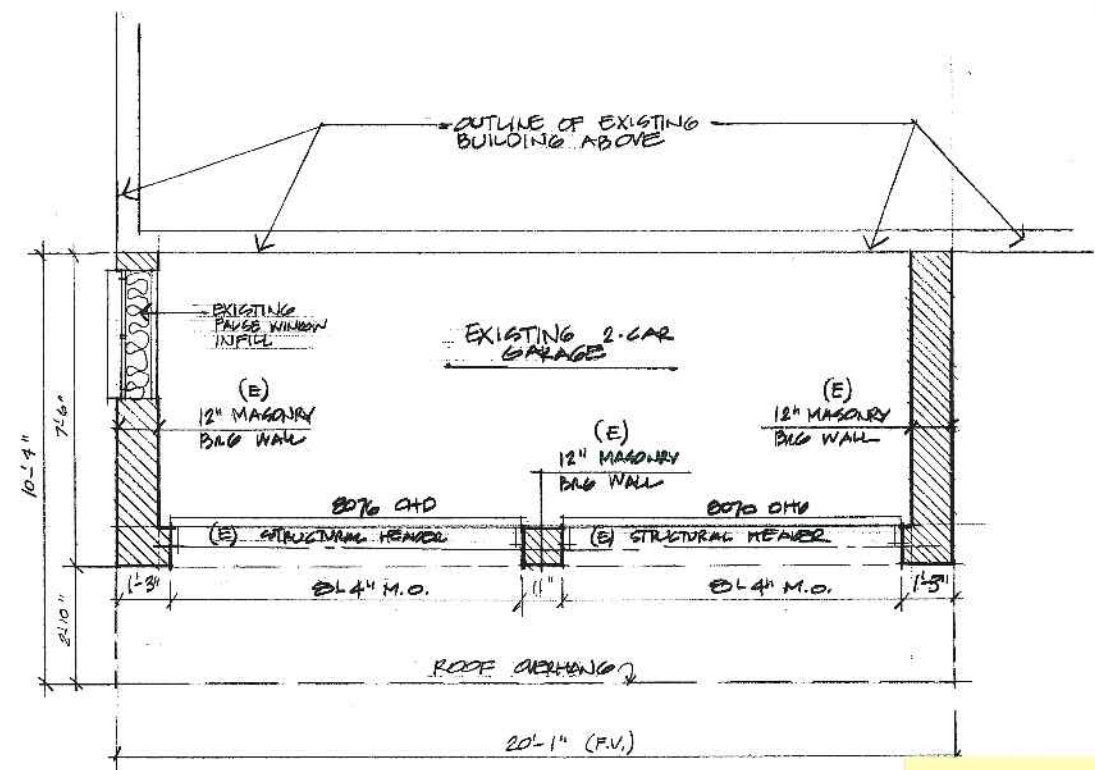
A NEW DECK FRONT ELEVATION - WEST
1/2" = 1'-0"



B NEW DECK SIDE ELEVATION - NORTH
1/2" = 1'-0" (SOUTH SIM.)



NEW DECK FLOOR PLAN
1/2" = 1'-0"



EXISTING GARAGE PLAN - BRG WALLS
1/2" = 1'-0"

ATTACHMENT 1

GRANT HAYS ASSOCIATES
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 TALLMOUTH MAINE 04153
207.871.5900 www.granthays.com

