

1. Legal Ad

Documents: [10-7-15 LEGAL AD.PDF](#)

2. Agenda

Documents: [10-7-15 AGENDA.PDF](#)

3. Corner Of High And York Street.

Documents: [HP MEMO - HIGH AND YORK STREET.PDF](#)

4. 32 Thomas Street

Documents: [HP MEMO - 32 THOMAS STREET.PDF](#)

5. 119 Chadwick Street

Documents: [HP MEMO - 119 CHADWICK STREET.PDF](#)

6. 50 Western Promenade

Documents: [HP MEMO - 50 WESTERN PROM..PDF](#)

**LEGAL ADVERTISEMENT
HISTORIC PRESERVATION BOARD
CITY OF PORTLAND
Public comments are taken at all meetings.**

On **Wednesday, October 7, 2015** at 5:00 p.m., Room 209, 2nd Floor, City Hall, the Portland Historic Preservation Board will meet in Room 209, City Hall, to review the following items. (Public comments will be taken at this meeting):

1. WORKSHOP

- i. Advisory Review and Comment on Proposed New Construction Abutting Historic District Boundary; 101 YORK STREET (Northeast Corner of High and York Streets); J. B. Brown & Sons, Applicant.

Break for Dinner; Meeting Resumes at 6:45

- ii. Preliminary Review of Proposed Site Alterations; 26-32 THOMAS STREET, Williston West Church & Parish Hall; 32 Thomas Street LLC., Applicant

2. PUBLIC HEARING

- i. Certificate of Appropriateness for Exterior Alterations; 119 CHADWICK STREET; Peter and Sherri Feeney, Applicant.
- ii. Certificate of Appropriateness for Garage Construction; 50 WESTERN PROMENADE; David Fenton, Applicant.

3. CONSENT AGENDA

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Scott Benson, Chair
Bruce Wood, Vice Chair
Glenn Harmon
Ted Oldham
Penny Pollard
Julia Sheridan
John Turk

HISTORIC PRESERVATION BOARD AGENDA
October 7, 2015, 5:00 p.m.
Room 209, 2nd Floor, City Hall
Public comment is taken at all meetings

- 1. ROLL CALL AND DECLARATION OF QUORUM**
- 2. COMMUNICATIONS AND REPORTS**
- 3. REPORT OF DECISIONS OF SEPTEMBER 16, 2015:**

There were no public hearing items to report on.

4. WORKSHOP

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- iv. Certificate of Appropriateness for Garage Construction; 50 WESTERN PROMENADE; David Fenton, Applicant.

6. CONSENT AGENDA

- i. Proposed installation of sculpture at 511 Congress (former Maine Savings Plaza)
- ii. Preliminary request for painted mural on side walls of Tandem Bakery, 742 Congress

Materials related to these consent items will be distributed at the meeting.

Contact the Department of Planning and Urban Development, Planning Division, 874-8726 for further information. To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date: <http://www.portlandmaine.gov/historic.htm>

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP – ADVISORY REVIEW and COMMENT
NORTHEAST CORNER OF HIGH AND YORK STREETS**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Deb Andrews, Historic Preservation Program Manager

DATE: September 30, 2015

RE: October 7, 2015 **Workshop – Advisory Review and Comment on Proposed
New Construction Immediately Abutting Historic District**

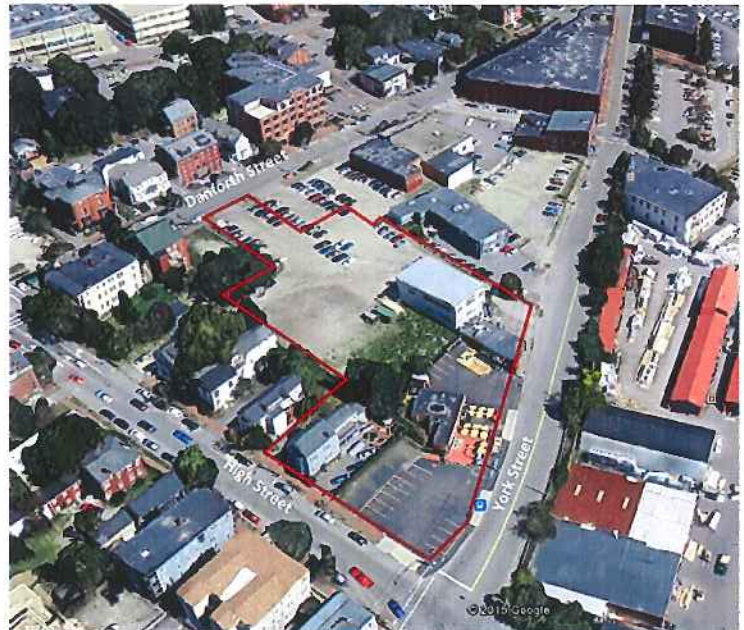
Address: 101 York Street (northeast Corner of High and York Streets)

Applicant: J. B. Brown & Sons

Design/Build Contractor: Opechee Construction Corporation

Introduction

J. B. Brown and Sons will soon be before the Planning Board for site plan review of a proposal for new construction at the northeast corner of High and York Streets. As the subject lot immediately abuts the boundary of the West End Historic District, the Planning Board must find that the proposed development is “*generally compatible with the major character-defining elements of the portion of the district in the immediate vicinity of the proposed development.*” This site plan review standard, commonly referred to as the “100’-foot rule”, was added to the site plan ordinance in 2009 to ensure that new



construction in the immediate vicinity of a historic district respect any strong identifiable building patterns and/or visual characteristics exhibited in the abutting portion of the district.

Under this site plan standard (see full text in Attachment 1), historic preservation staff is required to provide the Planning Board a written analysis of the proposed development's immediate context, identifying the major character-defining elements and any established building patterns that characterize the context. In preparation for forwarding this analysis, it has been staff's practice to schedule an advisory review of the proposed project with the Historic Preservation Board, especially in the case of major development projects. In this case, the proposed development not only immediately abuts the boundary of the West End Historic District, it also is located at a key gateway to the historic core of the downtown and to the Old Port. The HP Board advisory reviews, typically conducted early on in the site plan review process, have proven instructive in highlighting particular areas of concern and in identifying possible design modifications to achieve greater compatibility with the abutting historic context.

The Board will also be reviewing proposed site alterations to the property at 27 High Street which immediately abuts the project site. The 27 High Street property, which falls within the historic district boundary, is also owned by J.B. Brown. (Note that the building is shown within the red boundary in the aerial view on the preceding page; it is included within the boundary only to show the total site controlled by J. B. Brown. The building will not be demolished as part of the development.)

Submitted Plans, Focus of Board's Review

Enclosed for the Board's review are excerpts from the preliminary plans prepared by Opechee Construction. The design/build construction company is providing design services for the project. As Board members will note, the elevations do not include a high level of detail at this time. Also provided are two perspective views of the proposed project. Staff has requested that Opechee provide additional perspective views to assist in the Board's review—including a view from directly across High Street and views from other points on High Street. Staff has also asked that the High Street elevation drawing of the proposed structure also depict at least the abutting building at 27 High.

Given the preliminary nature of the plans and the fact that this project is not before the Historic Preservation Board for formal review and approval, the Board's focus should be on general issues of compatibility: scale, massing, orientation to the street, materials. Also, notwithstanding the fact that much of the building fronts on York Street, the Board should focus its attention primarily on the High Street portion of the building, which is in closest proximity to the historic district boundary.

Proposed Development

The subject lot, located at the northeast corner of High and York Streets, is currently occupied by surface parking, a one-story former gas station that houses El Rayo Taqueria and an office building at the east end of the parcel. J. B. Brown & Sons propose to construct a 5-story, mixed use development with frontage on both High and York Streets. The building features a 17,500 sq. ft. footprint, frontage of approximately 305 feet on York Street and 88 feet of frontage on High Street. Retail or restaurant use is proposed for the first floor with 63 apartments on the upper floors. Also included in the development is a parking structure (one

level of enclosed parking with surface parking above) at the rear portion of the lot. Vehicular access to the project will be from both York Street and Danforth Street. The property is located within the B-3 zone; the allowable building height in this portion of the B3 zone is 45 feet.

As proposed, the building appears to be subdivided into three distinct elements (or five, depending on how you read the individual components) in an apparent attempt to break down the overall length and massing of the 305 ft. long building and accommodate the alignment of York Street, which curves in a northeasterly direction beyond High Street. The portion of the building at the corner of High Street is shown clad in yellow brick. The High Street façade of this building element features a fairly symmetrical composition (although the upland bay is wider than the lower bay). The center section of the High Street façade features a lower cornice and is clad in a contrasting material, but appears to be flush with the two end bays. As the yellow brick building component turns the corner onto York Street, a section that reads as a rear “ell” (also in yellow brick) is introduced and set back at an angle from the street. At this point, the building pivots to follow the line of York Street. This “bridge” section is set off by a contrasting material with a grey finish. The balance of the York Street façade is clad in red brick with granite trim details. This section projects beyond the face of the abutting bridge section. As the perspective view from York Street illustrates, an attached single-story parking structure with surface deck for additional parking extends behind the 5-story structure facing York Street.

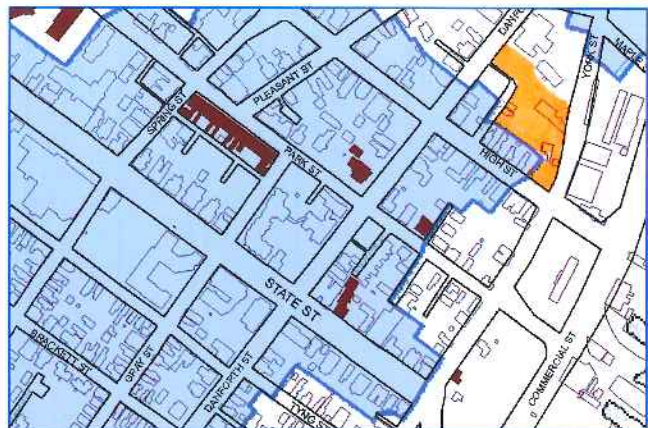
Most of the ground floor level on York Street is retail and/or restaurant space, except for the entrance to the parking garage at the easternmost end of the building. It is not clear whether there is a formal entrance to the upper floors on the York Street frontage. On High Street, the ground floor retail treatment extends one bay up the street. Stepped planters are shown at the base of the building from this point up High Street. From the elevations, there appears to be no building entrance on High Street. (There is a building entrance on the north elevation, which is accessed by a walkway off High Street.)

Fenestration and cornice treatments vary from one section of the building façade to another.

Project Context

As noted in the introduction, the primary focus of the Board’s review is the High Street end of the proposed development, where it abuts the boundary of the West End Historic District. As such, the following description focuses on that portion of the development’s context.

As the detail from the West End Historic District map shows, the district extends all the way to York Street in the vicinity of State Street. East of State Street, however, the district stops short of York Street. This is due to the fact that many of the buildings on or approaching York Street have been significantly altered over time and have lost much of their architectural integrity. While the buildings directly across High Street from the proposed development are



certainly part of the current context, it is possible that these will be redeveloped in the future. The historic district begins at 27 High Street on the east side of the street and at 28-30 High Street on the west. Most of the houses on this lower block of High Street are 2 ½-3 ½ story residential structures. Many are oriented gable end-to-the-street and feature relatively narrow footprints. There are a few buildings with larger footprints, however. Exterior materials include both clapboard and brick. While some buildings have lost original architectural features with the application of aluminum or vinyl siding, others are in a very good state of preservation and are architecturally noteworthy. In general, development in the area is consistent with the smaller scale residential fabric that characterizes much of the West End.

Preliminary Staff Comments and Questions for Consideration

As noted above, the portion of the historic district immediately abutting the proposed development, including the residential structure at 27 High Street owned by JB Brown, is characterized by relatively small scale residential development. That said, the subject parcel is located at one of the city's main gateways. Virtually all northbound Casco Bay Bridge traffic, which experiences heavy commuter volumes, currently passes this site. It is at this point that one either turns left to climb High Street toward the downtown core or proceeds straight on York Street towards the Old Port. The current underutilized nature of the property fails to provide any "sense of arrival" as one enters these important and distinct areas of the peninsula. Development of this site has the potential to provide a strong architectural presence at this key corner as well as a sense of arrival. In anchoring this corner, however, the new development will need to mediate two distinctly different contexts.

In staff's view, this corner location can support a building of a larger scale and footprint than the smaller residential structures immediately upland from the site on High Street. Indeed, it could be argued that it would be a missed opportunity not to introduce a fairly substantial structure to anchor this key gateway corner. That said, to provide a successful transition to the smaller domestic-scale buildings immediate north of the property, it seems appropriate that the building step down as it approaches the abutting 2 ½ story residential structure at 27 High. Although the High Street façade as proposed shows a symmetrical treatment with a highlighted center section flanked by two more-or-less matching end bays, perhaps this design approach should be reconsidered. Instead of featuring a symmetrical facade, perhaps more of the mass and visual weight of the building could be shifted to the corner. From this point, the building could step down one story to provide a transition to the smaller scale development on High Street. The size of windows might be reduced slightly as well in the portion of the building. There are likely alternative ways as well to mediate this change in scale.

As noted in the introduction to this report, the enclosed preliminary plans do not allow for a detailed review of the proposed development as a number of details typically reviewed by the Board have not yet been provided. As such, the Board will focus on more general issues of scale, massing, general building composition/design, exterior materials and fenestration.

Site Alterations at 27 High Street

In conjunction with the proposed development, several site alterations are proposed for the 27 High Street property. These include the construction of a 6'6" opaque wood fence at the side property line separating the existing residential property from the proposed new

construction and the removal of an existing brick paver patio and raised planters toward the rear of the lot and replacement with a landscaped area and new patio.

The proposed site alterations are to be reviewed for conformance with the historic preservation ordinance review standards, as the property falls within the West End Historic District. (As the application was advertised as a workshop item, the Board is being asked whether staff might sign off on the site alterations, with input from the Board at this meeting.) With respect to the proposed fence, zoning requirements stipulate that fences not exceed 4 feet in height within 25 feet of the front property line. The fence will need to step down as it approaches the sidewalk.

Attachments

1. Applicable Site plan ordinance standard for developments within 100 feet of a historic district boundary
2. Written project description
3. Photos of existing lot, abutting context
4. Site plan of existing conditions
5. Elevations
6. Perspective views
7. Proposed site plan and site details

Att. 1

4. *View corridors:*

- a. The massing, location and height of development shall not substantially obstruct public views corridors identified in the Downtown Vision View Corridor Protection Plan, as provided in the City of Portland Design Manual, Appendix 1.

5. *Historic Resources:*

- a. Developments affecting designated landmarks or within designated historic districts or historic landscape districts: Any proposed development required to obtain a certificate of appropriateness under article IX (historic preservation) of the land use code shall be exempt from the following design standards, as described in the Design Manual:

- (i) Section (b) of the Design Manual (development in B-3 zone), except for (b) (1) e.2. (increasing setback beyond street build-to line), (b) (1)f. (shadow impact on open space), (b) (1)h. (wind impacts), and (b) (1)g. (setbacks from existing structures);

- (ii) Section (c) of the Design Manual (development in B-5 and B-5b zones), except for (c)a. (shared infrastructure) and (c)d. (parking lot location);

- (iii) Section (k) of the Design Manual (small residential lot development in R-6 zone);

- (iv) Section (e) of the Design Manual (University of Southern Maine);

- (v) Section (f) of the Design Manual (development in B-7 zone), except for (f) (1)a. (transportation demand management);

- (vi) Section (g) of the Design Manual (development in Eastern Waterfront zone).

- b. Development adjacent to designated landmarks,

historic districts or historic landscape districts: when any part of a proposed development is within one hundred (100) feet of any designated landmark, historic district or historic landscape district, such development shall be generally compatible with the major character-defining elements of the landmark or portion of the district in the immediate vicinity of the proposed development. Character-defining elements of landmarks and historic districts are identified in the historic resources inventory and respective historic district designation reports. For the purposes of this provision, "compatible" design shall be defined as design which respects the established building patterns and visual characteristics that exist in a given setting and, at the same time, is a distinct product of its own time. To aid the planning board in its deliberations, historic preservation staff shall provide a written analysis of the proposed development's immediate context, identifying the major character-defining elements and any established building patterns that characterize the context.

- c. Preservation and/or Documentation of Archaeological Resources. Where a state or local archaeological resource is known to exist or is discovered on the site, the developer shall inform the City and State and shall protect and/or document such resources.
 - (i) Protection shall include leaving archaeological resources untouched beneath a new development through adaptation of foundation design or architectural layout.
 - (ii) Where the applicant can demonstrate that complete protection is not feasible, the applicant shall excavate and document archeological resources. Such measures shall be conducted in consultation with the City Historic Preservation Program and Maine Historic Preservation

Att. 2



Date: 08-14-2015

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

27 High Street

CHART/BLOCK/LOT: 08-14-2015 (for staff use only)

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

101 York Street, LLC (a subsidiary company of J.B. Brown & Sons) is proposing a
mixed-use development at the corner of York Street and High Street in the B-3
zone. The proposal is a 5-story building that will provide approximately 17,000
sq.ft. of flexible commercial on the first floor and 63 residential apartments on the
upper 4 floors. Also, the development will include a 2-level parking structure with
211 total spaces in the back of the 5-story structure. As it relates to the Historic
District, 27 High Street is under the common ownership with the project a lot line
adjustment to property lines is proposed. In addition, the proposal is to raze and
exising brick paver patio and planters on 27 High Street to provide a landscape
buffer and a new brick patio area to be shared with the proposed project. Please
see the attached hardscape plans for a graphic representation of the proposed
improvements and the attached photo graphs for the previous and current
conditions. Also, please note that in reviewing aerial photos of 27 High Street, the
existing hardscape and planters was installed some time after 2008 when J.B.
Brown purchased 101 York Street. Previously to those improvements, the area
was deteriorated bituminous pavement, lawn, and weeds.

Att. 3





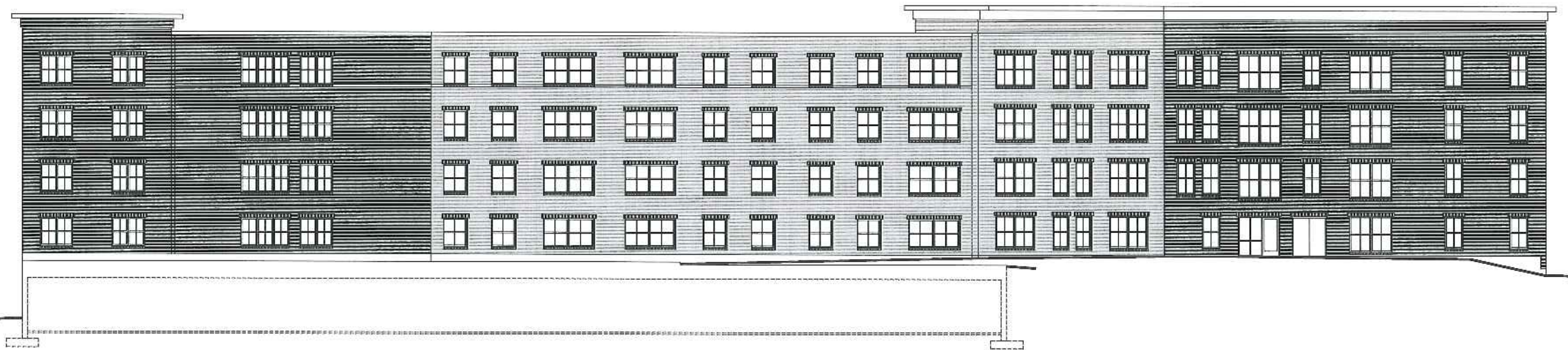








ROOF PARAPET
1'-0"
HIGHEST ROOF BEAM
10'-6 1/2"
FIFTH FLOOR
10'-0"
FOURTH FLOOR
10'-0"
THIRD FLOOR
10'-0"
SECOND FLOOR
10'-0"
FIRST FLOOR
10'-0"
PARKING ON GRADE



4 PARKING DECK EXTERIOR ELEVATION
3/32" = 1'-0"



3 HIGH STREET EXTERIOR ELEVATION
3/32" = 1'-0"

ROOF PARAPET
HIGHEST ROOF BEAM
FIFTH FLOOR
FOURTH FLOOR
THIRD FLOOR
SECOND FLOOR
FIRST FLOOR

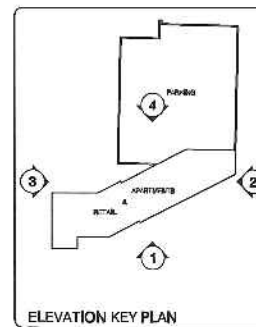


2 SIDE YORK STREET EXTERIOR ELEVATION
3/32" = 1'-0"

ROOF PARAPET
1'-0"
HIGHEST ROOF BEAM
10'-6 1/2"
FIFTH FLOOR
10'-0"
FOURTH FLOOR
10'-0"
THIRD FLOOR
10'-0"
SECOND FLOOR
10'-0"
FIRST FLOOR
10'-0"



1 YORK STREET EXTERIOR ELEVATION
3/32" = 1'-0"



Alt. 6



Perspective View from York Street

September 03, 2015

Proposed Mixed Use Development

Portland, Maine



Perspective View from the corner of York Street and High Street

September 03, 2015

Proposed Mixed Use Development

Portland, Maine

Alt. 7

Mixed Use Development

York & High Street
Portland, Maine

REVISION:

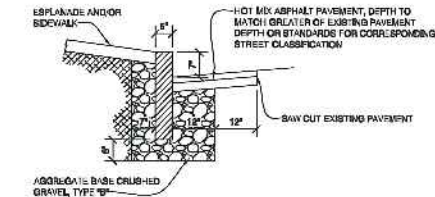
ISSUED:
8-14-15 SITE PLAN REVIEW

project architect: KK
drawn by: CDR

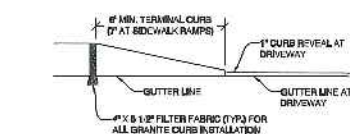
HARDSCAPE
PLAN &
DETAILS

sheet number:

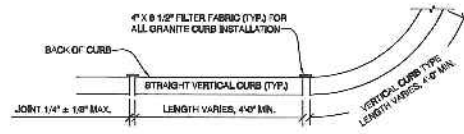
C7.01



11 CURB INSTALLATION - CROSS SECTION
1/2" = 1'-0"



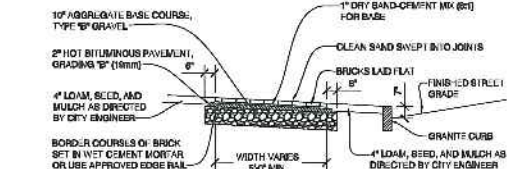
10 CURB INSTALLATION - TERMINAL CURB PROFILE
NOT TO SCALE



9 CURB INSTALLATION - PLAN
NOT TO SCALE

- NOTES:
1. COMPOSITE WET SET (REPLACEMENT) DETECTABLE WARNING PANELS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS, INC. (WWW.ADA-TECH.COM), OR APPROVED EQUIV.
 2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MINIMUM D.O.T. CLASS A STRUCTURAL MINIMUM COMPRESSIVE STRENGTH 4,000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS.
 3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. NO OTHER DETECTABLE WARNING DESIGN CONFIGURATION ALLOWED.
 4. FOR ALL DETECTABLE WARNING PANELS, WITHIN OR ADJACENT TO HISTORIC DISTRICTS AND HISTORIC LANDSCAPES, YORK GRAY COLORED (68118) PANELS SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
 5. THE DETECTABLE WARNING PANEL SHALL HAVE ONE FULL COURSE OF PINE HALL PATHWAY PAVERS (TYP. CURRENT BRICK STANDARD) AROUND THE FULL PERIMETER OF THE PANEL. THIS FULL COURSE SHALL BE SET INTO PORTLAND MORTAR CEMENT TO CREATE A FLUSH SURFACE BETWEEN THE BRICK AND THE PANEL.
 6. SET THE DETECTABLE WARNING PANELS SHALL EXTEND 2\"/>

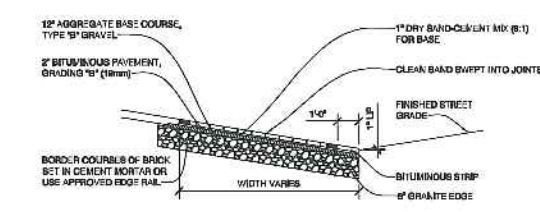
8 DETECTABLE WARNING STRIP - RAMP DETAIL
3/4\"/>



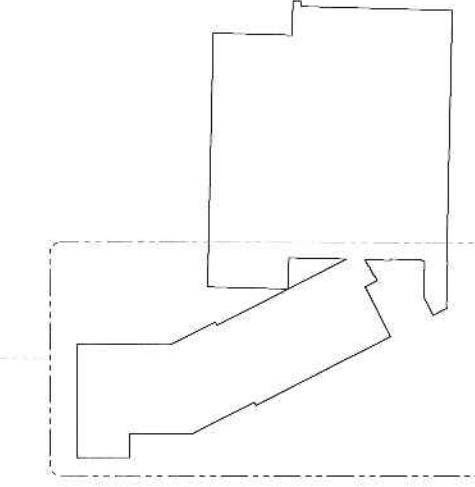
4 BRICK SIDEWALK SECTION
1/4\"/>

- BRICKS TO BE USED:
- NEW CONSTRUCTION:
4\"/>

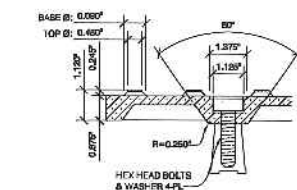
REPAIR/MAINTENANCE TO EXISTING:
VERMONT PAVES, SUPPLIED BY GUNNE AND SONS, SPECIFICATION VERMONT BACKER BRICK, ITEM #VBSB.