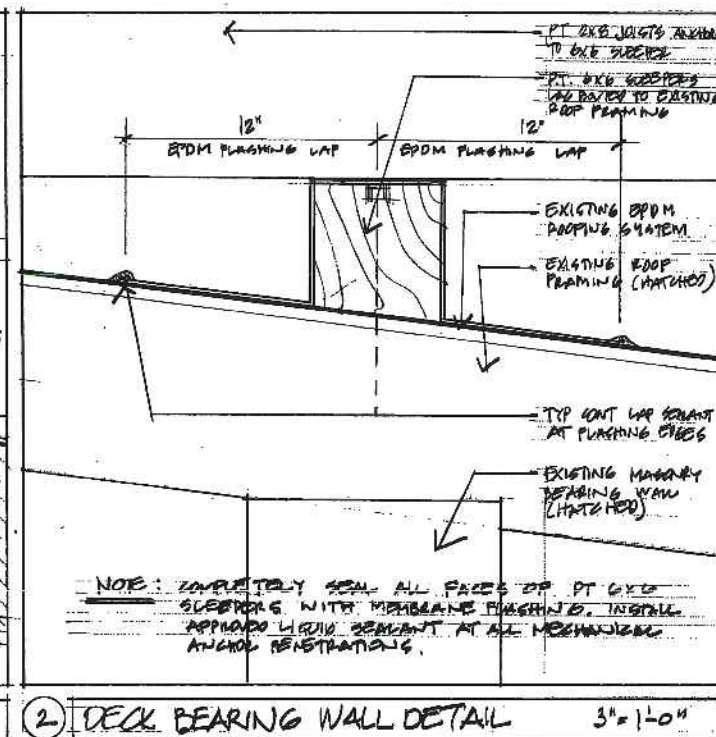
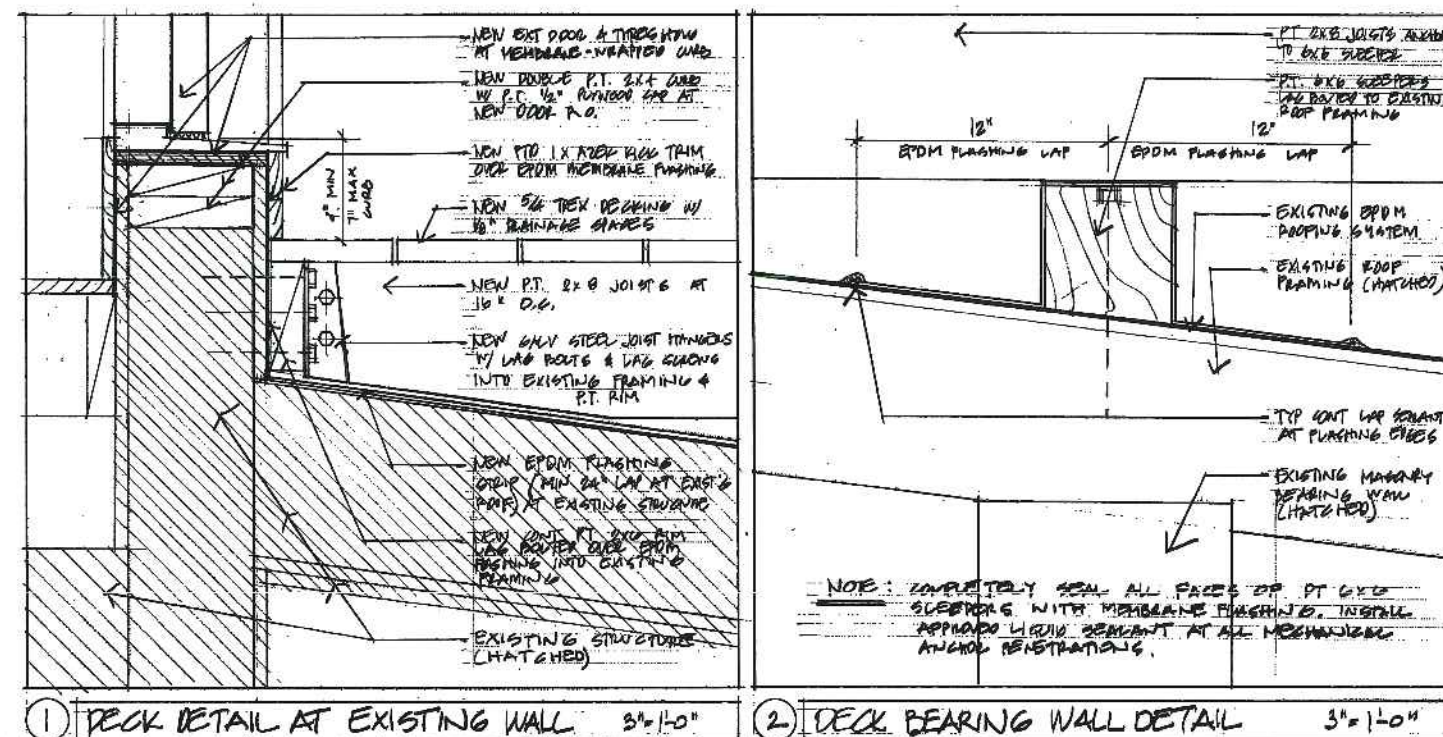
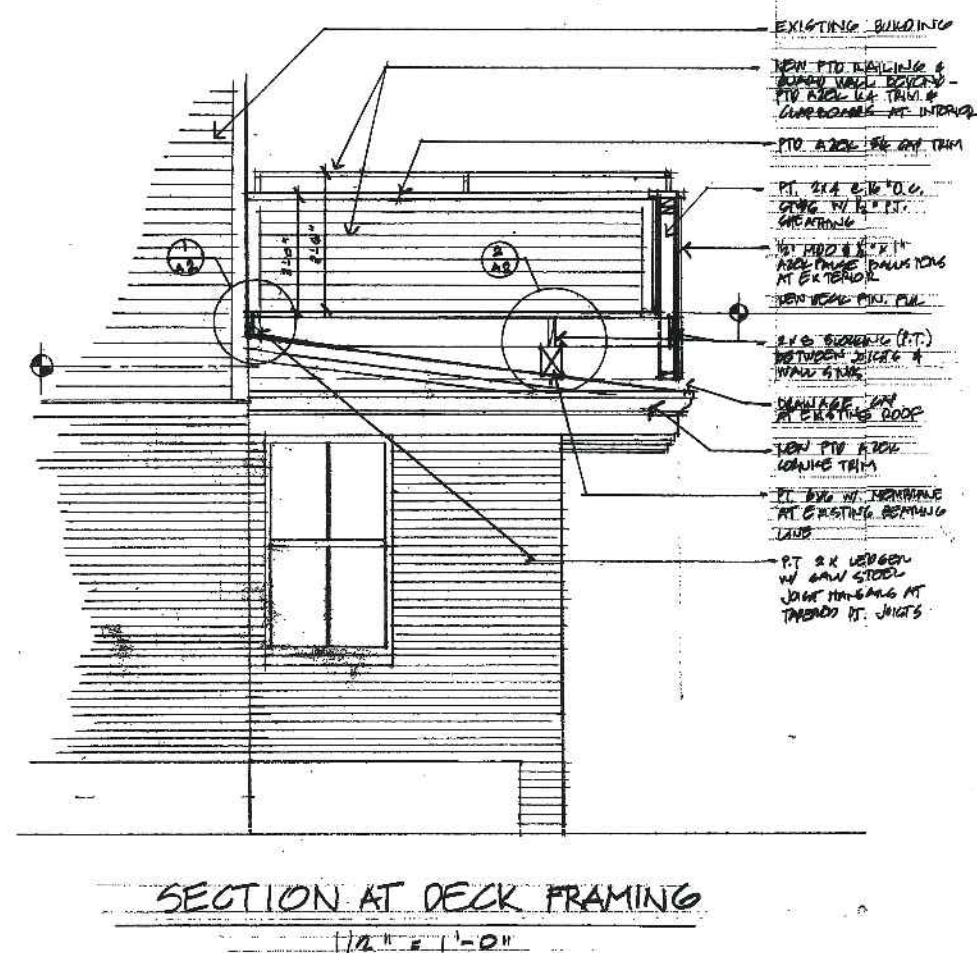
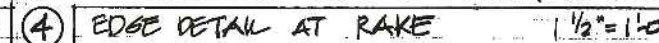