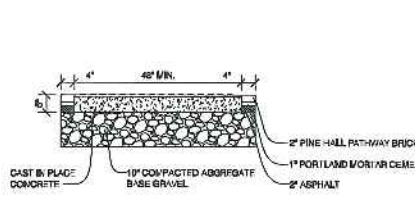
3 BRICK DRIVEWAY APRON SECTION
1/4\"/>



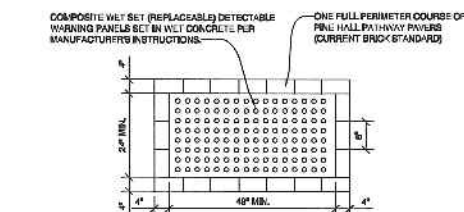
1 HARDSCAPE KEY PLAN
1/8\"/>



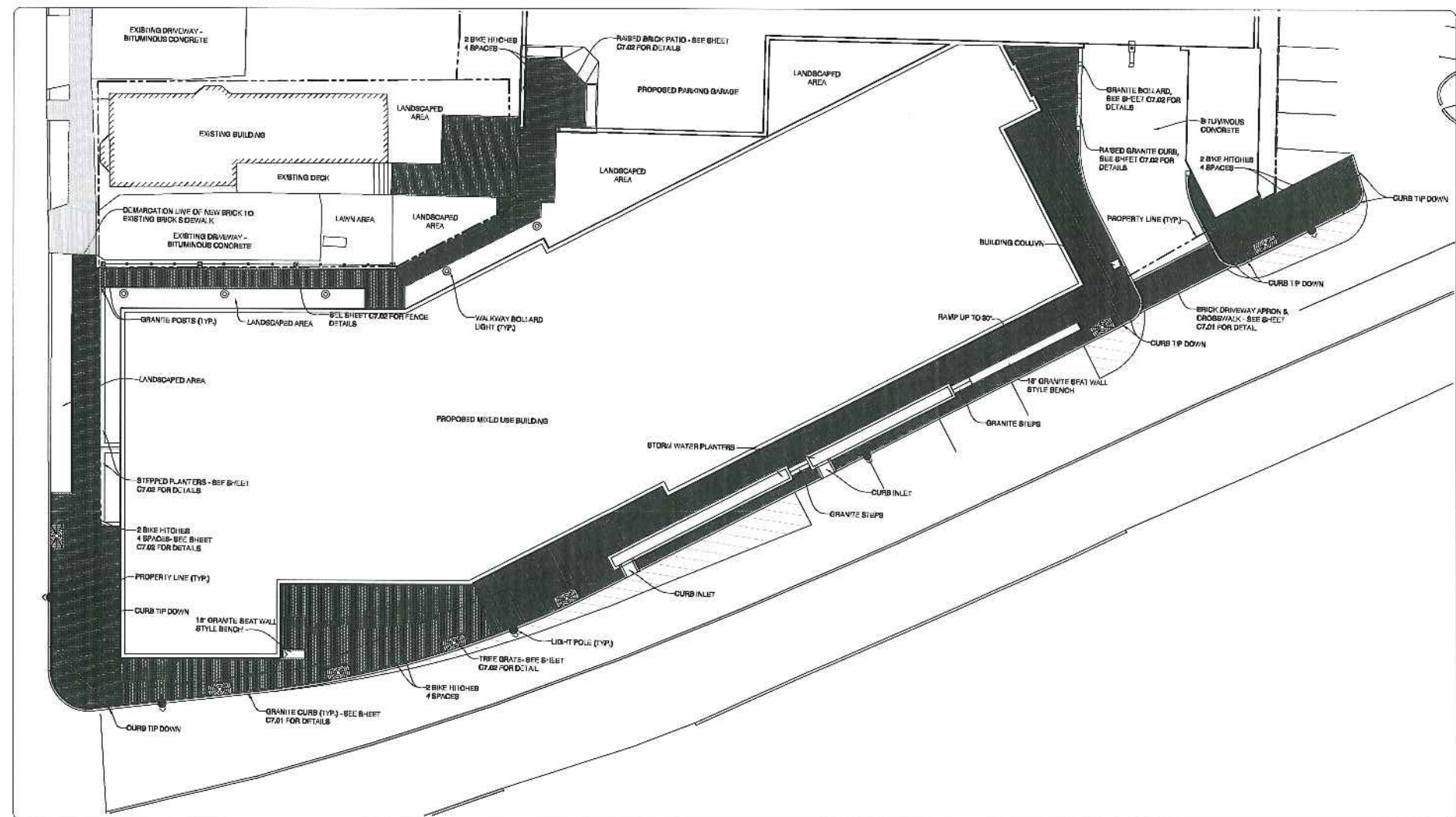
7 DETECTABLE WARNING STRIP - BOLT DETAIL
NOT TO SCALE



6 DETECTABLE WARNING STRIP - SECTION
1/2\"/>

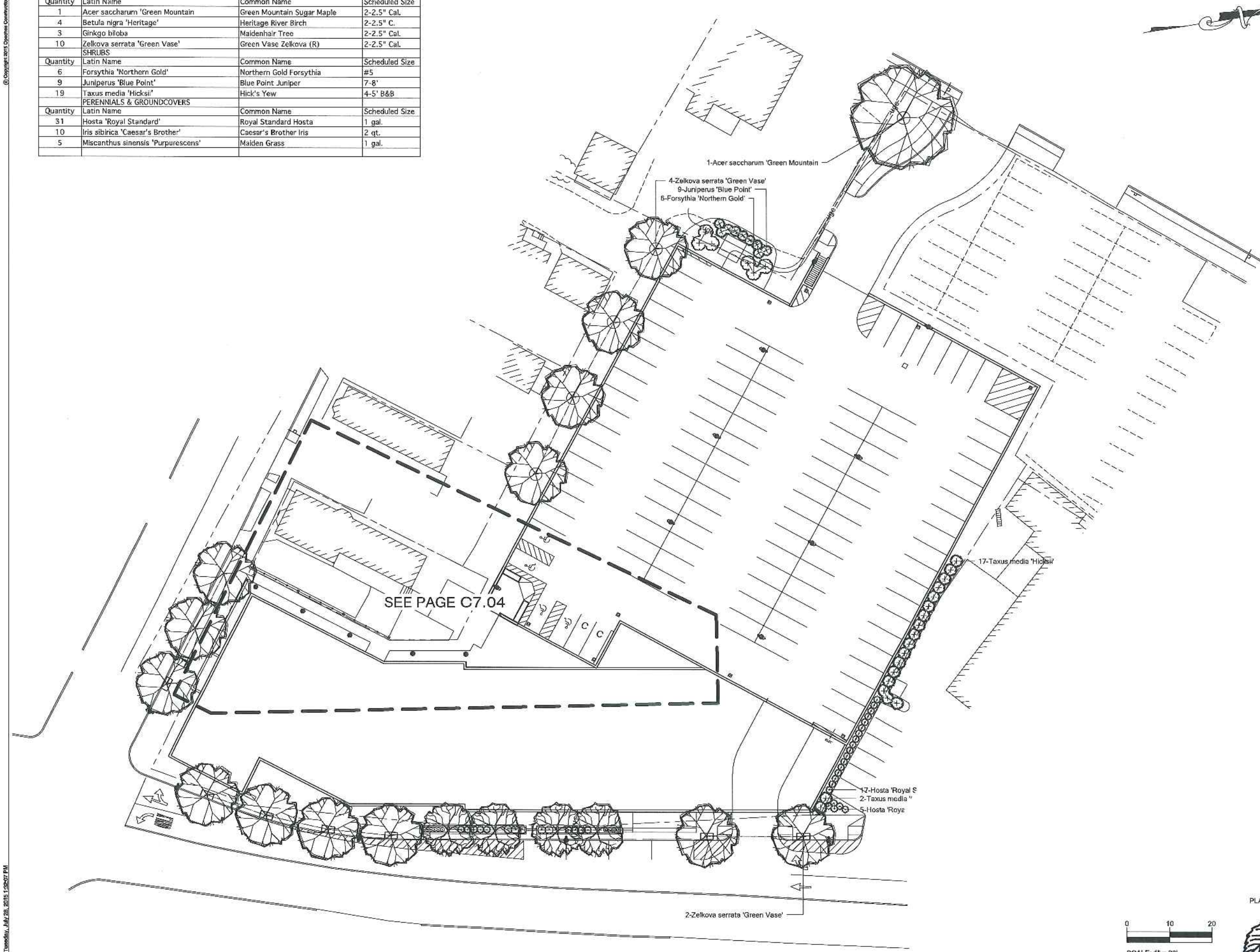


5 DETECTABLE WARNING STRIP - PLAN
1/2\"/>



2 HARDSCAPE PLAN - MIXED USE
1/8\"/>

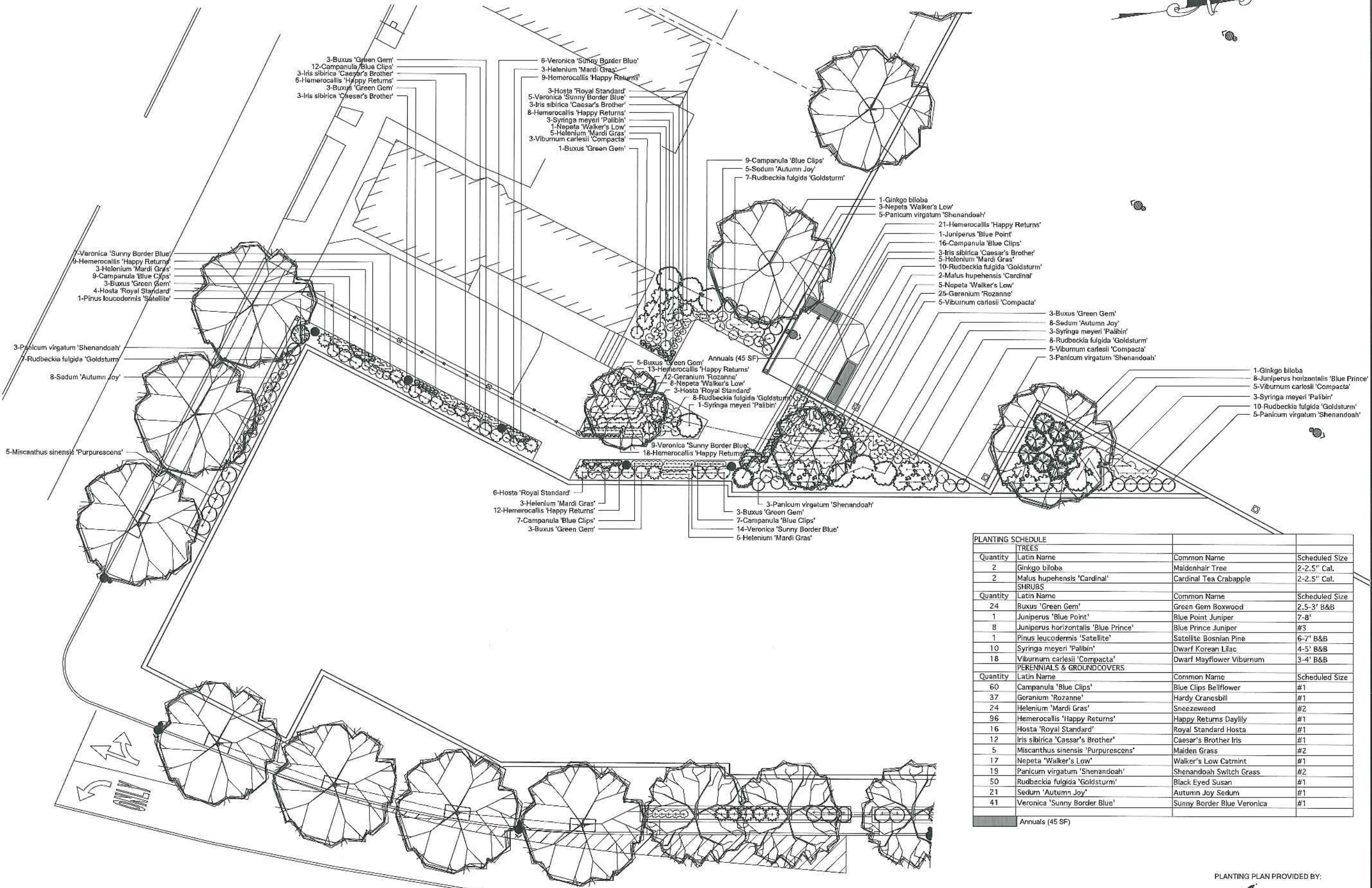
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TREES			
Quantity	Latin Name	Common Name	Scheduled Size
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4	Betula nigra 'Heritage'	Heritage River Birch	2-2.5" C.
3	Ginkgo biloba	Maidenhair Tree	2-2.5" Cal.
10	Zelkova serrata 'Green Vase'	Green Vase Zelkova (R)	2-2.5" Cal.
SHRUBS			
Quantity	Latin Name	Common Name	Scheduled Size
6	Forsythia 'Northern Gold'	Northern Gold Forsythia	#5
9	Juniperus 'Blue Point'	Blue Point Juniper	7-8'
19	Taxus media 'Hicksii'	Hick's Yew	4-5' B&B
PERENNIALS & GROUNDCOVERS			
Quantity	Latin Name	Common Name	Scheduled Size
31	Hosta 'Royal Standard'	Royal Standard Hosta	1 gal.
10	Iris sibirica 'Caesar's Brother'	Caesar's Brother Iris	2 qt.
5	Miscanthus sinensis 'Purpurescens'	Maiden Grass	1 gal.



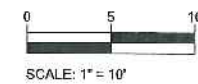
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SCALE: 1" = 20'

PLANTING PLAN PROVIDED BY:

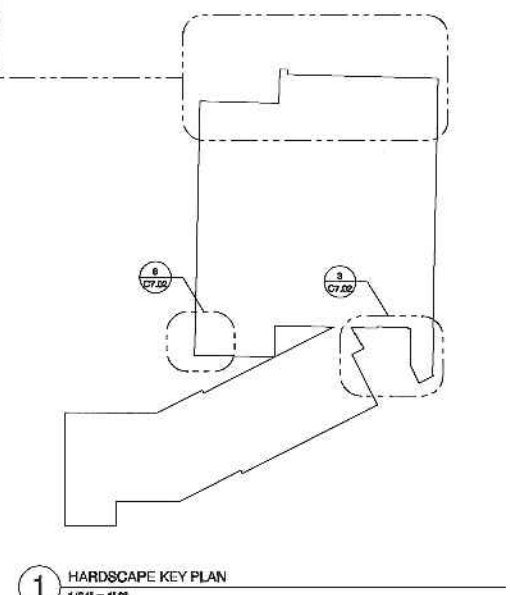
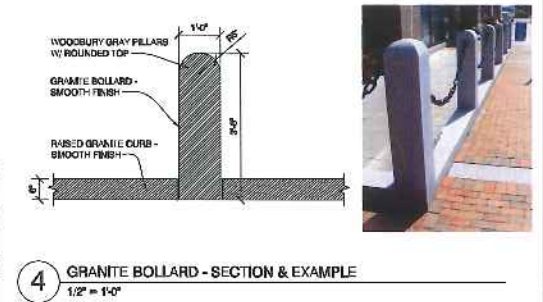
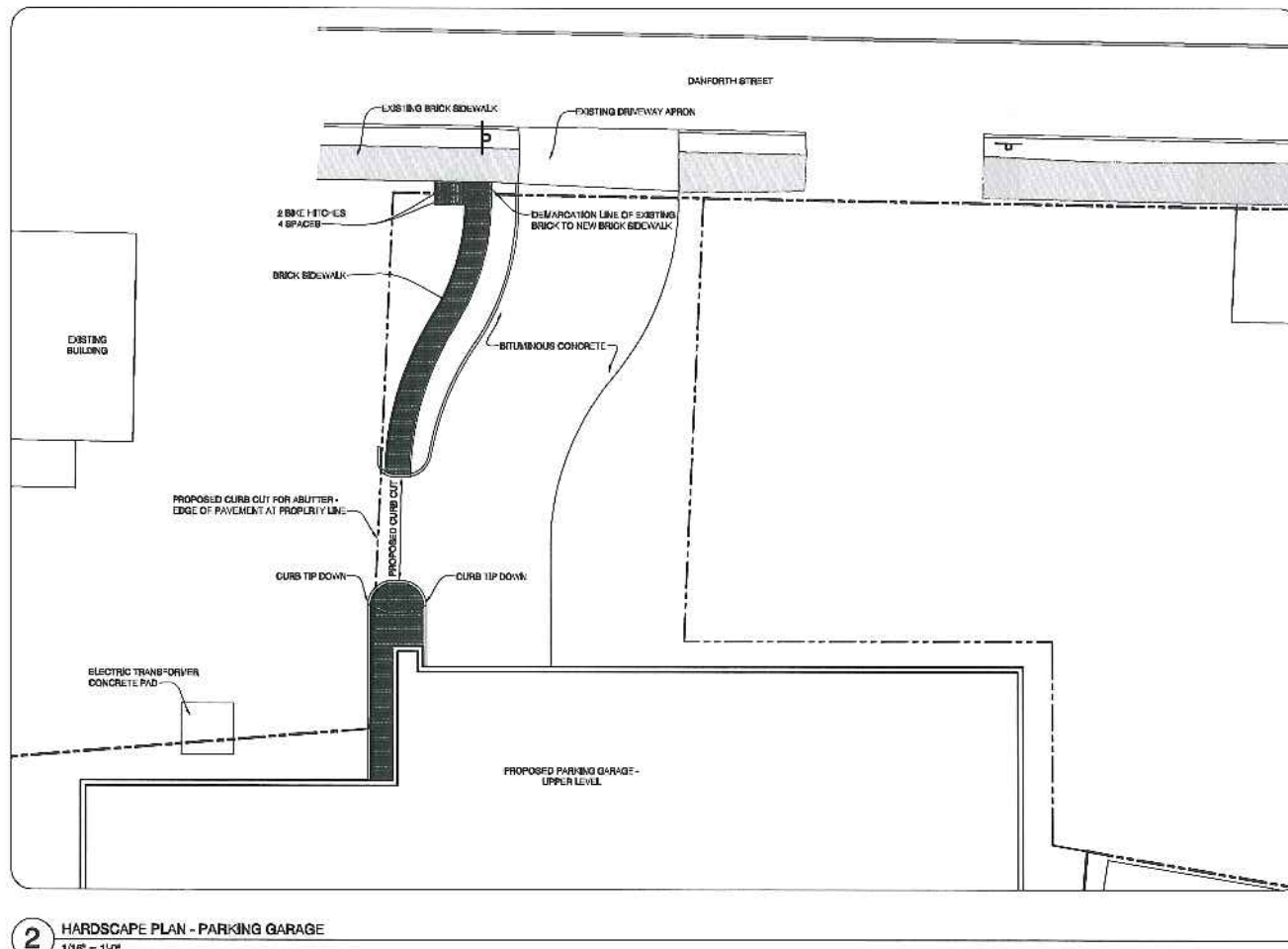
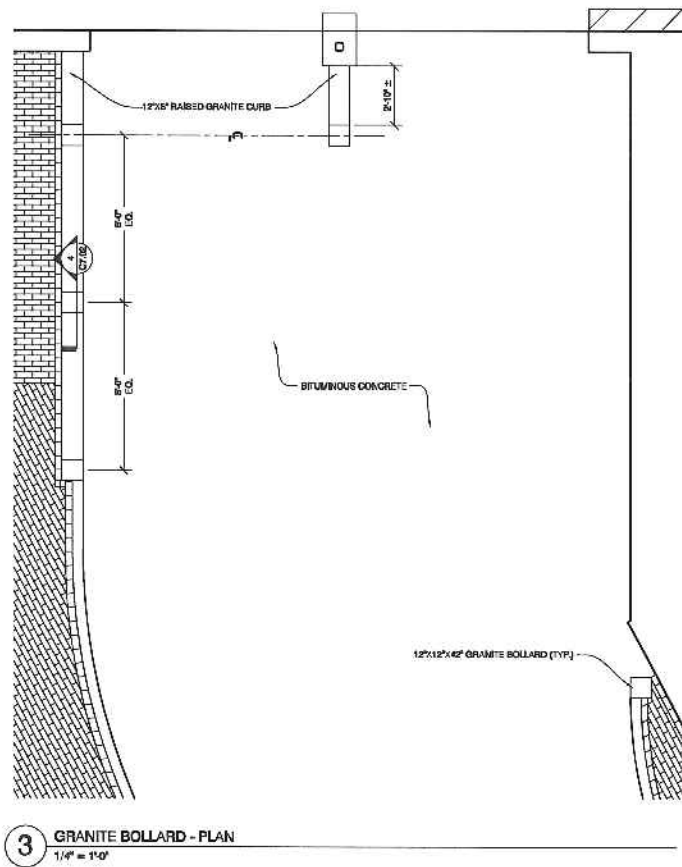
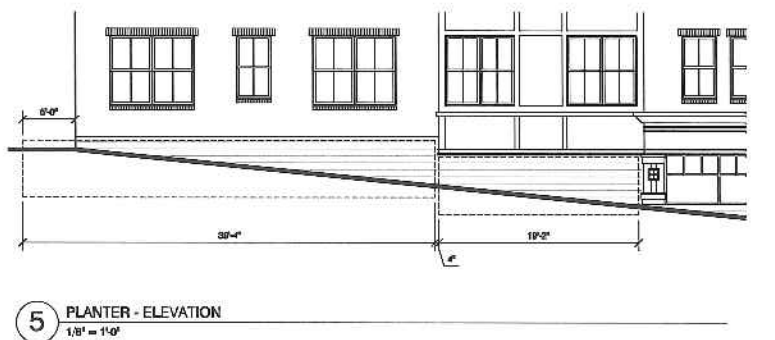
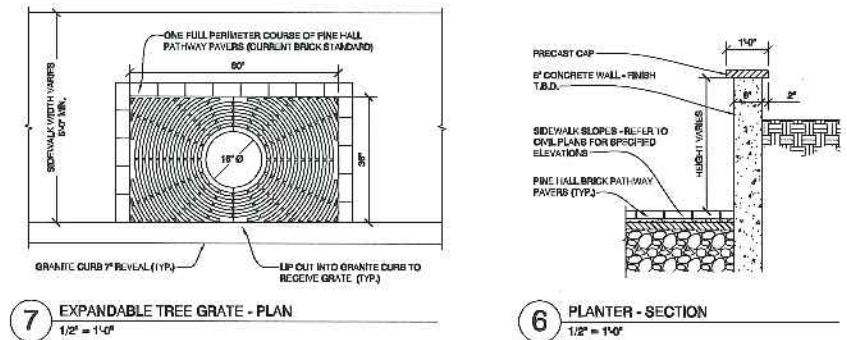
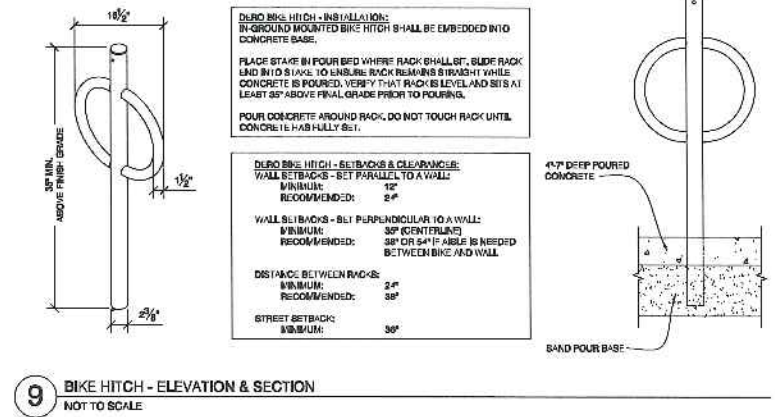
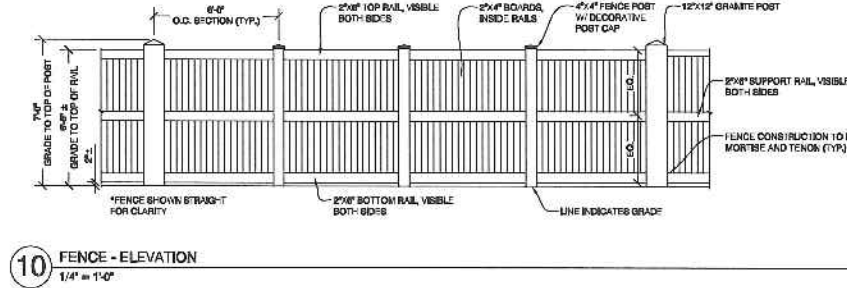
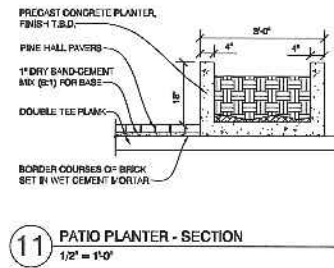
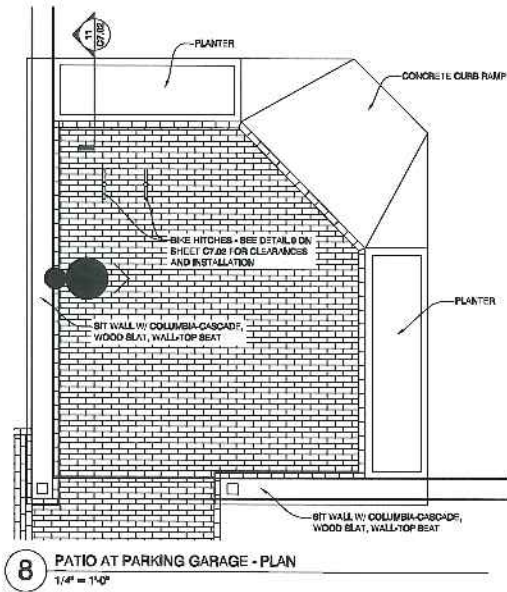




PLANTING SCHEDULE			
TREES			
Quantity	Latin Name	Common Name	Scheduled Size
2	Ginkgo biloba	Maidenhair Tree	2-2.5" Cal.
2	Malus hupehensis 'Cardinal'	Cardinal Tea Crabapple	2-2.5" Cal.
SHRUBS			
Quantity	Latin Name	Common Name	Scheduled Size
24	Buxus 'Green Gem'	Green Gem Boxwood	2.5-3' B&B
1	Juniperus 'Blue Point'	Blue Point Juniper	7-8'
8	Juniperus horizontalis 'Blue Prince'	Blue Prince Juniper	#3
1	Pinus leucodermis 'Satellite'	Satellite Boshian Pine	6-7' B&B
10	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	4-5' B&B
18	Viburnum carlesii 'Compacta'	Dwarf Mayflower Viburnum	3-4' B&B
PERENNIALS & GROUNDCOVERS			
Quantity	Latin Name	Common Name	Scheduled Size
60	Campanula 'Blue Clips'	Blue Clips Bellflower	#1
37	Geranium 'Rozanne'	Hardy Cranesbill	#1
24	Helenium 'Mardi Gras'	Sneezeweed	#2
96	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1
16	Hosta 'Royal Standard'	Royal Standard Hosta	#1
12	Iris sibirica 'Caesar's Brother'	Caesar's Brother Iris	#1
5	Miscanthus sinensis 'Purpureascens'	Maiden Grass	#2
17	Nepeta 'Walker's Low'	Walker's Low Catmint	#1
19	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2
50	Rudbeckia fulgida 'Goldsturm'	Black Eyed Susan	#1
21	Sedum 'Autumn Joy'	Autumn Joy Sedum	#1
41	Veronica 'Sunny Border Blue'	Sunny Border Blue Veronica	#1
Annuals (45 SF)			



PLANTING PLAN PROVIDED BY:
Elm Grove
Property Solutions
LLC



[illegible]

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**WORKSHOP
WILLISTON WEST CHURCH & PARISH HOUSE
32 THOMAS STREET**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Deb Andrews, Historic Preservation Program Manager

DATE: October 2, 2015

RE: October 7, 2015 **Workshop – Preliminary Review of Proposed Site Alterations and Building Addition (Connector)**

Address: 32 Thomas Street

Applicant: Frank Monsour, 32 Thomas Street LLC

Consultants: Mathew Winch, Architect, Garrison Consulting
Cynthia Orcutt, Landscape Architect, Orcutt Consulting

Introduction

A workshop has been scheduled to consider plans for site alterations and a replacement building addition at the Williston West Church complex at 32 Thomas Street. The complex is comprised of the church itself, located at the corner of Thomas and Carroll Streets, and the parish house positioned to the south of the church. At the street edge, the two buildings are separated by a courtyard area. A small addition built sometime after the two historic structures were constructed serves to connect the parish hall and church at the rear of this courtyard.

The proposed site alterations and replacement connector structure are proposed in conjunction with plans to convert the parish house to 5 residential units, while maintaining the previously-approved office use on the first floor. The subdivision request that would allow the 5 residential units is scheduled to be reviewed by the Planning Board. There are no current reuse plans for the sanctuary.

The applicant's consultants have provided a very detailed written description of the project, as well as existing and proposed site plans, photographs of existing conditions and images of proposed plant and hardscape materials. As such, the following staff narrative is fairly brief.

Proposed Site Alterations

The project calls for the comprehensive redevelopment of the courtyard area, including removal of an existing handicap ramp to the church; removal of an existing asphalt driveway and parking space adjacent to the Parish Hall; and removal of existing overgrown vegetation. The applicant proposes to regrade the courtyard to address existing drainage problems.

The new site plan calls for the introduction of four parking spaces next to the Parish House. The four spaces are stacked and oriented parallel to Thomas Street. An entrance drive paved and edged in Belgian block granite pavers will lead into the courtyard. The entrance drive is centered on the three stained glass windows of the church narthex.

Separating the entrance drive from the parking spaces is a brick walkway. This walkway leads back to a set of granite stairs and brick landing which provide access into the new replacement connector between buildings. (The entrance to the residences will be from this connector.) Note that an existing set of granite steps leading to a door facing the courtyard will be removed. The new stairs will be reoriented to lead to the new brick landing.

The parking spaces themselves will be paved in asphalt with the individual spaces delineated by Belgian block pavers. A densely-planted yew hedge is proposed to be planted between the parking spaces and the sidewalk to screen the cars. Granite posts are proposed to mark the pedestrian entrance to the Parish House and the entrance to the vehicular drive within the courtyard.

Note that the enclosed plans show a new curb cut and additional parking space on the south side of the parish house. Staff understands that this parking space has been eliminated.

Landscaping around the church itself will also be reworked and simplified. Note that the project description calls for the removal of the iron fencing along Carroll Street.

Replacement Connector

As noted above, the small building connector that adjoins the parish house and the chapel portion of the church was constructed sometime after the two structures were built. It was built originally as an open breezeway, but was enclosed sometime later. Architecturally, it is not of the same caliber as the buildings it adjoins. Plans call for replacing this structure with a fully glazed entry portico with a flat roof. A new glass guardrail is proposed at the edge of the raised brick landing that accesses this entry portico. On the back side of the portico, away from the street, another brick landing and stairs are proposed. These lead to a service area at the rear.

Staff Comments

The threshold question raised by this application is the appropriateness of introducing four parking spaces within the courtyard separating Williston West Church and its Parish House. It is clear from early photographs of the church complex that this area was originally intended as a simple landscaped area. Over time, however, the original design intent has been

compromised with the introduction of an asphalt driveway that widens to provide a parking space, as well as the construction of a large wood ramp parallel to the sidewalk. This area also functioned as a nursery school playground for many years. The result is a rather motley site treatment that does not reinforce the significant architecture of the complex.

Review Standard #1 is instructive in the review of the proposed site alterations. It encourages reuse schemes that require minimal alterations to the character-defining features of a structure, object or site. Standard # 2 also instructs that the distinguishing qualities of a site not be destroyed. In this case, however, the site in question has already been altered from its original design intent. The question for consideration is whether an increase in parking within this historic courtyard area can be accomplished in such a way that is compatible with the character-defining features of this historic property. Setting aside the threshold question of whether any parking is appropriate in this setting, it appears that every effort has been made to use screening, high quality, contextual hardscape materials and selective plantings to make the new site treatment as compatible as possible.

Less detailed information has been provided about the proposed replacement building connector. The Board is being asked to respond to the general design concept, with the understanding that more detailed elevations, details and specifications will follow.

Applicable Review Standards

- (1) *Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.*
- (2) *The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*
- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Attachments

1. Applicant submission, including project description, photographs, existing and proposed site plans, elevations and details

Att. 1



September 15, 2015

Portland Historic Preservation Board
389 Congress Street
Portland Maine, 04101

Re: Submission for Historic Preservation Review
32 Thomas St – Williston West Church

Dear Chair Benson and Members of the Historic Preservation Board,

On behalf of 32 Thomas Street LLC please accept and consider this submission for Historic Preservation review and Certificate of Appropriateness plan review for the conversion of the parish house at 32 Thomas Street to 5 residential dwelling units and office use. The work proposed meets the requirements of the conditional rezoning agreement for the property as well as the underlying requirements for the R4 Zone, which in part are applicable to this submission.

This submission includes:

- A completed application and fee.
- A narrative of the proposed work and compliance with the requirements
- Deed for the property
- Existing site plan and existing conditions analysis
- Preliminary utility plan and site plan
- Illustrative landscape plan and detailed landscape plan.
- Existing floor plan and proposed first floor plan for associated context
- Exterior elevations and building sections.

Along with this submittal, we are concurrently submitting to the Planning Board as required for conditionally allowed residential sub-division in the R4.

We look forward to the workshop review of this submission as we work towards a final plan and final hearing for our application.

Sincerely,

A handwritten signature in red ink, appearing to read "m.g. winch".

Matthew G Winch, Architect
Principal

Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review.

Please check all those activities that apply to your proposed project.

Alterations and Repair

- ☐ Window and door replacement, including storms/screens
- ☐ Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- ☐ Porch replacement or construction of new porches
- ☐ Installation or replacement of siding
- ☐ Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted
- ☐ Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- ☐ Alteration of accessory structures such as garages

Additions and New Construction

- ☒ New Construction
- ☒ Building additions, including rooftop additions, dormers or decks
- ☐ Construction of accessory structures
- ☐ Installation of exterior access stairs or fire escapes
- ☐ Installation of antennas and satellite receiving dishes
- ☐ Installation of solar collectors
- ☐ Rooftop mechanicals

Signage and Exterior Utilities

- ☐ Installation or alteration of any exterior sign, awning, or related lighting
- ☐ Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- ☐ Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

Site Alterations

- ☒ Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

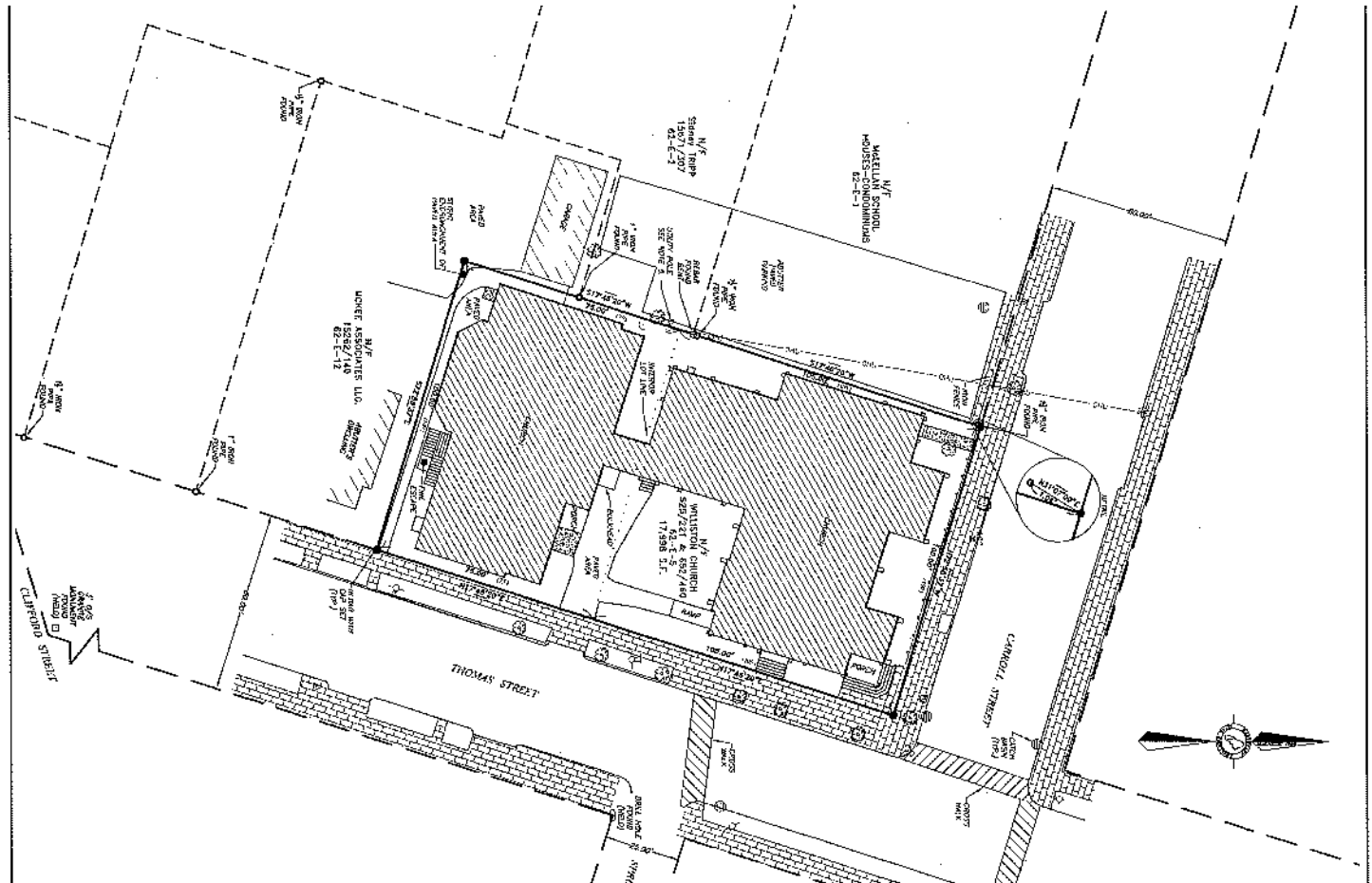
Moving and Demolition

- ☒ Moving of structures or objects on the same site or to another site
- ☒ Any demolition or relocation of a landmark contributing and/or contributing structure within a district

Note: Your project may also require a building permit. Please call Building Inspections (874-8703) to make this determination.

PROJECT DESCRIPTION

The project site, 32 Thomas Street, sits at the corner of Thomas and Carrol Street on Portland's Western Promenade. The lot is approximately 18,000 SF in size and is comprised of two smaller parcels. The first parcel; 100' (along Carrol Street) by 105' (along Thomas Street) contains the Williston West Church, completed in 1877 and designed by Portland architect Francis H. Fassett. The second parcel; 100' wide (adjacent to the Church parcel) by 75' (along Thomas Street) contains the Parish House, built in 1904 and designed by Portland architect John Calvin Stevens. The two buildings were connected at a later date by a breezeway, which is not an historic structure. Both buildings, the Church and Parish House, were admitted to the National Register of Historic Places in 1980. The survey plan is copied below:



Both buildings are large, solid structures, comprised of brick facades with heavy granite and limestone detailing. Gothic details punctuate each building including tall stained glass windows, several round stained glass windows, ornate brick dental edging just below the roof line, arched window and door openings, slanted pilasters, copper gutters, steeply pitched slate roofs, a tall, ornate bell tower and solid granite water table bases at the ground level.

This Applicant proposes a reuse of the Parish House for five residential units, one for a caretaker and four market rate units, to supplement the currently allowed office space within the building. The interior of the Church will remain unimproved for now.

The building exteriors are in good condition and remain almost unaltered from the time of original construction. Each building shows some signs of wear and weathering, but the overall composition of buildings remains today much like it appeared in the early 1900s. Photographs of the elevations of each building are copied on the next pages. These photographs were taken in September, 2015, illustrating current conditions.

Williston West Church facades:



East facade facing Thomas Street - featuring the main entrances to the Church and the Bell Tower



South facade facing the Courtyard



East facade facing the Courtyard



West facade facing parking lot - featuring significant stained glass windows



North facade facing Carrol Street - featuring Bell Tower



Williston West Parish House facades:



East facade facing Thomas Street



South facade facing residential neighbor



West facade facing parking lot



North facade facing Courtyard - featuring entrance portico and illustrating current condition of brick and limestone detailing



East facade of 'Connector' piece facing Thomas Street



West facade of 'Connector' piece facing parking

EXISTING LANDSCAPE

The landscape surrounding Williston West Church and Parish House is overgrown. Although filled with many lovely plants, small trees and flowers, these materials have been left to grow too large for the space. Architectural details have been obliterated, light to stained glass windows is blocked and individual plants are now meshed into one another. Aside from a very robust, and appropriately located row of Hosta and one lovely Hydrangea shrub/tree both along the northern side of the Church building, facing Carrol Street, existing plant material should be removed.

Other site features that have been added over the years should also be removed, including an unsafe, dilapidated fence along Carrol Street, an asphalt and wood ramp leading up to a side door of the Church in the Courtyard, unsafe steps in the Courtyard, a leaking bulkhead in the Courtyard, deteriorating asphalt in the Courtyard and a tired sign facing Thomas Street. Photographs illustrating some of these features are printed below:



Photo above: Overgrown planting by Church

Top left: Hosta edge and Hydrangea along Carrol Street

Top right: Planting blocking light and views of stained glass at Church.