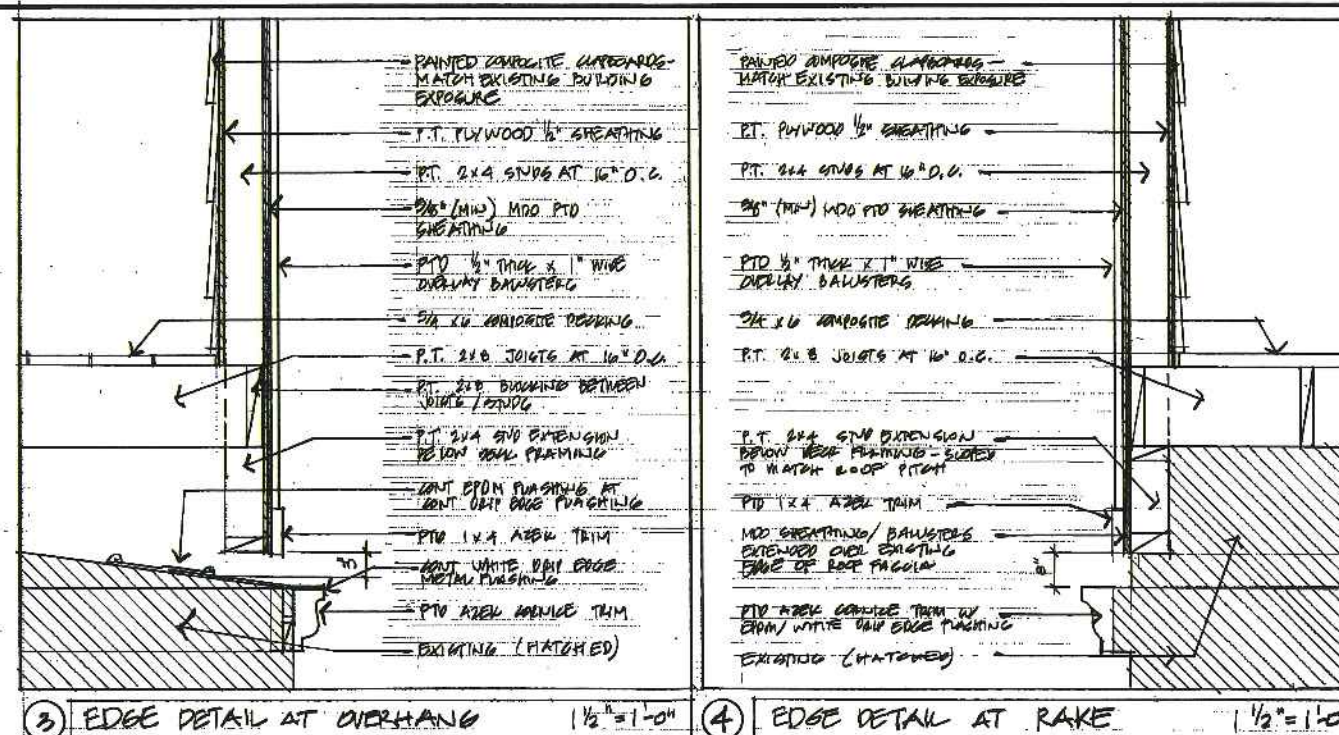
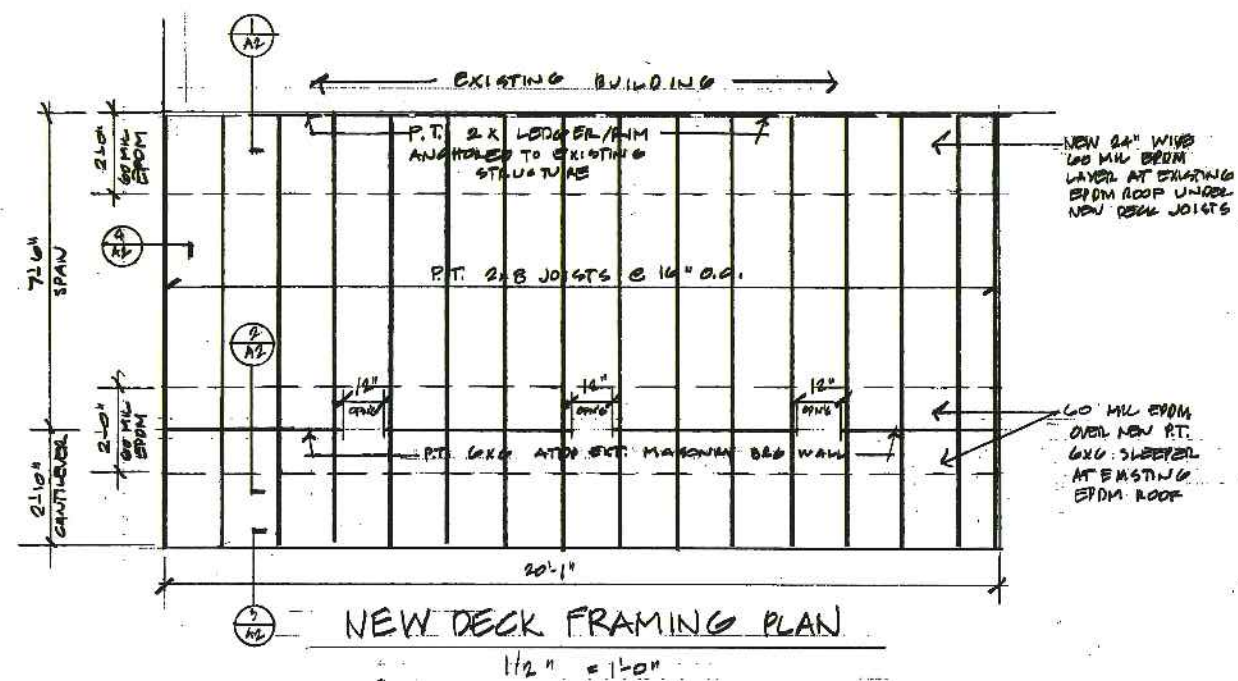