Bottom left: Ramp to side door of Church

Bottom right: Overgrown planting by the Parish House

HISTORIC CONTEXT

A photograph taken in 1931 shows a Church and Parish House surrounded by a very simple and low landscape. The stained glass windows were open to light and they were visible from the street. The sidewalks that lined both Thomas and Carrol Streets were met by a simple grass lawn that sloped up towards the buildings. Plant materials on these sloped banks were low, simple and were probably perennials that disappeared in the winter. This landscape allowed the architecture of these magnificent buildings to be seen by the public and allowed light to penetrate through the stained glass into the interior of the building. The landscape of today is vastly different: it is dense with greenery and competes with the intricacy of the architecture. The concept of the proposed Site Plan is to remove the overgrown landscape of today and replace this with a much simpler landscape plan, reflecting the site design from in the early 1900s. The comparison of the landscape of 1931 (top photo) and the landscape of today (bottom photo) is illustrated by the photographs below:



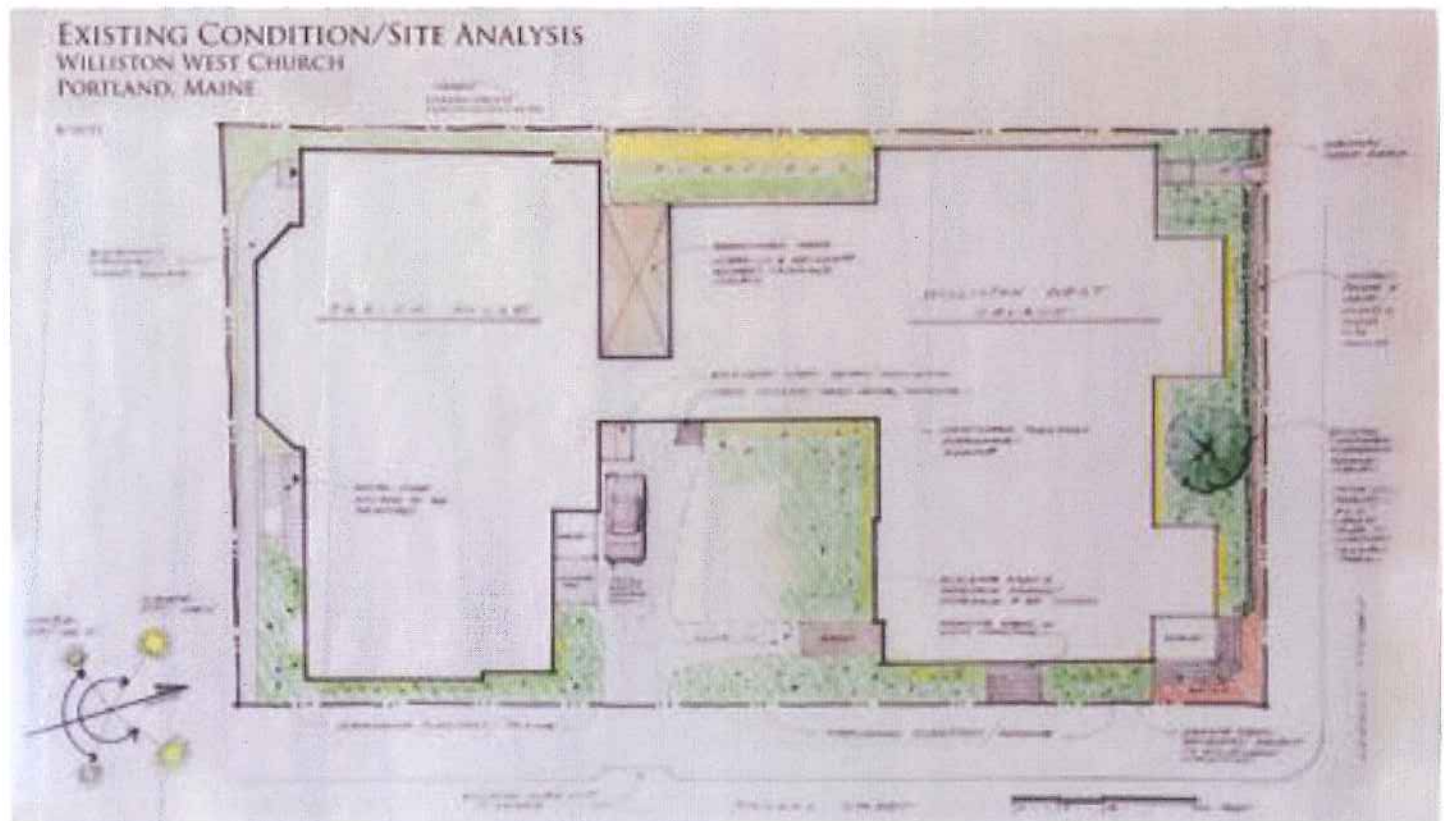
Photo Courtesy Maine Historical Society 1931



EXISTING CONDITIONS

The drawing copied below illustrates the existing conditions and analysis of the current site at 32 Thomas Street. As described above, most of the plant material is overgrown and should be removed, with the exception of the Hosta and one Hydrangea along the Carrol Street edge. The locations of the bulkhead, steps, asphalt and wood ramp to be removed in the Courtyard are illustrated. The area to the west of the Connector between buildings is a mess of plants, abandoned mechanical equipment, piping and other refuse - all to be removed. The metal fire escape to the south of the Parish House is to be removed. It should be noted that the granite steps at the corner of Thomas and Carroll Streets have recently been re-pointed and the steps at the center door to the Church facing Thomas Street are in very good condition. Both sets of steps will remain.

A compass diagram indicates the path of the sun during the year, which shows that there is a nice pocket of good sun exposure and protection from harsh winds in the courtyard.



SITE PLAN

The proposed preliminary site plan development for 32 Thomas Street is shown on the following page. A written project description follows on the next several pages.



PRELIMINARY SITE PLAN
WILLISTON WEST - 32 THOMAS STREET
PORTLAND, MAINE
REVISED 11.2011

SITE DESIGN

The proposed preliminary site design for 32 Thomas Street has three major components: the Street edge, the Courtyard and the Service area.

The Street Edge - The narrow edges along Thomas and Carrol Streets will be restored to their earlier simplicity. The broken and unsafe fencing along Carrol Street will be removed and the Hosta edge will be restored. All other plant material, including invasive ivy, will be removed and replaced with grass. The one specimen Hydrangea will be saved and pruned to improve the structure. The edge along Thomas Street will be stripped of existing plant material and regraded to slightly slope up towards the Church, as shown on the 1931 photograph. Grass will be planted along the brick walkway. A double row of Stella deOro Daylily will edge the grass, backed by a double row of Ostrich Fern along the Church and Parish House walls. Both plants will die back during winter months.



Existing Hosta to remain



Stella deOro Daylily



Ostrich Fern

The Courtyard - Most everything currently in the existing Courtyard will be removed. The site will be regraded to match street grade and drain properly. The proposed design includes one parking space for each market rate unit, for a total of four parking spaces, and two pedestrian entrances: one to the Office space and one to the Residential units. The Office entrance is from a brick sidewalk leading from Thomas Street to the existing canopy into the Parish House. The Residential entrance will be through a new, transparent connector portico, placed between the Church and Parish House. Access will be from a set of granite stairs, leading to an upper, brick paved landing at the portico level. Walls, piers and caps will be granite. Railings will be bronze with glass inserts. The concept is to make this new addition clearly modern - sympathetic in form and scale to the historic buildings, but not copying the historic details or style.

The four parking spaces will be accessed from Thomas Street via a new curb cut that centers on the three magnificent stained glass windows in the Church. This will increase visibility of these windows for the public and insure maximum light penetration for the stained glass. Granite Belgium block pavers will line the access road and granite piers will mark the opening from the street. A granite planter sits at the base of the windows, at the end of the access road, to soften this view. This planter is to be filled with annuals each summer. A brick walk separates the parking stalls from the access road and leads occupants to the Residential entrance stairs. A low perennial border lines the south facing edge of the Courtyard, filled with long-flowering Stella DeOro Daylily and Obedient plant. Icicle Veronica will be planted between the Daylily and Obedient plant to insure constant white blooms throughout the summer months. Finally, a solid hedgerow of evergreen Hicks Yew will fill the planting strip between the parking stalls and Thomas Street sidewalk, blocking views of the automobile, yet still allowing views from the street to the historic architecture. A photo mock-up of the view from Thomas Street, copied on the next page, illustrates the Courtyard design concept of creating a full public view of the historic windows while blocking views of parked cars.



Above: A photo simulation of the proposed design for the Courtyard, as seen from Thomas Street. Cars are parked behind the hedge of Hicks Yew, separated from the Belgium Block paver entry drive by a brick sidewalk.



Photos to the left:
Evergreen Hicks Yew

Photos below:
Obedient Plan (left)
Icicle Veronica (right)



SITE DESIGN (CONTINUED)



Images taken in Portland's Western Promenade showing examples of typical landscape materials proposed for the Courtyard, such as low granite curbing, brick sidewalks, granite piers, Belgium block paving, and simple landscape plantings.

The Service Yard- The area to the west of the new Connector will be reserved for use by the Residents for their service needs. Rolling garbage and recycling containers, two for each unit, will be stored in this location. The area will be paved in asphalt and properly drained to avoid odor accumulation. The area will be hidden from view by two brick screen walls, one to the west and one to the east. The eastern wall will have a planting area at the base, which will be seen from the Residential Entrance. This planting area will be at the same elevation as the Entrance portico. A set of stairs will lead to the lower level - where the service area is housed. The service area will be locked from public access by a gate. The Caretaker will roll garbage bins towards Thomas Street, using the paved walkway that extends from the service area gate, behind the west side of the Parish House and down the walkway to the south of the Parish House to the street side. This will happen on a weekly basis on trash collection days. The bins will sit in the widened paved area to the south of the Parish House, away from the public brick sidewalk, until emptied and returned to the service yard. This widened area will also be used as a parking space by the Caretaker on non-trash collection days.

Plantings to be installed on the south side of the Parish House include one specimen Royal Star Magnolia tree and a hedgerow of Limelight Hydrangea. These white blooming plants will help soften the edge of the Parish House that site adjacent to a residential home.



Royal Star Magnolia as a specimen tree



Limelight Hydrangea hedgerow

WARRANTY DEED
Maine Statutory Short Form

KNOW ALL BY THESE PRESENTS, that **WILLISTON-WEST CHURCH**, a/k/a **Williston-West United Church of Christ**, successor in interest to **Williston Church**, a Maine non-profit corporation having a place of business at Portland, County of Cumberland, and State of Maine, for consideration paid, grants to **32 THOMAS STREET, LLC**, a Maine limited liability with a place of business in Portland, County of Cumberland and State of Maine, whose mailing address is 477 Congress Street, Suite 601, Portland, Maine 04101, with **WARRANTY COVENANTS**, the land, together with any improvements thereon, located in the City of Portland, County of Cumberland and State of Maine, and more particularly described in Exhibit "A" attached hereto and made a part hereof.

IN WITNESS WHEREOF, said **WILLISTON-WEST CHURCH** has caused this instrument to be signed and sealed by Patrick Costin, its duly-authorized Chairman of the Board of Trustees this 19TH day of December, 2011.

WITNESS:

WILLISTON-WEST CHURCH,
a/k/a **Williston-West United Church of**
Christ, successor in interest to **Williston**
Church

By: Patrick Costin
Its: Chairman of Board of Trustees

STATE OF MAINE
COUNTY OF CUMBERLAND

December 19, 2011

Personally appeared before me the above-named Patrick Costin, Chairman of the Board of Trustees, and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of said church.

Notary Public/Attorney at Law

Robert L. Murray
Printed Name

MAINE REAL ESTATE TAX PAID

**EXHIBIT A
TO
WARRANTY DEED**

Two certain lots or parcels of land, together with any improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine and further described as follows:

PARCEL 1: A certain parcel of land located in said Portland bounded as follows. Beginning at the corner made by the intersection of the Westerly side of Thomas Street unto the Southerly side of Carroll Street; thence Southerly by said Westerly side of Thomas Street one hundred and five (105) feet to a point; thence Westerly on a line parallel with said Southerly side of Carroll Street one hundred (100) feet to a point; thence Northerly on a line parallel with said Westerly side of Thomas Street one hundred and five (105) feet to said Carroll Street; thence Easterly by said Carroll Street to the point begun at. Being the same premises described in two certain agreements between Abby A. Steele and John H. True. Being the premises described in a deed from Abby A. Steele to Williston Church dated April 13, 1886 and recorded in the Cumberland County Registry of Deeds in Book 525, Page 221.

PARCEL 2: Property located in said Portland, being the premises described in a deed from Edward P. Chase to Williston Church dated September 9, 1897 and recorded in the Cumberland County Registry of Deeds in Book 652, Page 460.

Also hereby conveying all of the Grantor's right, title and interest in and to the fee underlying all public or private rights-of-way, easements, streets and alleys over, contiguous, benefitting or appurtenant to the premises.

The above described property is conveyed subject to an Easement from Williston Church to Central Maine Power and New England Telephone and Telegraph dated November 11, 1970 and recorded in said Registry of Deeds in Book 3157, Page 51.

By acceptance of this deed, Grantee agrees, for itself and its successors and assigns, that should the Grantee, its successors or assigns, at any time desire to demolish or alter the building on the property conveyed herein as to result in material damage to or removal of the stained glass windows, pipe organ and church bell, the Grantor shall have the right to remove and repossess the affected stained glass windows, pipe organ and church bell, without charge, but at its own expense, for preservation, recycling and/or re-use by Grantor, its successors and assigns, at Grantor's other location or elsewhere; provided, however, that Grantor, its successors or assigns, shall at its own expense reasonably restore any portion of the property disturbed by such removal activities.

Meaning and intending to describe the same property as described in a deed from Abby Steele to Williston Church, dated April 13, 1886 and recorded in said Registry of Deeds in Book 525, Page 221 and in a deed from Edward Chase to Williston Church, dated September 9, 1897 and recorded in said Registry of Deeds in Book 652, Page 460.

The above-described premises were surveyed by Northeast Civil Solutions as shown on a "Boundary Survey of 26 Thomas Street, Portland, Maine" dated December 13, 2011, and the Grantor conveys all right, title and interest in and to the metes and bounds description as follows:

A certain lot or parcel of land, together with any improvements thereon, located on the southerly side of Carroll Street and on the westerly side of Thomas Street, in the City of Portland, County of Cumberland, State of Maine, being more particularly bounded and described as follows:

BEGINNING at a #5 rebar w/cap stamped "NCS, INC PLS 1314" at the intersection of the southerly right-of-way line of Carroll Street and the westerly right-of-way line of Thomas Street. Said rebar being shown on a plan entitled "Boundary Survey of 26 Thomas Street, Portland, Maine" by Northeast Civil Solutions, dated December 13, 2011;

THENCE S 17°46'20" W along the westerly right-of-way line of said Thomas Street 180.00' to a #5 rebar w/cap stamped "NCS, INC PLS 1314". Said rebar being the northeasterly corner of land now or formerly of McKee Associates LLC as recorded in a deed recorded in the Cumberland County Registry of Deeds in Book 15262, Page 140;

THENCE N 72°58'37" W along the northerly line of land now or formerly of said McKee Associates LLC, 100.00' to a #5 rebar w/cap stamped "NCS, INC PLS 1314";

THENCE N 17°46'20" E along the easterly line of said McKee Associates LLC, land now or formerly of Sidney Tripp as recorded in a deed recorded in said Registry of Deeds in Book 15671, Page 307 and land now or formerly of McLellan School Houses Condominiums 180.00' to a #5 rebar w/cap stamped "NCS, INC PLS 1314". Said rebar being on the southerly right-of-way line of Carroll Street;

THENCE S 72°58'37" E along the southerly right-of-way line of said Carroll Street 100.00' to the POINT OF BEGINNING.

The above described parcel contains 17,998 square feet, more or less.

The basis of bearing for the above described parcel is Magnetic 1980.

SASISANG01\Williston West Church\Deed.doc

Received
Recorded Register of Deeds
Dec 20, 2011 02:21:24P
Cumberland County
Pamela E. Lovley



LEGEND

EXISTING

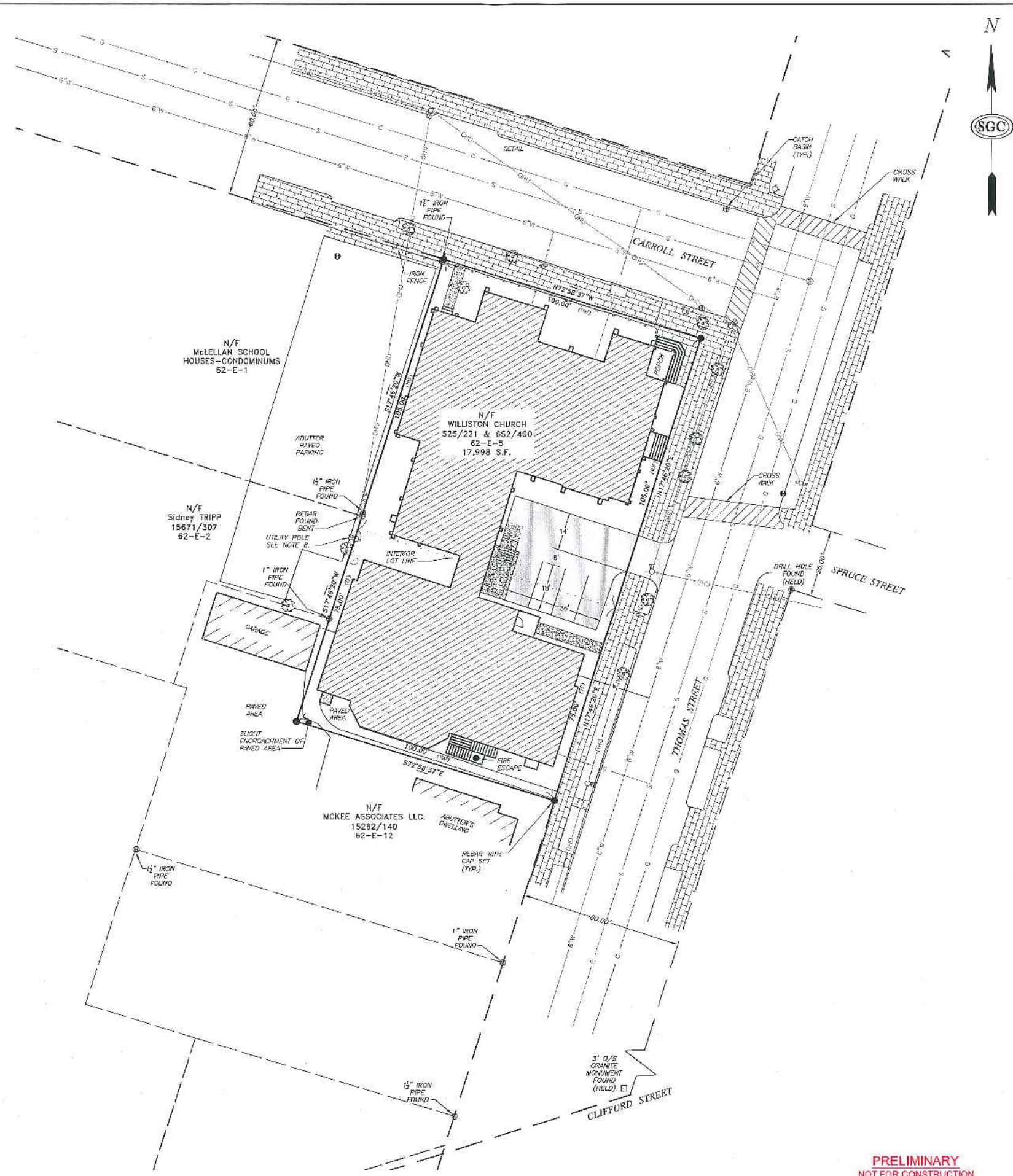
- BOUNDARY LINE
- RIGHT OF WAY LINE
- ADULTER LINE
- INTERIOR LOT LINE
- PAVEMENT
- EXISTING BUILDING
- STEEL FENCE
- OVERHEAD UTILITY
- WATER MAIN
- SERVICE LINES
- GAS MAIN
- SANITARY SEWER MAIN
- SANITARY SEWER SERVICE
- SEWER MANHOLE
- CATCH BASIN
- NOW OR FORMERLY OWNED BY
- DEED BOOK AND PAGE (CDD)
- TAX MAP BLOCK LOT
- PARENTHESES INDICATE RECORD DATA
- FOUND OBVIOUS TREE
- UTILITY POLE
- FOUND MONUMENT (AS NOTED)
- REBAR WITH PLASTIC CAP STAMPED
- "NCS, INC. 15 1/4" SET ON 12/22/11
- FOUND RCM PIPE (AS NOTED)
- FOUND DRILL HOLE

PROPOSED

- PAVEMENT LINE
- CONCRETE LINE
- WATER LINE

SURVEY NOTES:

- THE BASIS OF BEARING FOR THIS SURVEY MAGNETIC 1930 AND FROM PLAN REFERENCE IN NOTE 4.A.
- DEEDS AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCELS SURVEYED CAN BE FOUND IN THE FOLLOWING DEEDS OF RECORD:
 - A. DEED FROM ABY STEEL TO WILLISTON CHURCH DATED APRIL 13, 1866 AND RECORDED IN DEED BOOK 505, PAGE 221.
 - B. DEED FROM FORDWARD CHASE TO WILLISTON CHURCH DATED SEPTEMBER 9, 1967 AND RECORDED IN DEED BOOK 632, PAGE 460.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - A. PLAN OF LAND ON NEAL AND CARROLL STREETS PORTLAND, MAINE FOR McLELLAN SCHOOL HOUSES, BY OWEN WASKELL, INC., DATED DECEMBER 15, 1982 AND RECORDED IN PLAN BOOK 97, PAGE 1.
 - B. CLIFFORD STREET CONDOMINIUM AT 13 CLIFFORD STREET, PORTLAND, MAINE FOR WILLIAM HANELL, BY OWEN WASKELL, INC., DATED SEPTEMBER 10, 1990 AND RECORDED IN PLAN BOOK 37, PAGE 1.
 - C. PLAN OF REVALUATION PLAN OF PORTLAND, DATED OCTOBER 24, 1994 AND RECORDED IN PLAN BOOK 5, PAGE 62.
 - D. VARIOUS RIGHT-OF-WAY PLANS OBTAINED FROM THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
- THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSOR'S MAP 62, BLOCK E, PARCEL 5.
- THE PARCEL SURVEYED IS LOCATED IN THE R-4 ZONE/DISTRICT. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 - MIN. STREET FRONTAGE 50 FT
 - MIN. FRONT YARD 25 FT
 - MIN. SIDE YARD 10 FT
 - MIN. REAR YARD 25 FT* SIDE YARD IS DETERMINED BY HEIGHT OF STRUCTURE AND CAN INCREASE TO 16 FT
- THE WIDTH AND LAYOUT OF CARROLL AND THOMAS STREETS IS 60 FT AND FROM PLANS REFERENCED IN NOTES 4.D.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OR RECORDS:
 - A. SUBJECT TO THE RIGHT OF CENTRAL MAINE POWER AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY TO CONSTRUCT, ERECT, OPERATE, MAINTAIN AND REMOVE ELECTRIC, REBUILD, DISTRIBUTION AND COMMUNICATION LINES AS DESCRIBED IN DEED BOOK 3157, PAGE 51.
- THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIG-SAFE (588) DIG-SAFE FROM ANY EXCAVATION WORK.
- THERE IS MENTION OF AN UNDERGROUND OIL STORAGE FACILITY IN DEED BOOK 9804, PAGE 155. THE LOCATION OF THIS FACILITY IS UNKNOWN.
- BOUNDARY SURVEY CONDUCTED BY NORTHEAST CIVIL SOLUTIONS, INC., DATED DECEMBER 13, 2011.



ZONING, BULK & SPACE REQUIREMENTS:

- REFERENCE CONDITIONAL ZONING AGREEMENT RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS AT BOOK 29/54 PAGE 123 AND R4 ZONING REQUIREMENTS.
- PERMITTED USES:
 - A. ALL USES IN THE R-4 ZONE.
 - B. PROFESSIONAL OFFICES, INCLUDING COMPUTER SOFTWARE PROGRAMMING AND MARKETING, AND EXCLUDING PERSONAL SERVICES, RETAIL SERVICES AND VETERINARIANS SUBJECT TO THE FOLLOWING LIMITATIONS:
 - I. PROFESSIONAL OFFICES SHALL BE LOCATED ON THE FIRST FLOOR OF THE PARISH HOUSE AND SHALL OCCUPY NO MORE THAN 2,800 SF OF FLOOR AREA.
 - II. THE TOTAL NUMBER OF INDIVIDUALS WORKING IN THE PROFESSIONAL OFFICES SHALL NOT EXCEED FOURTEEN (14) NON-RESIDENT EMPLOYEES REGULARLY SCHEDULED TO OCCUPY THE PREMISES AT ANY ONE TIME.
 - III. THE BUSINESS UTILIZING THE OFFICE SPACE SHALL BE A SINGLE TENANT OFFICE USER OWNED BY OR AFFILIATED WITH THE OWNER OF THE BUILDING COMPLEX.
 - IV. THE OFFICE USE SHALL NOT GENERATE FREQUENT DAILY VISITATION BY CLIENTS, CUSTOMERS, OR THE GENERAL PUBLIC.
 - V. THE OWNER OR OPERATOR OF THE BUSINESS SHALL SECURE AND PROVIDE TO ITS EMPLOYEES ONE (1) OFF STREET PARKING SPACE FOR EACH EMPLOYEE WHO COMMUTES TO THE OFFICE BY HIS OR HER AUTOMOBILE.
 - C. THIS PROJECT INCLUDES AN OFFICE USE ON THE FIRST FLOOR OF THE PARISH HOUSE THAT OCCUPIES APPROXIMATELY 2,000 SF OF FLOOR AREA. THE UNDERLYING DIMENSIONAL REQUIREMENTS FOR THE UNDERLYING R4 ZONE APPLY BUT FOR THE FOLLOWING MODIFICATIONS AS PER THE CONDITIONAL ZONING AGREEMENT. THESE DIMENSIONAL REQUIREMENTS ARE LISTED BELOW ALONG WITH THE ESTABLISHED CONFORMANCE TO THOSE REQUIREMENTS.
 - A. MINIMUM LOT SIZE FOR PLACES OF ASSEMBLY AND PROFESSIONAL OFFICE USES COMBINED 17,000 SF. THE LOT SIZE OF THE SUBJECT PROPERTY IS 17,998 SF AND IS DOCUMENTED AS SUCH ON THE BOUNDARY SURVEY BY NORTHEAST CIVIL SOLUTIONS DATED DECEMBER 13, 2011.
 - B. MINIMUM YARD DIMENSIONS:
 - I. FRONT YARD: 3 FEET. THE EXISTING FRONT YARD OF PARISH HOUSE IS 4'-0". THE SANCTUARY IS 6'-10" AT THOMAS STREET AND 6'-9" AT CARROLL ST.
 - II. REAR YARD: 3 FEET. THE EXISTING STRUCTURE OF SANCTUARY IS 2'-9" AND AT THE EXISTING STRUCTURE AT THE REAR OF THE PARISH HOUSE IS 3'-4".
 - III. SIDE YARD: 4 FEET. THE SIDE OF THE EXISTING PARISH HOUSE STRUCTURE AT THE SIDE YARD IS 5'-0".
 - IV. SIDE YARD ON SIDE STREETS: 8 FEET.
 - C. MAXIMUM LOT COVERAGE: 60%. THE EXISTING FOOTPRINT OF THE STRUCTURES ON THE PROPERTY IS APPROXIMATELY 12,000 SF PROVIDING A LOT COVERAGE OF 61%.
 - D. MAXIMUM STRUCTURE HEIGHT (SANCTUARY): 37 FEET. THE EXISTING HEIGHT OF THE SANCTUARY IS APPROXIMATELY 37 FEET.
 - E. MAXIMUM STRUCTURE HEIGHT (PARISH HOUSE): 47 FEET. THE EXISTING HEIGHT OF THE PARISH HOUSE IS APPROXIMATELY 47 FEET.
 - F. MAXIMUM STRUCTURE HEIGHT (BELL TOWER): 70 FEET. THE EXISTING HEIGHT OF THE BELL TOWER IS APPROXIMATELY 70 FEET.
 - G. MAXIMUM FLOOR AREA FOR PLACES OF ASSEMBLY: 6,000 SF. THIS PROJECT DOES NOT INCLUDE ANY PROVISION OR CONSIDERATION FOR THE USE OF THE SANCTUARY AS A COMMUNITY HALL AT THIS TIME.
 - H. RESIDENTIAL DWELLINGS WITHIN THE EXISTING STRUCTURES SHALL BE CONVEYED BY THE PROVISIONS OF SECTION 14-103(A)(2) OF THE UNDERLYING R-4 ZONE. DENSITY CALCULATIONS FOR RESIDENTIAL USES SHALL BE BASED ON THE LOT SIZE OF THE PARCEL WITHOUT LAND AREA REDUCTIONS FOR OTHER NON-RESIDENTIAL USES ON THE SITE. THIS PROJECT PROPOSES 5 RESIDENTIAL DWELLING UNITS WITHIN THE EXISTING STRUCTURE OF THE PARISH HOUSE. THE R-4 ZONE REQUIRES A MINIMUM LOT AREA OF 3,000 SF PER UNIT AND A MINIMUM FLOOR AREA OF 700 SF PER UNIT. THE PROPOSAL OF 5 UNITS REQUIRES 15,000 SF OF LAND AREA. THE EXISTING LAND AREA OF THE SITE IS 17,998 SF. THE SMALLEST OF THE 5 PROPOSED UNITS IS APPROXIMATELY 1,100 SF.
 - I. THE CONDITIONAL ZONING AGREEMENT PROHIBITS THE INCREASE IN VOLUME OR FOOTPRINT OF EITHER THE PARISH HOUSE OR THE SANCTUARY. THE SUBMISSION INCLUDES THE RENOVATION OF THE EXISTING PORTICO CONNECTOR BETWEEN THE PARISH HOUSE AND THE TRANSFER OF THE SANCTUARY AS THE MAIN ENTRANCE TO THE RESIDENCES IN THE PARISH HOUSE. THESE MODIFICATIONS WILL NOT INCREASE THE FOOTPRINT OR THE VOLUME OF THE PRIMARY STRUCTURES ON THE PROPERTY.
 - J. THE CONDITIONAL ZONING AGREEMENT INCLUDES A REHABILITATION SCHEDULE THAT WORK HAS COMMENCED AND IS UNDERWAY AS NOTED. THIS PROJECT DOES NOT INTEND TO SEEK A CERTIFICATE OF OCCUPANCY FOR THE OFFICE USE IN THE PARISH HOUSE UNTIL ALL OF THE WORK ON THE REHABILITATION SCHEDULE HAS BEEN COMPLETED.
 - K. THE SUBMISSION FOR 5 RESIDENTIAL DWELLING UNITS IS CONSIDERED A SUBDIVISION, WHICH IS CONDITIONALLY ALLOWABLE IN THE R4 ZONE. CONDITIONALLY ALLOWABLE UNITS SHALL BE PRESENTED TO THE ZONING BOARD OF APPEALS. ON-SITE PARKING FOR THE RESIDENTIAL USE IS NOT REQUIRED BECAUSE OF THE HISTORIC DESIGNATION OF THE PROPERTY; HOWEVER A PRELIMINARY THE PROJECT PROVIDES PARKING FOR UP TO FOUR (4) VEHICLES ON SITE.

UNIT SQUARE FOOTAGE TABLE:

UNIT #	DESCRIPTION	SQUARE FOOTAGE (SF)
1	GROUND FLOOR CARPENTERS	1,115
2	OVERLOOKING THOMAS STREET	2,161
3	CENTER OF BUILDING	1,768
4	SOUTHWEST CORNER	1,627
5	REAR NORTHWEST CORNER	1,207

APPROVED BY CITY OF PORTLAND PLANNING BOARD

NAME	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/09/2015	PRELIMINARY SITE PLAN SUBMITTAL

SGC ENGINEERING, LLC
Civil Design & Survey Engineering
Environmental & Regulatory Permitting
Electrical Power Systems Engineering

SGC

SERVING OUR CLIENTS IN THE U.S.A. & CANADA

1500 Main Street, Suite 200
Portland, ME 04101
Tel: 207.527.1100
Fax: 207.527.1101
www.sgc-engineering.com

RECORD OWNER:
MAJELLA GLOBAL TECHNOLOGY
DEVELOPMENT
1200 MIDDLE STREET
PORTLAND, MAINE

TITLE:
RECORDING PLAT
WILLISTON CHURCH
26 THOMAS STREET
PORTLAND, MAINE

DATE AND/OR VVVV
DESIGN: TDD
CHECK: EGW
PROJECT: 130901
FILE: 130901_SITE PLAN.DWG

SCALE: 1" = 300'

SHEET:
1 of 1



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DOW-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, OR AS OTHERWISE REQUIRED BY MAINE STATE LAW.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
4. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
5. ALL UTILITY FACILITIES SHALL BE ADJUSTED BY THE RESPECTIVE UTILITIES UNLESS OTHERWISE NOTED. UTILITY POLE RELOCATION SHALL BE COORDINATED WITH CMP.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. NO BLASTING WILL BE ALLOWED WITHIN 500 FT. OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF CMP OR THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
8. PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF REMOVED HUMICIOUS MATERIALS.
10. ROADWAY MATERIALS SHALL BE AS REFERENCED FROM "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS, DECEMBER 2002" CHAPTER 401.02 MATERIALS, EXCEPT AS OTHERWISE NOTED.
11. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND RESPECTIVE UTILITY COMPANY STANDARDS.
12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, MARCH 2003 AND AS OTHERWISE SPECIFIED OR INDICATED ON DRAWINGS.
13. THE CONTRACTOR SHALL PROVIDE FOR ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONNEL OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORMED TRAFFIC CONTROLS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION ZONE TRAFFIC CONTROL.
14. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER IS NOT RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING TO JOB SITE SAFETY.
15. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY HIS ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL SPILLS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
16. THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS SHALL PREVAIL. ANY MISSING DIMENSIONS OR DISCREPANCIES IN PLANS, FIELD STAKING, OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING THE ENGINEER, HE DOES SO AT HIS OWN RISK.
17. THE CONTRACTOR SHALL KEEP TWO SETS OF CONTRACT DRAWINGS MARKED UP TO FULLY INDICATE AS-BUILT CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO SOE ENGINEERING, LLC AND THE OWNER UPON COMPLETION OF WORK. WHERE PRACTICAL THE CONTRACTOR SHALL PROVIDE AT LEAST TWO SETS FROM PHYSICAL MONUMENTS TO ALL FITTINGS, VALVES, MAN-HOLES, AND THE END OF ALL SERVICE LINES.
18. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS AND FACILITIES DURING CONSTRUCTION AS NECESSARY TO PROTECT ROADS AND PROPERTY.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING AND RESEEDING ALL EXISTING PROPERTY VEGETATION DISTURBED BY HIS OPERATIONS. THIS WORK SHALL BE DONE BY LAND SURVEYOR REGISTERED IN THE STATE OF MAINE, AT NO ADDITIONAL COST TO THE OWNER.
20. ALL AREAS THAT ARE EXCAVATED, FILLED, OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE LOADED, GRADED, LIMED, FERTILIZED, SEEDED AND MULCHED, UNLESS OTHERWISE NOTED. THE TOP 4 INCHES OF SOIL SHALL BE TOPSOIL.
21. CONTRACTOR SHALL CONTROL DUST ON THE CONSTRUCTION SITE TO A REASONABLE LIMIT, TO THE SATISFACTION OF THE TOWN AND ENGINEER.
22. CONTRACTOR SHALL NOT TRACK OR SPILL EARTH, DEBRIS, OR OTHER CONSTRUCTION MATERIAL ON PUBLIC OR PRIVATE STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE ASSOCIATED CLEAN UP.
23. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS AND EXCESS EXCAVATED MATERIAL FROM WITHIN THE CONSTRUCTION LIMIT OF WORK, TO A SUITABLE OFF SITE LOCATION PROVIDED BY THE CONTRACTOR, IN COMPLIANCE WITH STATE AND LOCAL REGULATIONS.
24. CONTRACTOR SHALL REMOVE AND REPAIR, OR REPAIR ALL PAVEMENT AND OTHER ITEMS DAMAGED BY HIS OPERATIONS AND RESTORE THEM TO AT LEAST THEIR ORIGINAL CONDITION, TO THE SATISFACTION OF THE CITY AND ENGINEER.

PRELIMINARY
NOT FOR CONSTRUCTION

PREPARED FOR:

SITE PLAN
WILLISTON CHURCH
26 THOMAS STREET
PORTLAND, MAINE

TITLE: _____
SHEET: _____

1 of 1

**MAJELLA GLOBAL TECHNOLOGY
DEVELOPMENT
1200 MIDDLE STREET
PORTLAND, MAINE**



SSC ENGINEERING, LLC

- Civil Design & Survey Engineering
- Environmental & Regulatory Permitting
- Electrical Power Systems Engineering

CLIENTS IN THE U.S.A. & CANADA

REVISIONS:

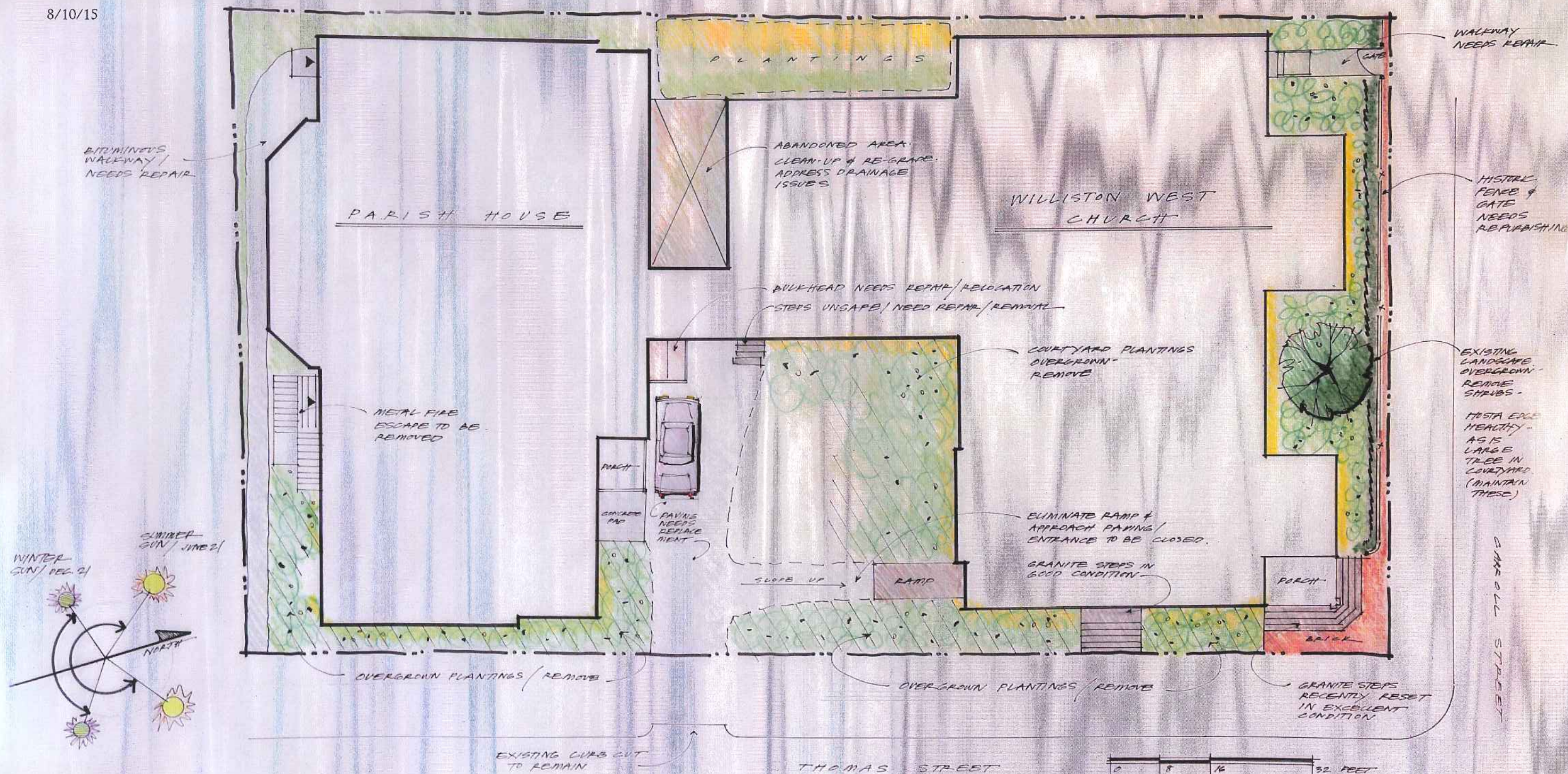
EXISTING CONDITION/SITE ANALYSIS

WILLISTON WEST CHURCH

PORTLAND, MAINE

8/10/15

CYNTHIA ORCUTT
LANDSCAPE ARCHITECT, ME #086



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

ORCUTT CONSULTING
ARCHITECTURE • PLANNING • LANDSCAPE ARCHITECTURE

PO Box 314
Kingfield, Maine 04947
telephone 207 896 6251B

e-mail corcutt95@gmail.com

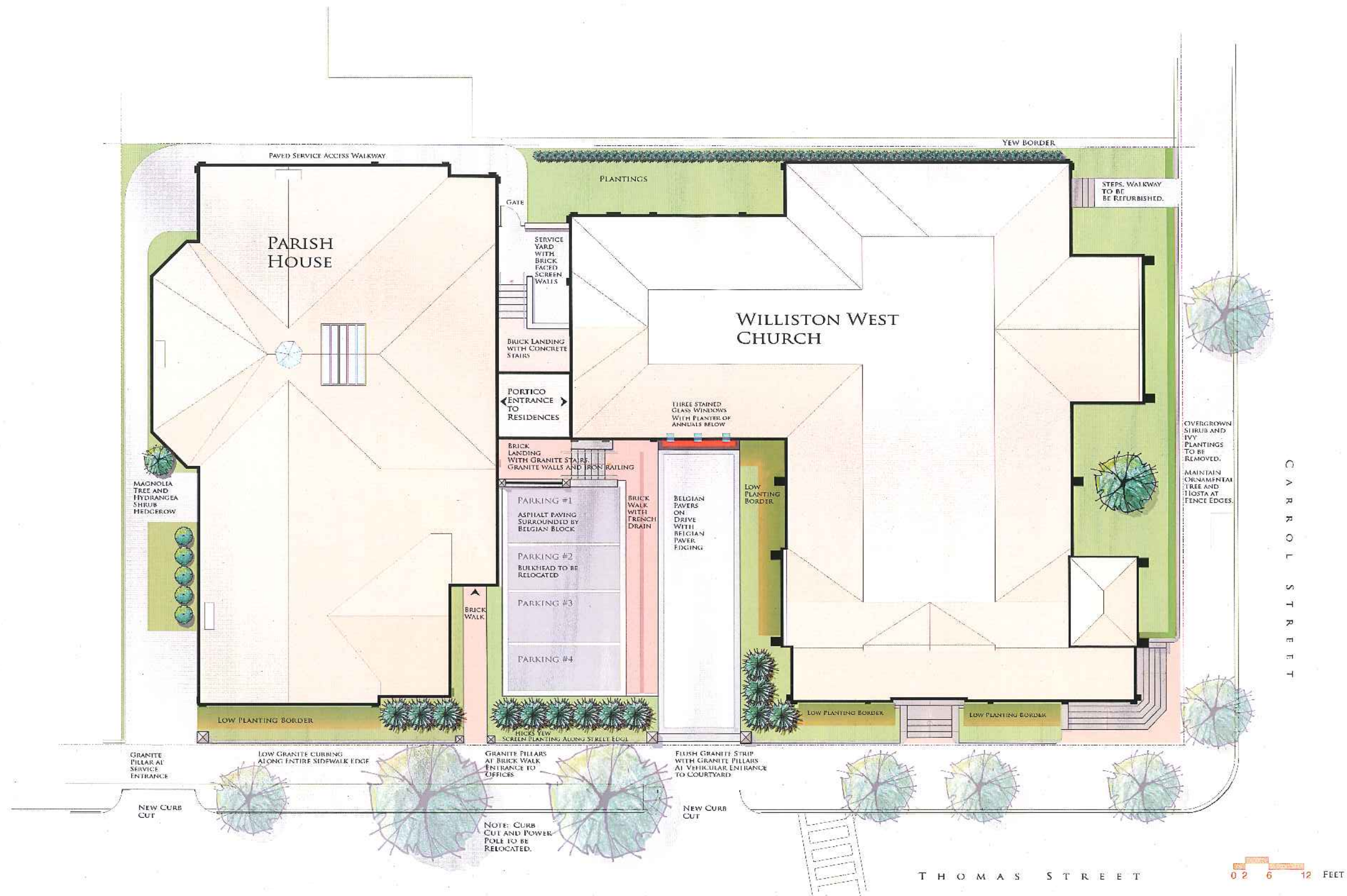
Williston West
32 Thomas Street LLC
32 Thomas Street
Portland, Maine

date February 1, 2012

scale 1/8" = 1'-0"