OWNER: JASON STANKIEWICZ
NEW DECK AT
521 CUMBERLAND AVE, UNIT 4
PORTLAND, MAINE 04101

DECK PLANS
& ELEVATIONS

DATE: 7 APRIL '15
SCALE: 1/2" = 1'-0"
DRAWN: MPH
JOB NO: 150407

A-1
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GRANT HAYS
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04103
207.671.5900 www.granthays.com

SEAL



Michael F. Hays

REVISION

DRAWING NAME

OWNER: JASON STANKIEWICZ
NEW DECK AT
521 CUMPERLAND AVE, UNIT 4
PORTLAND, MAINE 04101

FRAMING PLAN
SECTION

DATE: 7 APRIL '81

SCALE: AS NOTED

DRAWN: MPT

JOB NO. 50407

SHEET

A.2

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Date: APRIL 14, 2015

**HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

521 LUMBERLAND STREET, UNIT 4

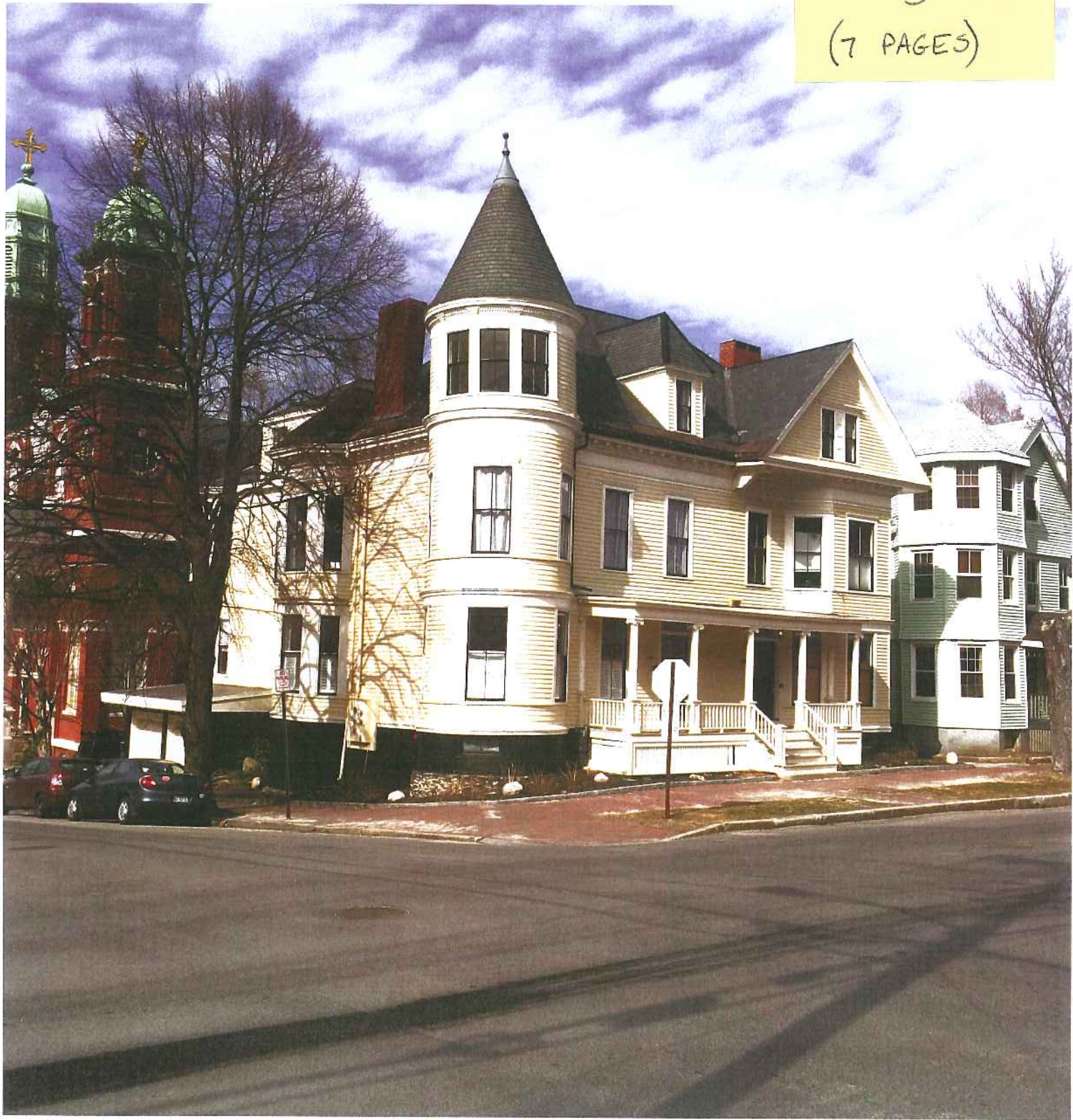
CHART/BLOCK/LOT: OAB P 014001 (for staff use only)