project # 2011-010

Existing Conditions
Analysis
L100



PRELIMINARY SITE PLAN

WILLISTON WEST - 32 THOMAS STREET
PORTLAND, MAINE

SEPTEMBER 23, 2015

GARRISON
CONSULTING

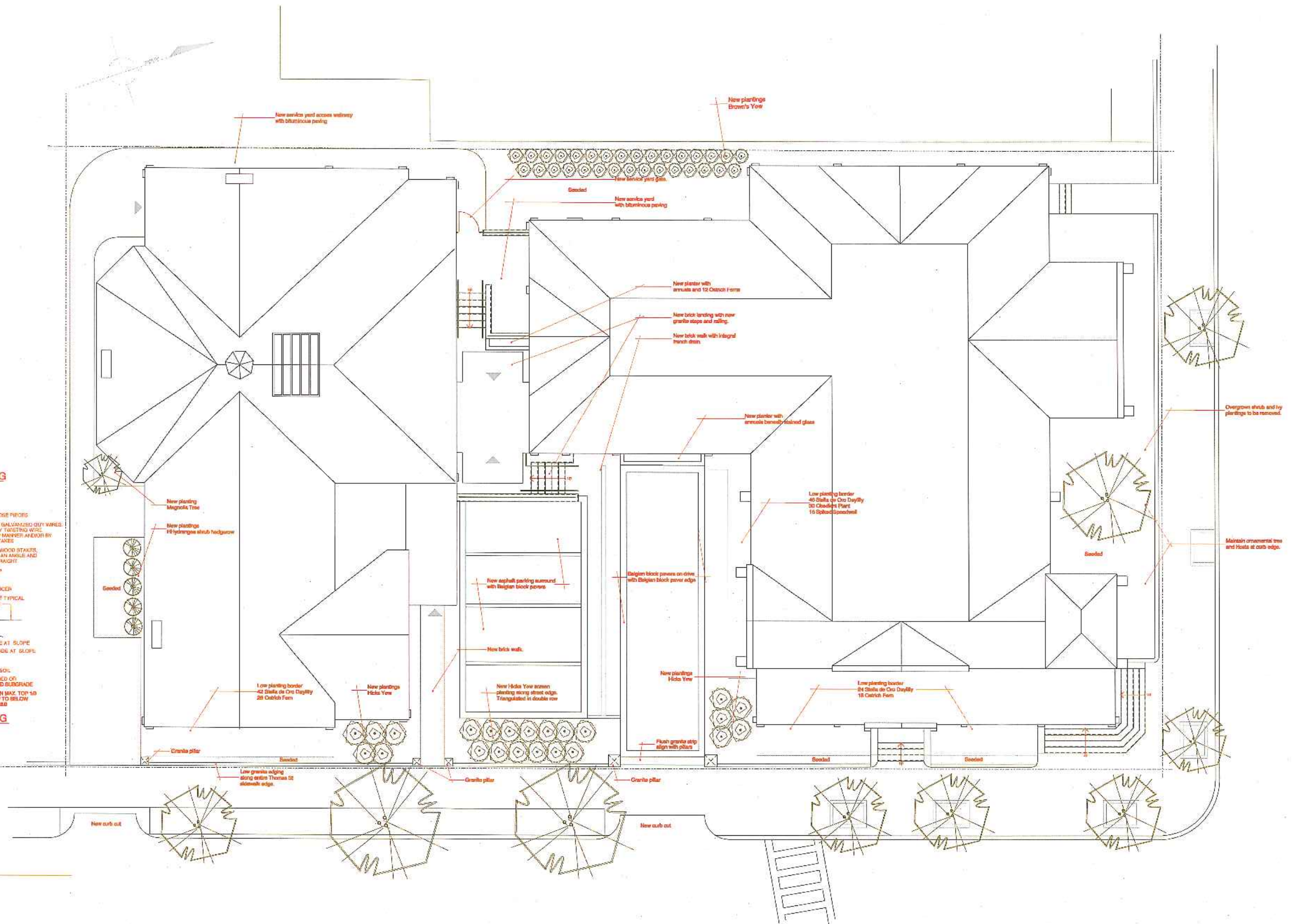
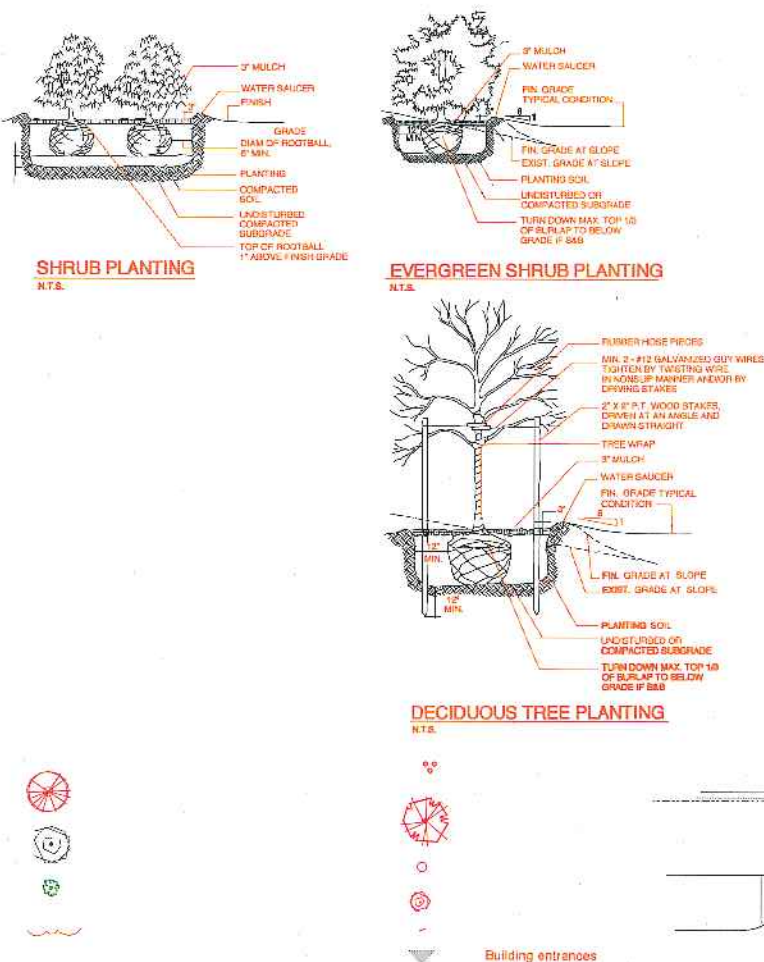
41 edgebrook ave.
Portland, Maine 04101
Telephone: 207-452-6700
e-mail: matt@garrisonconsulting.com

ORCUTT CONSULTING
ARCHITECTURAL - PLANNING - LANDSCAPE ARCHITECTURE

100 Main St.
Portland, Maine 04101
Telephone: 207-523-0500
e-mail: matt@orcuttconsulting.com

Qty.	Item	Size	Root Spacing	Remarks
TREES and SHRUBS				
1	Magnolia stellata 'Royal Star'	2" - 2 1/2" caliper	B&B	Specimen tree - symmetrical full branching
6	Hydrangea paniculata 'Limelight'	4" x 4" H.L.	B&B	Or approved equivalent hybrid Hydrangea
23	Taxus x media 'Hickii'	2-3 1/2" H.L.	B&B	Matched shrubs
30	Taxus x Media 'Brownii'	18"-24" H.L.	B&B or potted	Brown's Yew
PERENNIALS				
135	Hemerocallis spp. 'Stella d'Oro'	1 1/2" dia. flowering stem	min #1 cont.	Plant in front row of all borders - two rows triangulated
78	Matsucopia eluthiopteris	15-18" H.L.	min #1 cont.	Plant in back row of all borders facing Thomas St - two rows triang.
30	Physocarpia virginiana	15-18" H.L.	min #1 cont.	Plant in back row of courtyard border - two rows triang.
16	Veronica spicata 'Eddi'	15-18" H.L.	min #1 cont.	Plant between Daylily and Obedient Plant in courtyard border
MISC				
	Shredded Pine Bark Mulch			3" depth
	Seed & Mulch			Seed areas disturbed by construction

Planting List



GARRISON
CONSULTING

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ARCHITECTURE • PLANNING • LANDSCAPE ARCHITECTURE

PO Box 314
Kingfield, Maine 04947
telephone 207 539 66518

e-mail corcutt66@gmail.com

project name
**32 Thomas Street
Apartments**

project location
**32 Thomas Street
Portland Maine 04101**

Revisions	date

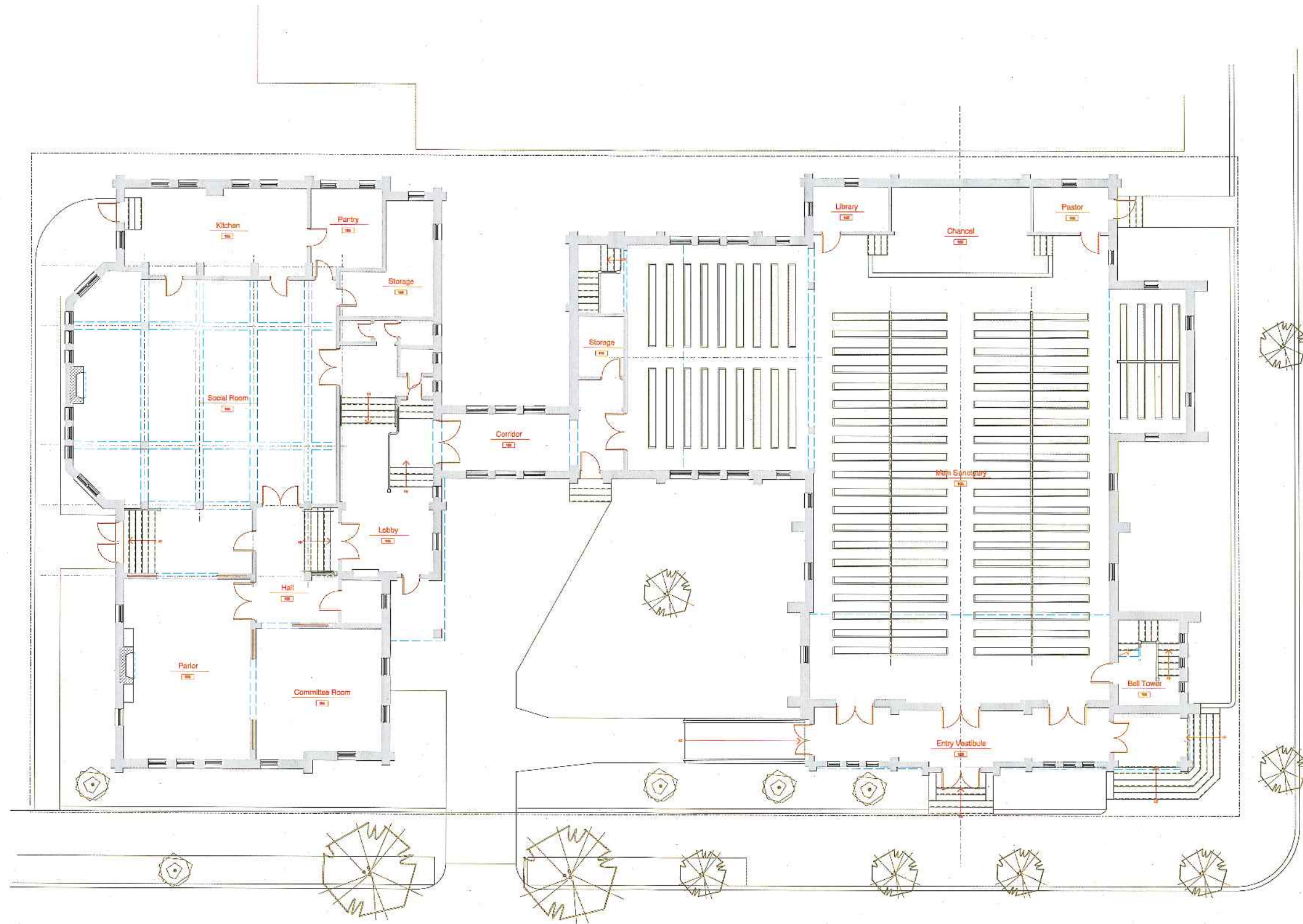
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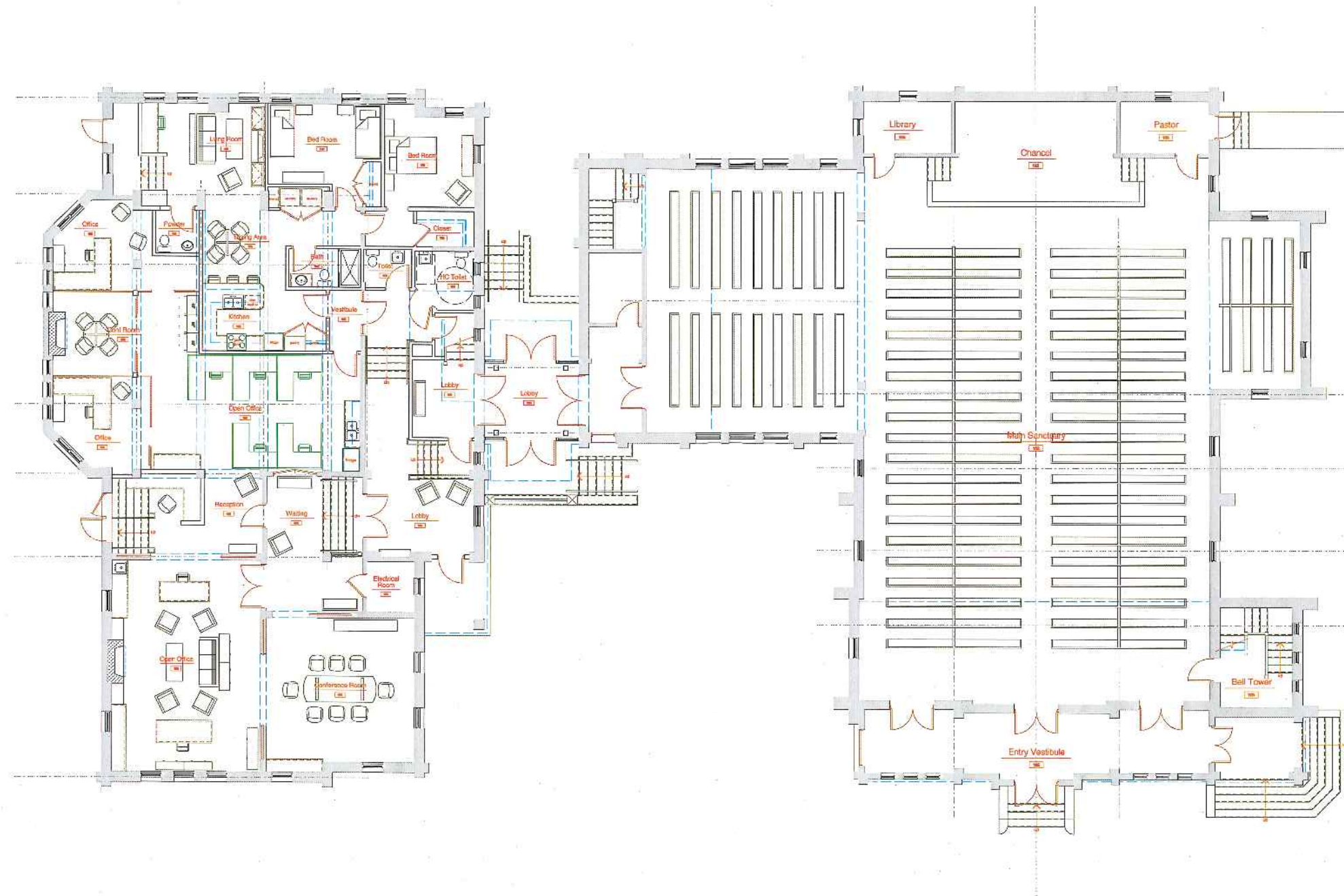
scale
1/8" = 1'-0"

project #
2011-018

drawing title
**Landscape &
Planting Plan**

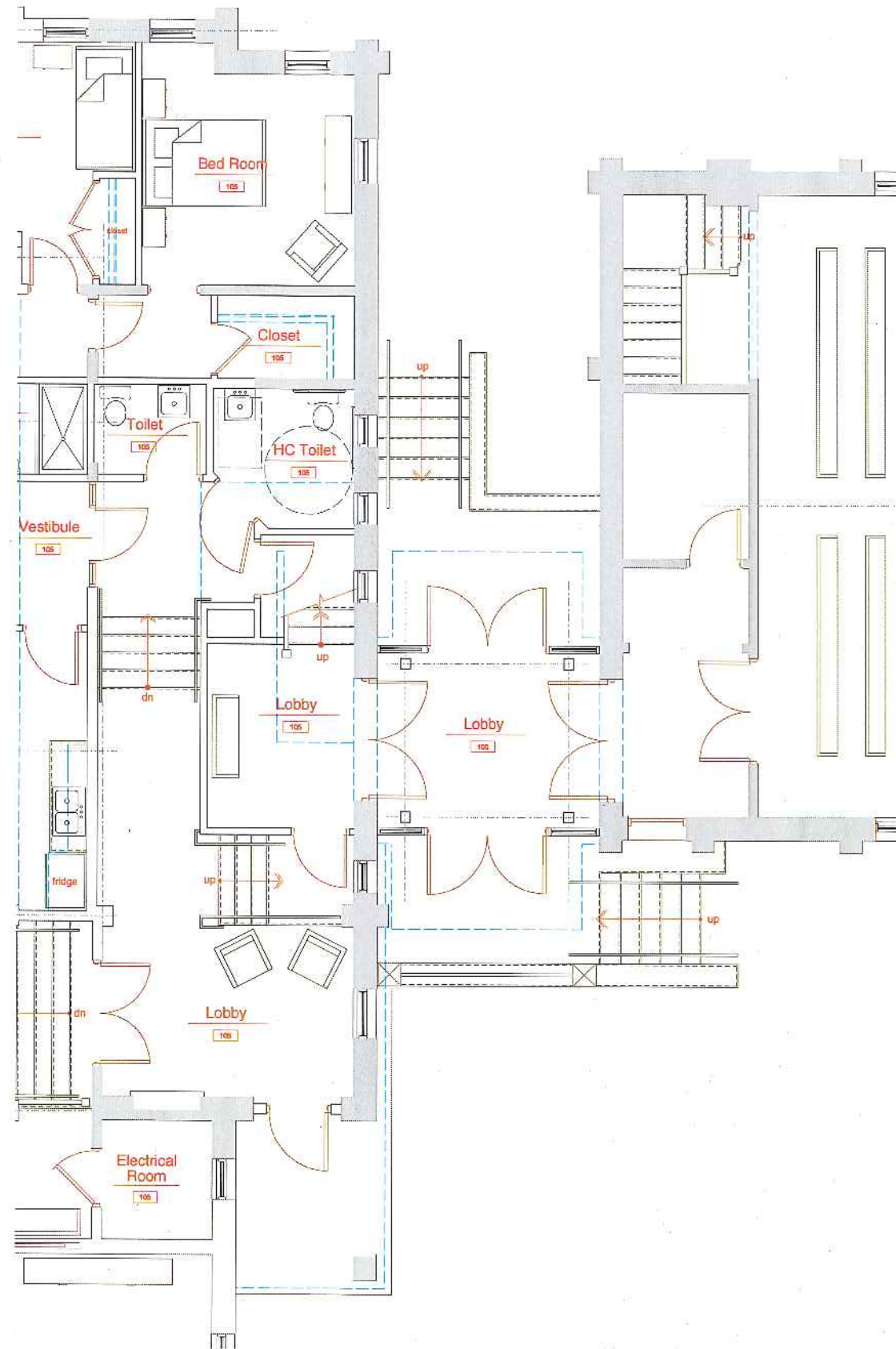
drawing number
L101





10 Ground Floor Plan

0 4 12 24

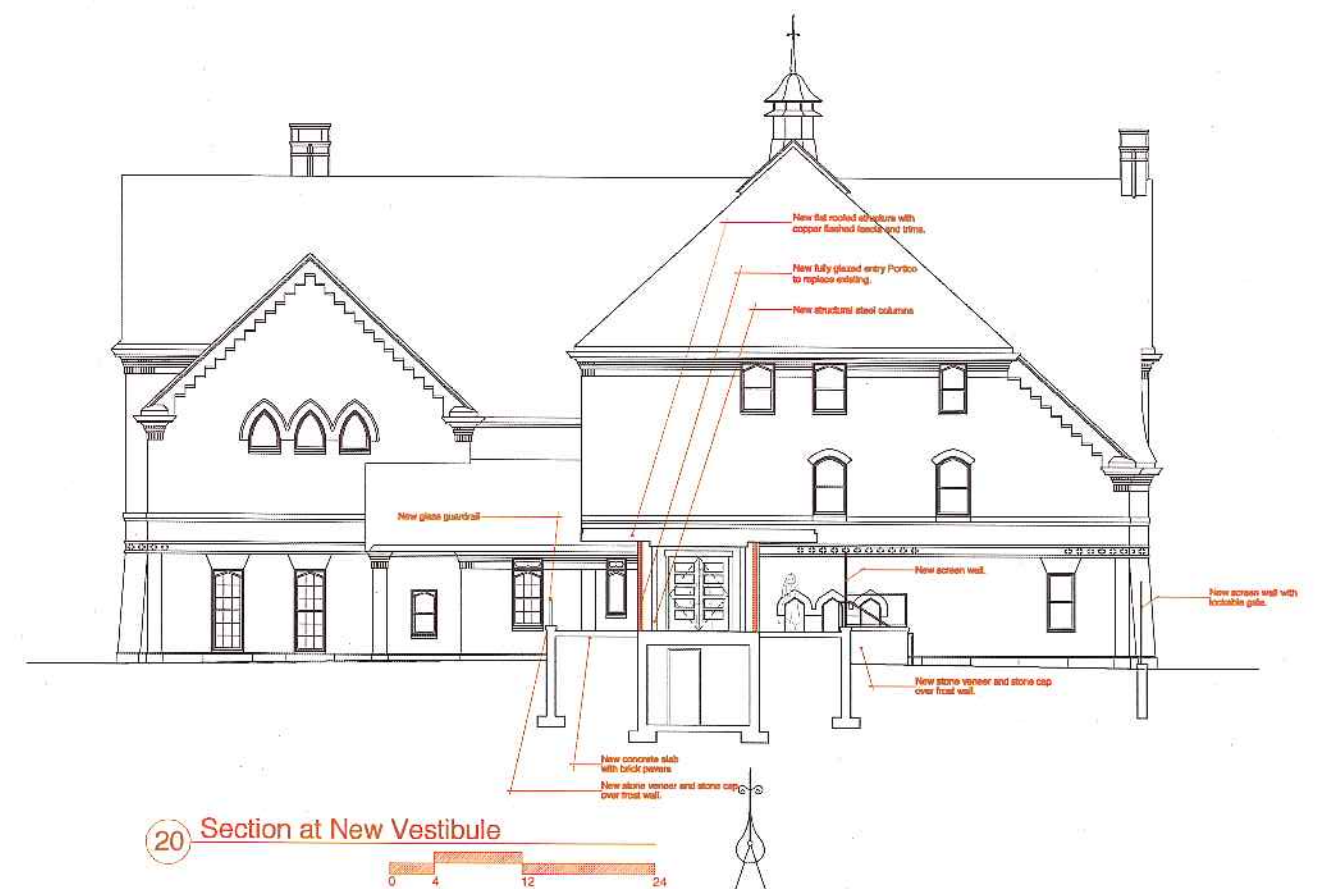
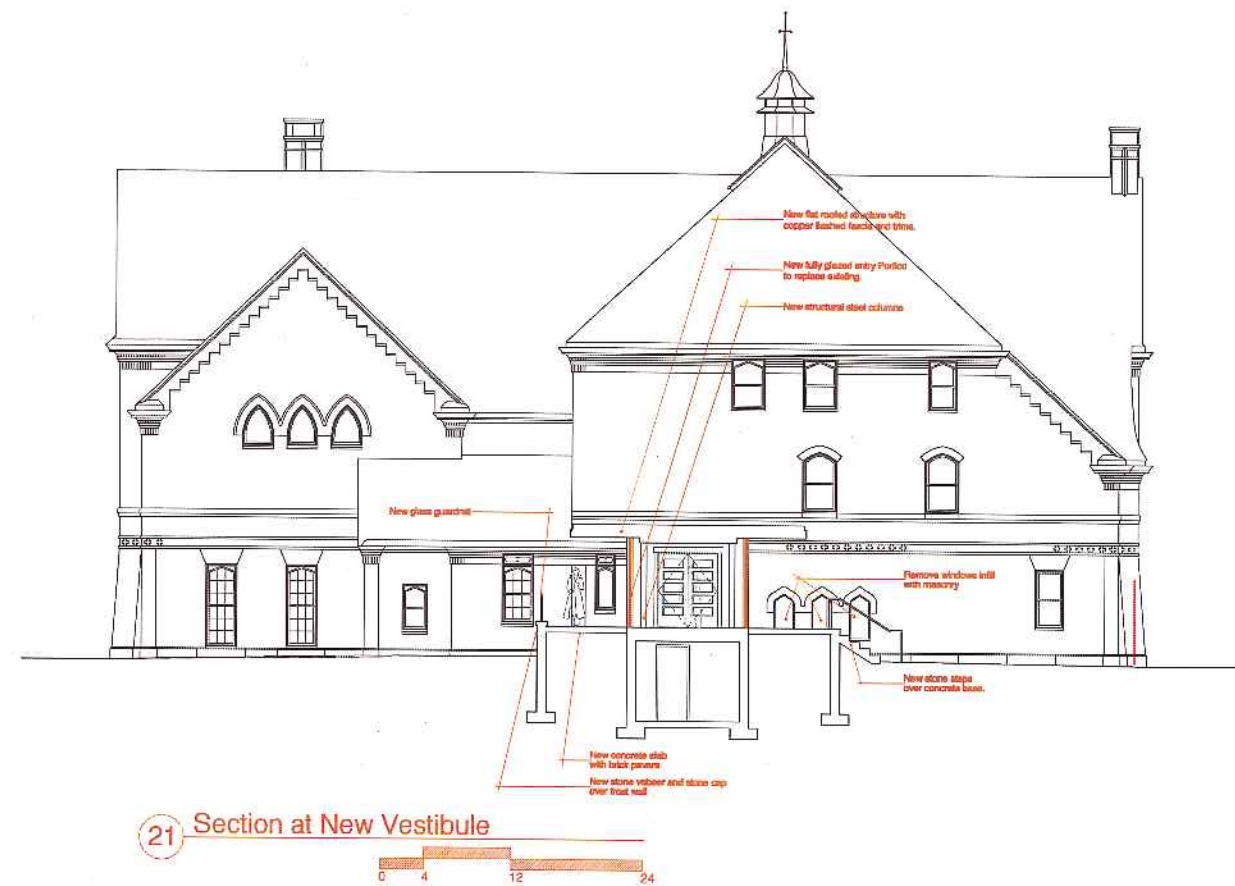


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Williston West
32 Thomas Street LLC
32 Thomas Street
Portland, Maine

date September 17, 2015
scale 1/8" = 1'-0"
project # 2011-018
Partial Enlarged
Ground Floor Plan
drawing title A102



0 2 6 12 Graphic Scale

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750
e-mail mathowwinch@earthlink.net

Williston West
32 Thomas Street LLC
32 Thomas Street
Portland, Maine

date September 15, 2015
scale 1/8" = 1'-0"
project # 2011-018
drawing title Thomas St
Elevation

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
119 CHADWICK STREET**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Rob Wiener, Preservation Compliance Coordinator

DATE: October 1, 2015

RE: October 7, 2015 Public Hearing

Application for: Certificate of Appropriateness for window replacements

Address: 119 Chadwick Street

Property Owner: Sheri and Peter Feeney

Contractor: Geoff King

Window Supplier: Marvin Design Gallery

Introduction

Property owners Sheri and Peter Feeney are requesting a Certificate of Appropriateness for window replacements at 119 Chadwick Street, a single family home that is a contributing property in the Western Prom Historic District. The Colonial Revival style house was built on the corner of Chadwick and West Streets in 1890. The Feeneys purchased their house earlier this year, and their stated desire is to gradually restore historic features that have been inappropriately altered over the years.

Among the improvements undertaken by the new owners are kitchen renovations, where a desire for counter space that is unencumbered by tall windows inspires this application. Because the new, shorter windows are located on the visible north side of the home (the left side, as viewed from Chadwick Street,) staff decided the alteration deserved Board review. The Feeneys also wish to replace five basement windows with fiberglass sash, to be installed in the existing frames in order to preserve existing sills and brick molds. The basement window work may be postponed to a later phase.

Application materials submitted by the applicants include the Marvin window specifications, a

sketch of the proposed treatment for the two kitchen windows, and photos of the existing conditions. Staff has added some photos of the property, as well as the 1924 tax photo.

Subject Property and Context

The subject property was one of the first buildings built in the block of Chadwick Street between West and Bramhall Streets. Although it is half a block away from larger apartment buildings, medical offices, and parking for Maine Medical Center, it is still firmly planted in the residential West End. It is a two and a half story Colonial Revival with a brick first floor, shingle siding on the second floor, and a hipped, slate roof.

On the north side (left, as viewed from Chadwick Street,) the first window facing the driveway departs from the prevailing window pattern, which is 2/2 double-hung units. Instead, because of interior stairs the front-most opening features a twelve-light fixed sash with two wood panels above it, in a masonry opening the same size as the other first floor windows. Moving toward the rear on the north wall, the next two windows are the ones proposed for replacement. The first still has old wooden 2/2 sash, with an aluminum storm window on the exterior. The second window to be replaced, under the rear entry roof, was filled in with glass block at some point in the past.

Most of the basement sashes are hidden by foundation plantings, but an old, eight-light example still exists facing the driveway. Several of the other basement windows were replaced at an undetermined time with white vinyl replacement windows.

Proposed Alterations

The two proposed new windows are located in the rear half of the driveway side of the house. As shown in the supplied sketch, the applicants have specified shorter, 2/2, wood double-hung units, with 16" high panels below them to fill out the masonry opening. The panels, window casing, and brick mould are to be patterned after the existing front window on the wall. Marvin Design Gallery has proposed simulated divided lights, half screens, thick simulated historic sills, and low-e glazing with the required clear appearance and visual transmittance ratio of .7 (70%.)

This application also includes replacement of five basement sashes with new black, fiberglass sashes to be installed in the existing frames. With the exception of the material (chosen because of proximity to the ground,) the specifications for the proposed basement sash are the same as for the two other windows. Existing wood sills and brick moulds are expected to be retained and repaired as needed. Staff does not know whether the existing dryer vent in the driveway side basement sash is currently in use, and whether an alternate venting plan has been considered in the event that a vent is needed after sash replacement.

Staff Comments

Although the adaptation of the two kitchen windows to facilitate interior design considerations is somewhat visible from Chadwick Street, it is a practical alteration that borrows from the existing design vocabulary of the property. We do not have an elevation drawing of the entire

north side of the house, showing the proposed new kitchen windows in context, but the Board is encouraged to visit the site and refer to the supplied sketch and photographs. Because the existing masonry openings are not being altered, in theory full sized-windows could be restored if a future resident wanted to do so.

At this time the owners are most concerned with moving forward with the kitchen windows, so if the Board has any reservations concerning approval of the new basement windows, the applicants have asked that the two phases be considered separately.

Applicable Review Standards

- (1) *Every reasonable effort shall be made to provide a compatible use for the property which requires minimal alteration to the character-defining features of the structure, object or site and its environment or to use a property for its originally intended purpose.*
- (2) *The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
- (6) *Deteriorated historic features shall be repaired rather than replaced wherever feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the feature being replaced in composition, design, texture and other visual qualities and, where possible, materials. Repair or replacement of missing historic features should be based on accurate duplications of features, substantiated by documentary, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.*
- (10) *Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.*

Motion for Consideration

On the basis of plans and specifications submitted by the applicant for the 10-7-15 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed window alterations at 119 Chadwick Street **meet (fail to meet)** the historic preservation ordinance review standards, specifically Standards....., (subject to the following conditions.....)

Attachments

1. Window specifications supplied by window supplier
2. Sketch of proposed window treatment, supplied by window supplier

3. Photos of window locations, supplied by applicants
4. Staff photos of subject property
5. 1924 Tax photo of subject property



a complete window and door showroom
by Eldredge

Marvin Design Gallery
317 Marginal Way
Portland, ME 04101
USA

(207) 772-2003 Fax: (207) 772-0418
Sales Person: Dave Thibeau
dthibeau@marvinportland.com
www.marvinbyeldredge.com

September 29, 2015

Sheri Feeney
119 Chadwick St
Portland, ME 04102
Mobile: (207) 232-5507
Email: sfeeney@maine.rr.com

Project: Feemey Residence
Wood Windows
REVISION #1

PROPOSAL

The Marvin Design Gallery proposes to supply all product as listed below. Please review to ensure all sizing and specifications are correct and meet your project requirements. Marvin products are special order items and may not be changed, cancelled or returned once the order is approved and processed.

GENERAL PRODUCT SPECIFICATIONS EXCEPT AS NOTED BELOW

Manufacturer: Marvin

Product Line: Ultimate

Surface: Wood

Glass: Low E 1 w/ Argon

Grille/Divided Lite Bar Type: 7/8" Simulated Divided Lite w/ Spacer Bar as Drawn

Interior Finish: Primed Pine

Exterior Finish: Primed Pine

Interior Casing: None

Exterior Casing: None

Jamb Depth: 3 1/4" Replacement

Screen: ~~Full~~ Screen - Half

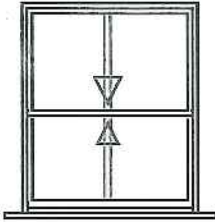
Screen Color: Frame: Choice of 19 Colors

Jambliner Color: Beige

Door Hardware: Satin Taupe

ATTACHMENT 1
WINDOW SPECS
RECEIVED 10/1/15

Item#: 1 Location: KITCHEN WOOD WINDOWS Qty: 2



Manufacturer: Marvin; wood ultimate double hung; call number: custom; frame size: 35" x 56" (with subsill); rough opening: 36" x 56 1/2" (with subsill); 4 9/16" jamb depth; satin taupe sash lock; beige jamb hardware; primed pine interior; back prime; primed pine exterior; no exterior casing; 5" long sill horns; screen: aluminum half screen (screen/combo ship loose); screen wire: charcoal fiberglass mesh, screen: stone white surround; primed pine simulated thick subsill; installed installation brackets; glass add for all sash/panels; non finger-jointed blindstop; non finger-jointed subsill; non finger-jointed sill; # PUTTY GLAZE SASH ON BOTH W8535 AND 7/8" SDL PUTTY ON ALL W8536.

Top & Bottom Sashes

Insulated glass, low E1 with argon, ovolo interior glazing profile, 7/8" simulated divided lite – with spacer bar – stainless – rectangular grille – special lite cut 2 wide x 1 high: primed pine exterior – primed pine interior, primed pine sash exterior, primed pine sash interior, stainless perimeter and spacer bar.

THIS PROPOSAL IS VALID FOR 30 DAYS

Acceptance Of Proposal

The above prices, specifications and conditions are satisfactory and hereby accepted. Any changes or modifications to this contract must be in writing and signed by both parties. The Marvin Design Gallery is authorized to place the order as specified above. Payments will be made as outlined.

Accepted: _____

Sheri Feeney

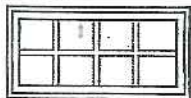
_____ Date

_____ Dave Thibeau

Millwork Specialist

_____ Date

Item#: 2 Location: BSMT SASH Qty: 4 5



Manufacturer: Marvin; wood ultimate casement – stationary; configured part: sash for: call number: custom; rough opening: 38 5/8" x 22 5/16" (with subsill); outside measurement: 36" x 19 1/4"; 3/4" insulated glass; low E1 with argon; ogee interior glazing profile; 7/8" simulated divided lite ^{fiberglass exterior} with spacer bar – stainless – rectangular grille – special lite cut 4 wide x 2 high: ^{fiberglass} ~~primed pine exterior~~ – primed pine interior; primed pine interior; ~~primed pine exterior~~; stainless perimeter and spacer bar; standard bottom rail; beige weather strip.

MARVIN DESIGN GALLERY

a complete window and door showroom
by Eldredge

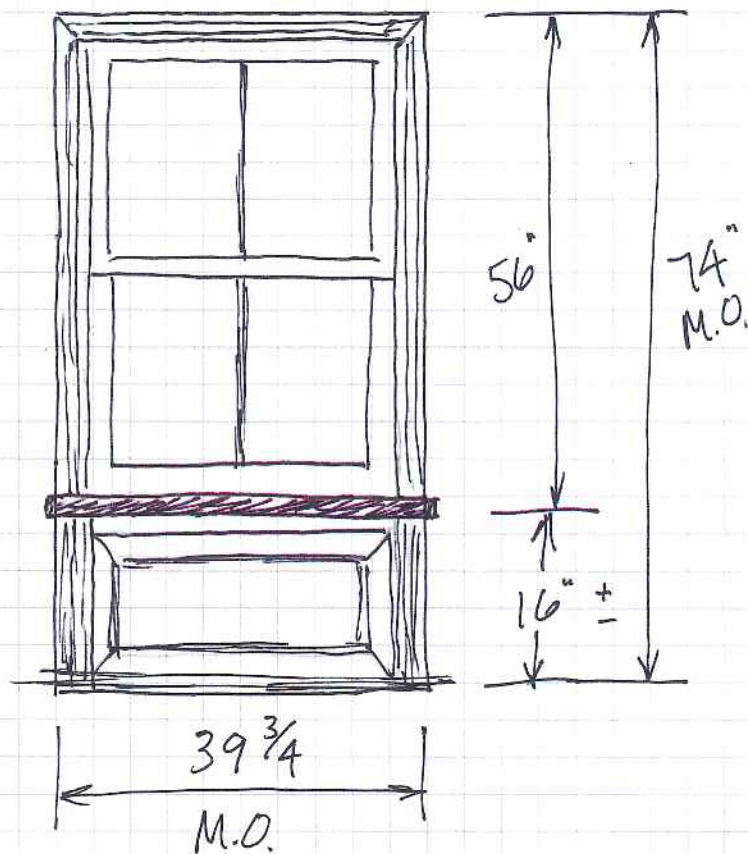
317 Marginal Way, Portland, Maine 04101

~~Jeremy Bate, CDT~~
Manager

207-772-2003 office • 207-772-0418 fax
207-337-3001 cell

jbate@marvinportland.com
www.MarvinbyEldredge.com

FEENEY RESIDENCE



Integrity
Windows and Doors
Subsidiary

MARVIN

INFINITY
Windows and Doors

ATTACHMENT 2



119 Chadwick St.
Driveway side

ATTACHMENT 3



119 Chadwick St
Driveway side

ATTACHMENT 4







119
Chap

65-B-4

ATTACHMENT 5

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
50 WESTERN PROMENADE**

TO: Chair Benson and Members of the Historic Preservation Board

FROM: Rob Wiener, Preservation Compliance Coordinator

DATE: October 1, 2015

RE: October 7, 2015 Public Hearing

Application for: Certificate of Appropriateness for a new garage

Address: 50 Western Promenade

Property Owner: David Fenton

Architect: Daniel Scully

Contractor: David McDonald, DLM Corp.

Engineers: Pinkham & Greer

Introduction

Property owner David Fenton and contractor David McDonald are requesting approval for a new garage at 50 Western Promenade. Mr. Fenton presented initial plans for the garage to the Board at a workshop on September 17, 2014. At that time the response of Board members was generally sympathetic to the plans for a brick, one-story garage, but members desired more details concerning a number of design features. Although it appeared last fall that construction was likely to start in the spring of 2015, the applicant now hopes to break ground as soon as possible in order to erect the building before December.

Since last year the design has been revised to be slightly more compact than the initial, modestly sized proposal, but the most significant change is to replace brick veneer with painted clapboard siding. In addition to being less costly for the applicant, the wood siding recalls the old garage that used to sit further from the house, on land that is no longer part of the subject property. (See attached 1924 photo.)

Mr. Fenton and Mr. McDonald have submitted a site plan by Pinkham and Greer Engineers and drawings of the proposed garage, as well as photos showing examples of the proposed doors. More detailed plans may be available before packets are mailed to Board members; if not, more details should be available at the October 7 meeting. Staff has added photos of existing conditions at the property. There is some visibility of the garage site from the Western Promenade, and some visibility from the shared driveway, though the proposed footprint is behind the front plane of the house.

Subject Property and Context

The subject property is one of four unique, brick Queen Anne style houses built circa 1880 on a private drive off the lower end of the Western Promenade. A local story about the origin of the houses is that they were built as a compound by a successful Jewish businessman who did not feel welcome (or was actively discouraged from building) in the more developed and developing areas of the Western Prom neighborhood. Like its three neighbors, number 50 is a large, irregular, somewhat fanciful building with a main gable roof broken up by a variety of dormers and a turreted tower at the southwest corner. The windows that are double-hung are unequal, with large bottom sashes and smaller top sash. It is worth noting that the ground drops off steeply behind the house, and beyond the backyard it slopes even more steeply to Danforth Street.

As noted above, in 1924 a wood-shingled, 1-1/2 story garage existed at the bottom of the shared driveway, in a different orientation than the current proposal. The land on which it sat is not currently part of the subject property, and the demolition date is unknown. A small lot at the bottom of the shared driveway, and immediately adjacent to the Fenton property, is commonly held by the four homeowners, and is used for parking.

Proposed Garage

The proposed garage has a small footprint (17'-6" x 18'-0") that is parallel to the property line and skewed in relation to the axis of the house. The flat roof will be pitched slightly toward the rear for drainage, and cornice details, windows and other trim recall features of the house. The wood siding and trim will likely be painted brick red, and the siding will cover much of the exposed foundation on the sides and rear, where the finished grade will be lower because of the existing topography. The proposed garage door is a quality wood overhead door that mimics carriage house doors, and the proposed man door on the same (front) face has a similar design. The drawings presented in 2014 showed a wide, single garage door (for two cars,) while the current proposal features a narrower overhead door.

Staff Comments

Like the earlier design, the proposed garage avoids competition with the house with its compact footprint, flat roof, and muted colors chosen from the same palette. It is designed to be a compatible, quiet accessory structure, with some precedents to be found in other one-story, flat-roofed garages at other locations around the West End. This second iteration of the design does not have brick walls like the house – the most significant departure from the previous design. The Board may want to discuss whether the treatment of the wood siding is

an equally compatible wall finish. The other notable departure is the narrowing of the garage door – which Board members will probably see as an improvement.