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

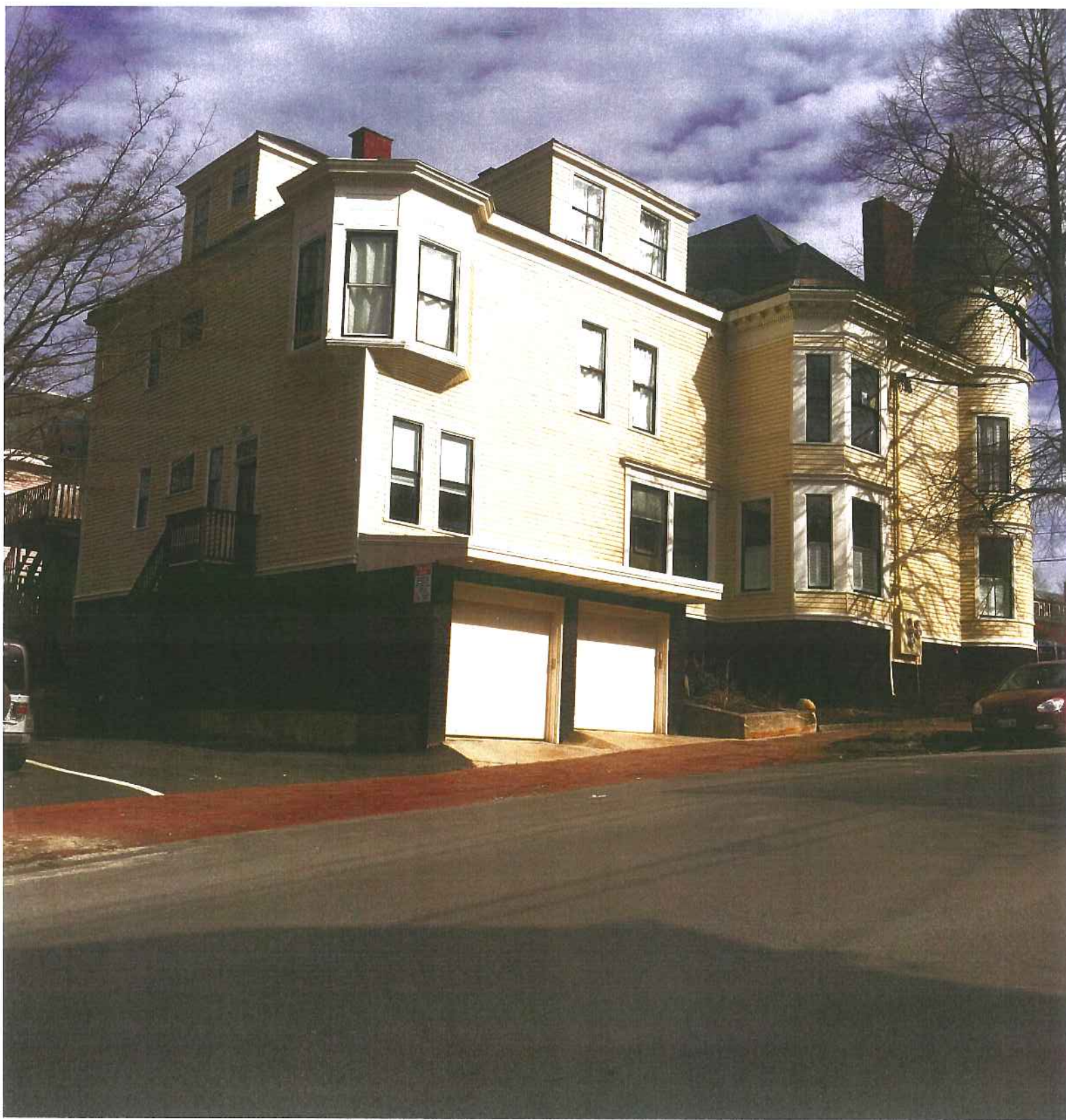
ADD A 10' X 20' +/- DECK TO THE EXISTING
2-CAR GARAGE AT UNIT 4 ON THE Mellen
STREET SIDE OF 521 LUMBERLAND AVENUE.
THE NEW DECK WILL BE ACCESSED FROM
THE EXISTING KITCHEN VIA A NEW FULL LITE
INSULATED DOOR WITH PAINTED DOOR / FRAME / TRIM
TO MATCH THE EXISTING DOORS / WINDOWS ON THE
BUILDING. THE DECK WILL BE FRAMED WITH
PRESSURE TREATED LUMBER. FINISHES WILL INCLUDE
PAINTED MDO / AZEK 'BAWSTER' AT EXTERIOR SIDES OF
THE GUARDRAIL; PAINTED TOP CAP & RAILING; PAINTED
GUARDRAIL SIDING & AZEK TRIM AT THE INTERIOR
OF THE GUARDRAIL AND COMPOSITE PRE-FINISHED
DECKING.

PROJECT
DESCRIPTION
ATTACHMENT 2

ATTACHMENT
3
(7 PAGES)



CUMBERLAND STREET VIEW



MELLEN STREET VIEW



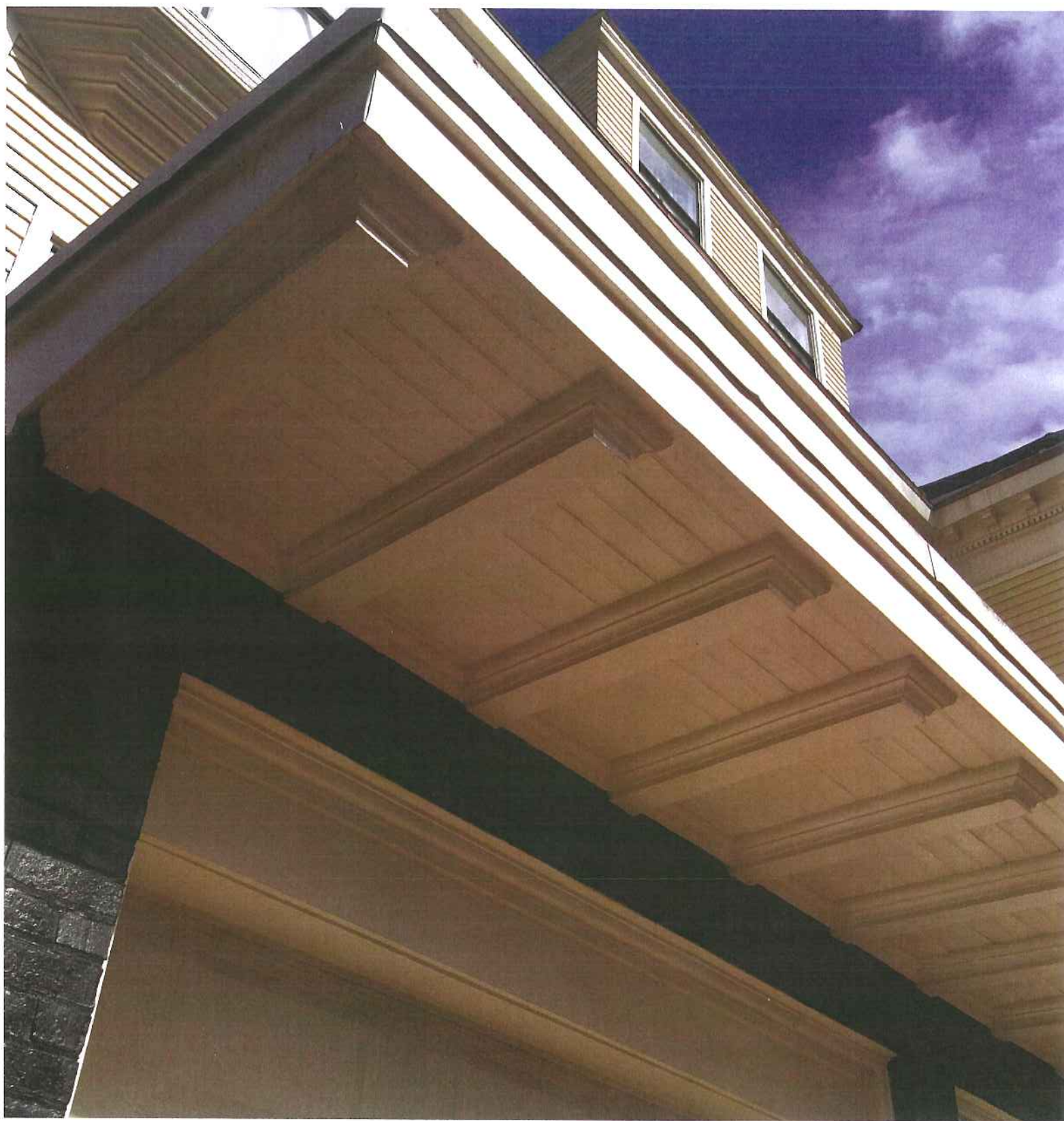