Some details which will be available by October 7, and which were requested by Board members during the September, 2014 workshop are:

- Window details
- Drip edge at the roof edge
- Possible lighting at or near the doors
- Siding exposure

Applicable Review Standards

Staff has provided for the Board's reference a summary of the ordinance's Standards for New Construction—see enclosed. The following design guidelines are of particular relevance to this project:

- *Relationship of materials, texture and color – The relationship of the color and texture of materials (other than paint color) of the façade shall be visually compatible with the predominant materials used in the structures to which they are visually related.*
- *Rhythm of spacing and structures on streets – The Relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related.*

Directional expression of principal elevations – A building shall be visually compatible with the structures, public ways, and places to which it is visually related in its directional character, whether this be vertical, horizontal, or non-directional character

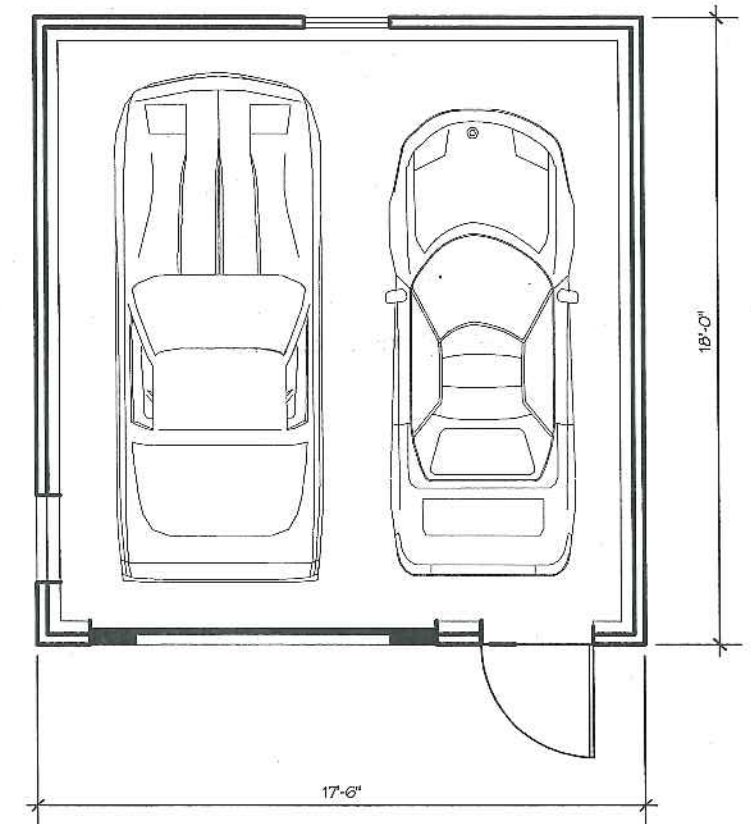
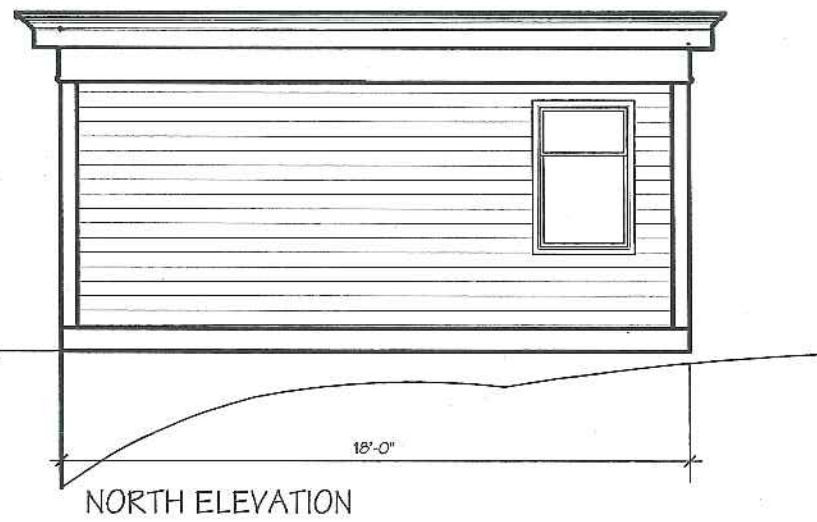
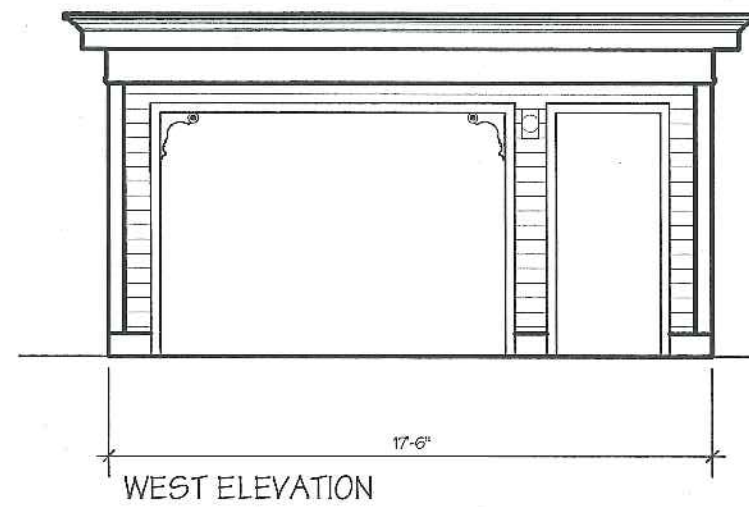
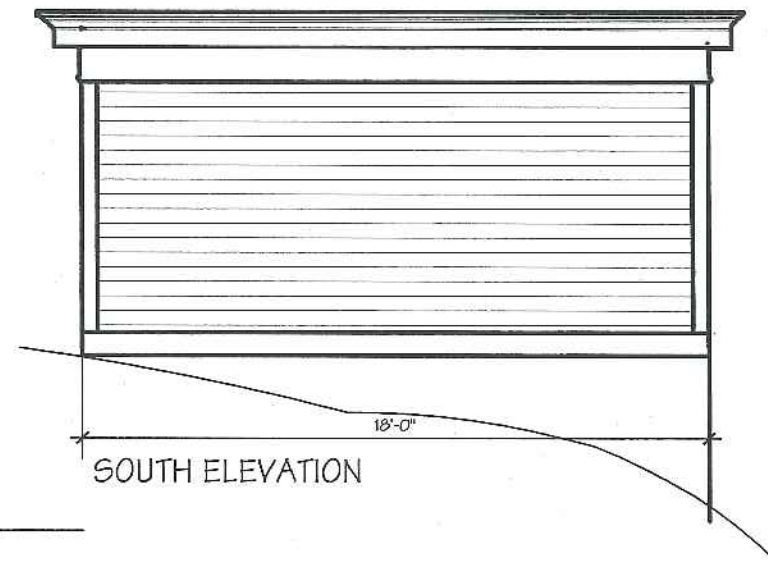
Motion for Consideration

On the basis of plans and specifications submitted by the applicant for the 10-7-15 Public Hearing and information included in the accompanying staff report, the Board finds that the proposed garage at 50 Western Promenade and accompanying site alterations **meet (fail to meet)** the historic preservation ordinance review standards, specifically Standards....., (subject to the following conditions.....)

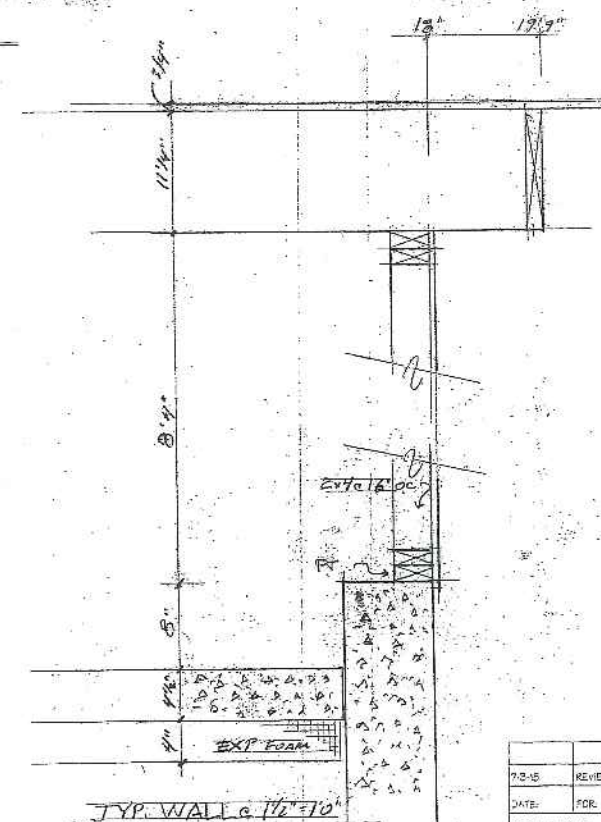
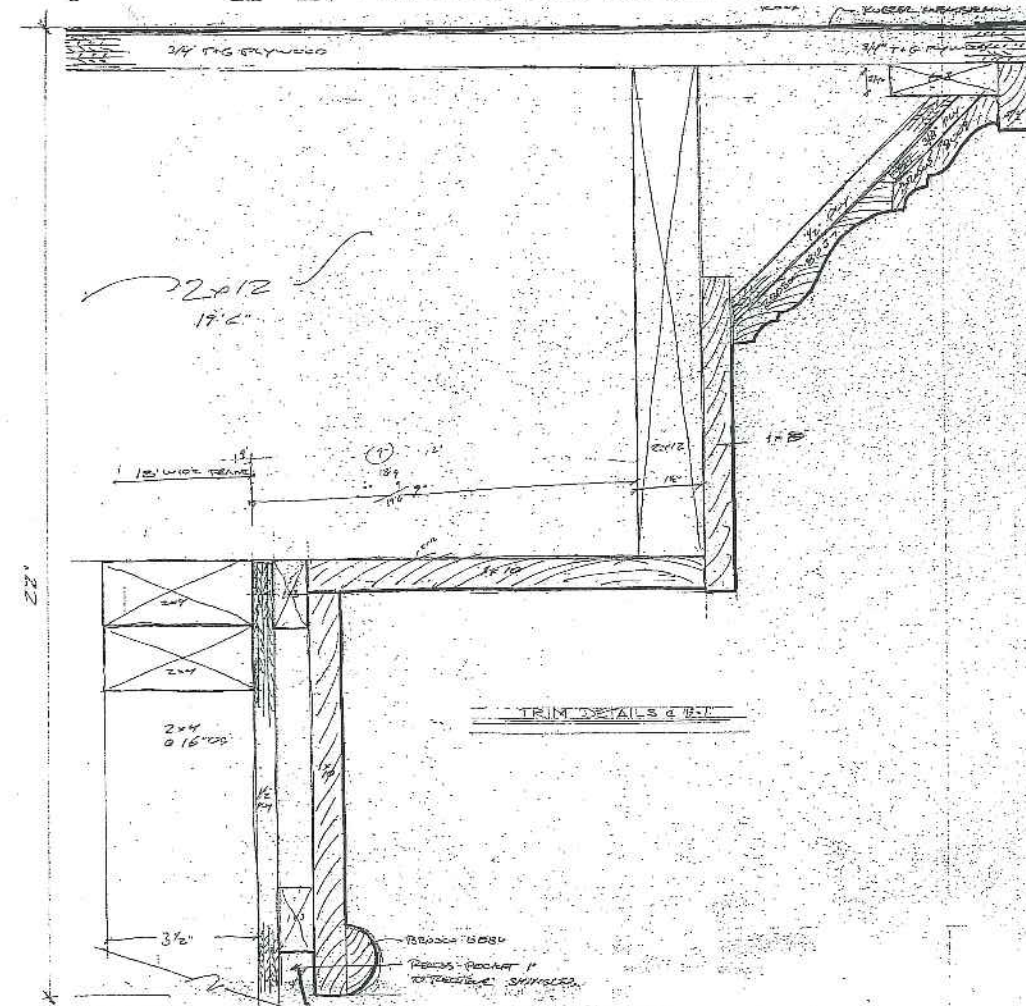
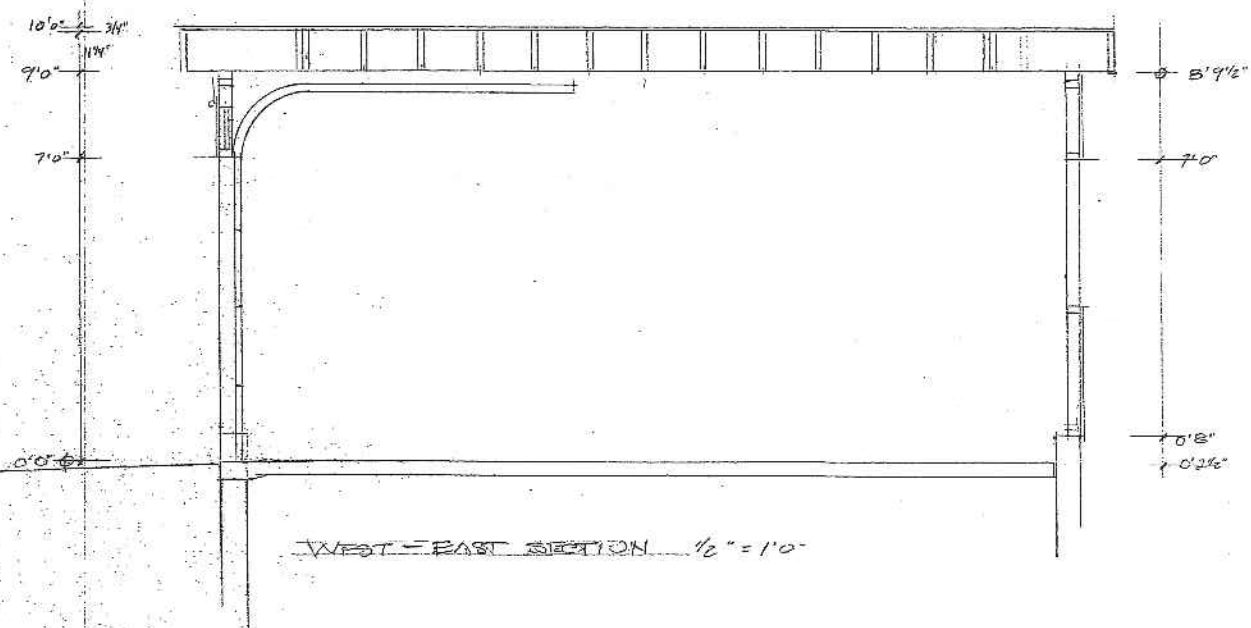
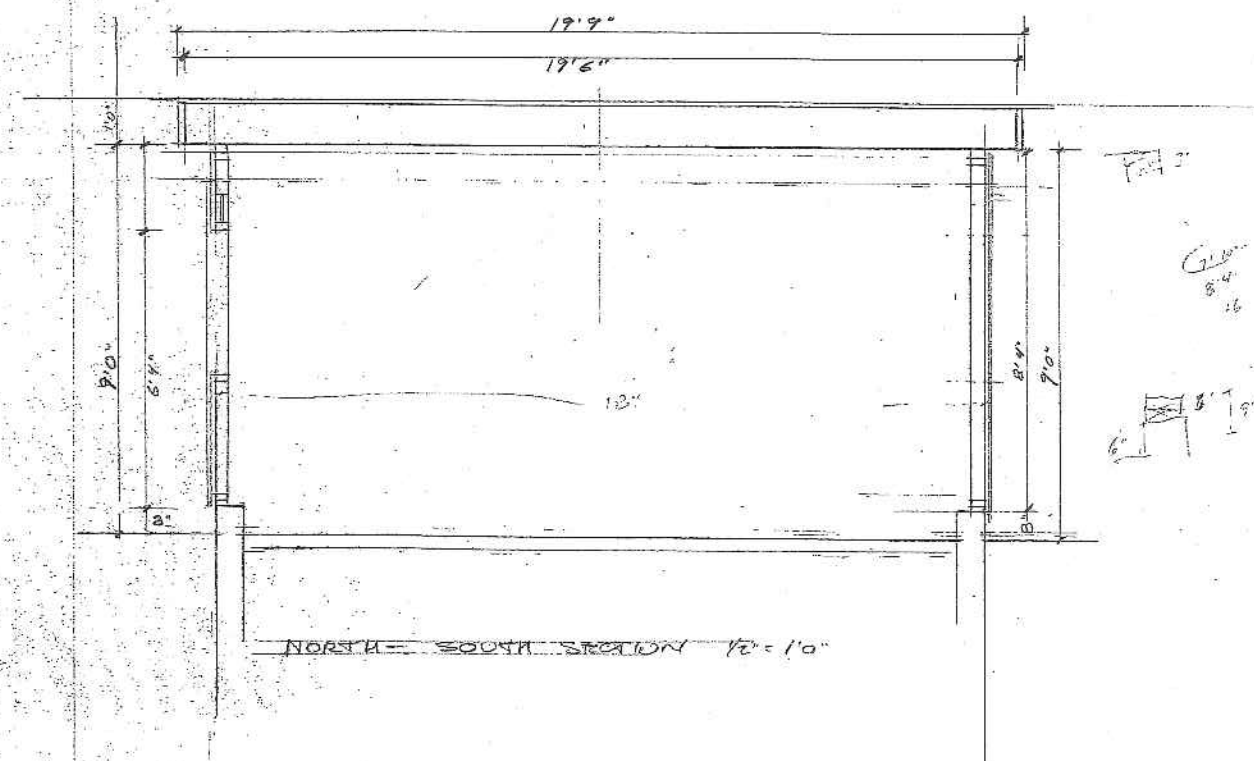
Attachments

1. Plans, sections and elevations by project architect
2. Engineers' site plan
3. Photos of proposed doors, submitted by contractor
4. Rendering of previous garage design, submitted September, 2014

5. Photos of site by staff
6. 1924 photo of demolished garage



ATTACHMENT 1



FENTON GARAGE

55 WESTERN PROMENADE
PORTLAND, MAINE

SECTIONS

SCALE: AS NOTED
JOB#: 140605
DRAWN: AST

7-2-15	REVIEW
DATE:	FOR:

ISSUE LOG

A2.0



ATTACHMENT 3

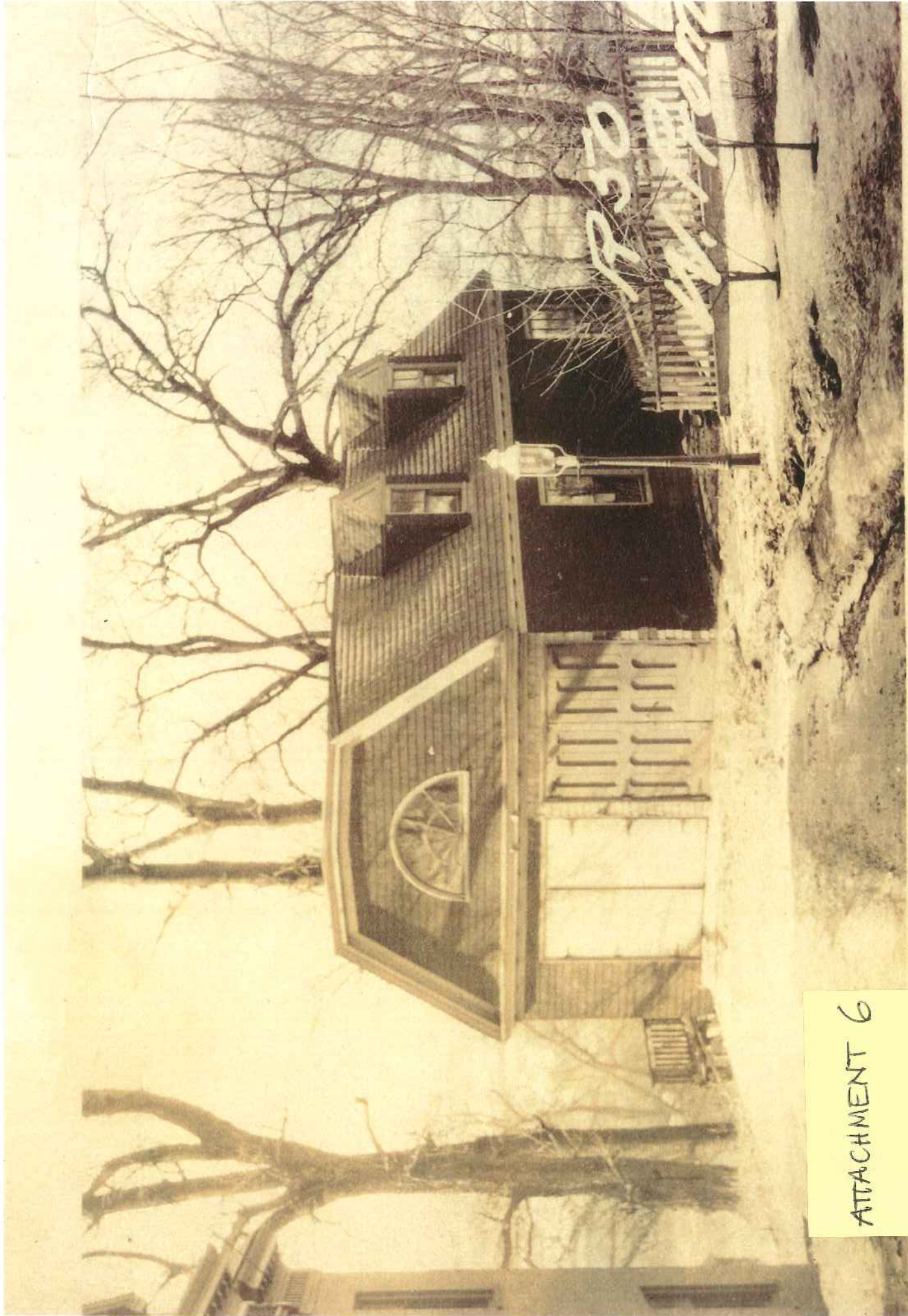




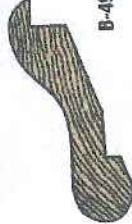
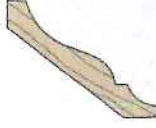
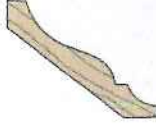
ATTACHMENT 4



ATTACHMENT 5



ATTACHMENT 6

BACK BAND B-195 8' $1\frac{1}{16}" \times 1\frac{1}{16}"$ 	CASING B-99 8' $1\frac{1}{16}" \times 3\frac{3}{4}"$ B-99 12' $1\frac{1}{16}" \times 3\frac{3}{4}"$ 
BAR RAIL B-490 $1\frac{1}{2}" \times 6\frac{5}{8}"$  B-492 $1\frac{1}{4}" \times 5"$ 	B-110 $\frac{9}{16}" \times 2\frac{1}{4}"$ B-110 7'-1" $\frac{9}{16}" \times 2\frac{1}{4}"$  B-125 $\frac{11}{16}" \times 2\frac{1}{2}"$ B-125 7'-3" $\frac{11}{16}" \times 2\frac{1}{2}"$  B-444 $\frac{11}{16}" \times 3\frac{1}{2}"$ B-444 8' $\frac{11}{16}" \times 3\frac{1}{2}"$  B-154 $\frac{9}{16}" \times 2\frac{1}{2}"$ B-154 7'-3" $\frac{9}{16}" \times 2\frac{1}{2}"$  B-169A $\frac{3}{8}" \times 1\frac{1}{2}"$ B-169 $\frac{11}{16}" \times 3\frac{1}{4}"$  Insert (Poplar)
BASE B-232 $\frac{1}{2}" \times 3\frac{1}{4}"$ B-232 8' $\frac{1}{2}" \times 3\frac{1}{4}"$  B-243 $\frac{1}{2}" \times 3\frac{1}{4}"$ B-243 8' $\frac{1}{2}" \times 3\frac{1}{4}"$ 	CHAIR RAIL B-702 $\frac{1}{16}" \times 2\frac{5}{16}"$ 
BASE MOULDING B-240A $\frac{5}{8}" \times 3\frac{1}{4}"$ B-240A 8' $\frac{5}{8}" \times 3\frac{1}{4}"$ 	CORNER BEAD B-651 8' $\frac{3}{4}" \times \frac{3}{4}"$ B-652 8' $1\frac{1}{16}" \times 1\frac{1}{16}"$ 
BASE SHOE B-2007 (3920) $\frac{3}{4}" \times 1"$ 	COVE^a B-605 $\frac{9}{16}" \times 1\frac{1}{4}"$ 
BED^a B-604 $\frac{9}{16}" \times 1\frac{3}{4}"$ 	CROWN^a B-614 $\frac{1}{16}" \times 4\frac{1}{4}"$  B-6123 $\frac{9}{16}" \times 3\frac{1}{16}"$ 
* BRICKMOLD B-89 8' $1\frac{1}{4}" \times 2"$ B-89 12' $1\frac{1}{4}" \times 2"$ 	CROWN w/DENTIL^a B-630 $\frac{3}{4}" \times 3\frac{1}{2}"$ Crown (w/B-631) $\frac{7}{16}" \times \frac{1}{16}"$ Dentsil Face & Edge  B-637 $\frac{1}{2}" \times 5\frac{1}{2}"$ Crown (w/B-638) $\frac{5}{16}" \times 1"$ Dentsil 

^a For approximate ceiling and wall coverage, refer to chart at the end of this moulding section.

Window
Trim



7130



7344



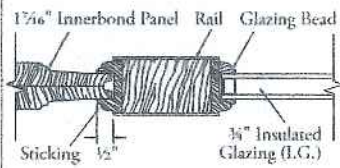
7132



7134

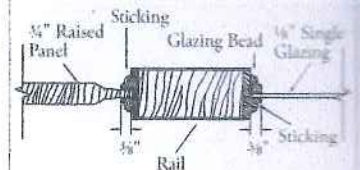


7120

**1-7/16" Raised Panel with I.G.**

I.G. = 3/4" Insulated Glazing
S.G. = 1/4" Single Glazing

Did you ever think you'd have this many choices of raised panel doors? Did you ever think it would be this tough a decision?

3/4" Raised Panel with S.G.

2020



2132



2134



2005



2045



Door



Any Wood



Any Size



Glass Options



Caming Choices



Privacy Rating