NORTH FACADE



WEST FACADE



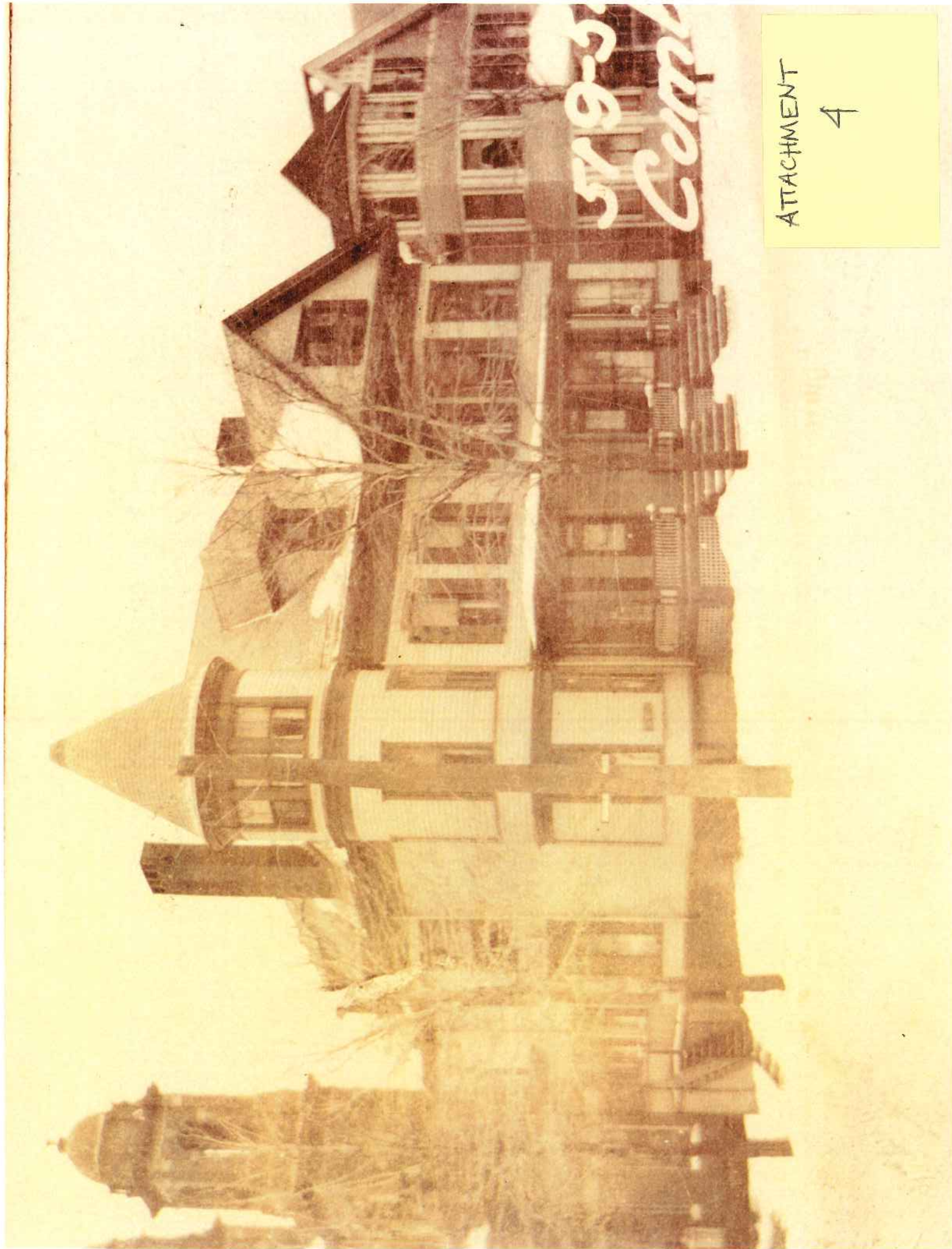
SOUTH FACADE



EXISTING OVERHANG TRIM



NEW DECK DOOR LOCATION



ATTACHMENT

4